

EDGERTON PLANNING COMMISSION AGENDA
SPECIAL SESSION
January 28, 2014
7:00 PM

1. Call meeting to order

2. Pledge of Allegiance

3. Roll Call:

A. Members:

Phyllis Harris, Chairperson

Present / Absent

Maria O'Neill, Secretary

Present / Absent

Bob O'Neill

Present / Absent

Chuck Davis

Present / Absent

Missy Drinkard

Present / Absent

Ron Conus

Present / Absent

4. Approval of Minutes:

A. December 10, 2013

5. Guests Present:

A.

B.

6. Communications:

7. New Business

A. Consideration of Final Plat requesting approval of TSL Edgerton, Lots 1 located in the southwest corner of 191st Street and Waverly Road, in the northeast ¼ of the northeast ¼ of Section 3, Township 15, Range 22, containing approximately 20 acres, more or less. Applicant: TranSpec Leasing, Inc., Tom Hastings.

Action requested: Consider motion to of recommendation to approve, deny, or table.

B. Consideration of Final Plat requesting approval of a final plat for Logistics Park Kansas City, Third Plat (Lot 3) located west of Waverly Road and 191st Street, in the southeast and southwest quarters of Section 34, Township 14 South, Range 22 East, Johnson County, Kansas. Applicant: Edgerton Land Holding Company, LLC.

Action requested: Consider motion to of recommendation to approve, deny, or table.

C. Consideration of Final Site Plan requesting approval of a final site plan for Logistics Park Kansas City, Third Plat (Lot 3) located west of Waverly Road and 191st Street, in the southeast and southwest quarters of Section 34, Township 14 South, Range 22 East, Johnson County, Kansas. Applicant: Edgerton Land Holding Company, LLC.

Action requested: Consider motion to approve, deny, or table.

8. Other Business

9. Future Meeting – Regular meeting – February 11, 2014

10. Adjournment:

EDGERTON COMMUNITY BUILDING
PLANNING COMMISSION MEETING
December 10, 2013
Minutes

The Edgerton Planning Commission met in regular session with Chair Harris calling the meeting to order at 7:00 p.m.

All present participated in the Pledge of Allegiance.

The Roll Call was answered, indicating those present were: Commissioners Phyllis Harris, Maria O'Neill, Bob O'Neill, Chuck Davis, Ron Conus, and Alternate Tom McClusky. Absent was Commissioner Missy Drinkard. Also present were City Administrator Beth Linn and Recording Officer, Debra S. Gragg.

Chair Harris declared a quorum was present.

MINUTES

Minutes of November 12, 2013 were considered. Motion by B. O'Neill, seconded by M. O'Neill, to approve the minutes as presented. The motion was approved, 6-0.

GUESTS

No guests were formally introduced.

COMMUNICATIONS

There were no communications made.

FINAL SITE PLAN

Amended final site plan, S-09-16-2013, TSL Edgerton Phase I of TSL Edgerton, located in the southwest corner of 191st Street and Waverly Road was considered. Owner: Tom Hastings, TranSpec Leasing, Inc.

The City Administrator informed the Commissioners this final site plan was previously considered, but noted the application was amended when presented to the Governing Body. She indicated this was sent back for consideration of the amended request. Ms. Linn indicated the request is to allow the two existing buildings shown on the plan to remain, adding they would be ADA compliant. She overviewed the building finishes and reviewed the Uniform Development Code (UDC) regulations for re-use of buildings.

Dan Cook, Renaissance Infrastructure Consulting (R-I-C), was present to address the matter for the applicant. He indicated the applicant agrees with staff's recommendations.

Commissioner B. O'Neill questioned if the stipulation for concrete was for the project over all. The response was this is only for Phase 1.

Commissioner Conus asked if there is any grandfathering for the exterior finish. The City Administrator indicated there is not.

Motion by M. O'Neill, seconded by B. O'Neill, to approve the amended final site plan with the following stipulations: 1) Revised final site plans shall be submitted prior to any building permit approvals or commencement of the use to address all Site Plan requirements in the Section 5.2 of Article 5 Logistics Park (L-P) and Section 10.1 of Article 10 Site Plan including all items listed; 2) Only the area shown as Phase I on the *amended* Site Plan dated December 3, 2013 shall be approved herein. Phase II and other future phases are not approved by this review and shall be reviewed by the Planning Commission in other applications yet to be submitted; 3) No signage is proposed with this application. Signage proposed later shall receive separate approval according to the provisions of the UDC; 4) No exterior lighting is proposed with this application. Lighting proposed later shall receive separate approval according to the provisions of the UDC; 5) Permanent paving of asphalt or concrete shall be completed by July 2014; 6) Utility connections for existing buildings and future phases shall be reviewed and approved by the City. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City. Plans for any sanitary sewer extension will need to obtain a KDHE permit; 7) All building permit and sign permit requirements of the City shall be met; 8) The City will not require at time of site plan approval the construction of sidewalks along 191st Street or street improvements for Waverly Road adjacent to the subject property. Prior to obtaining a building permit, the property owner will execute the necessary agreement to waive and relinquish any right he/she may have under K.S.A. 12-6a06 to protest the formation of a benefit district to pay for the construction of those sidewalks and street improvements adjacent to the above described property for a period of thirty (30) years, and that such agreement is intended to be a covenant running with the land for said period of time; and 9) Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein. The motion was approved, 6-0.

CONDITIONAL USE PERMIT

Amended conditional use permit, CU-09-16-2013, requesting a permit to allow use of land, in the L-P, Logistics Park Zoning District, generally located at the southwest corner of 191st Street and Waverly Road, for "Cargo Container Storage, Maintenance, and Repair Facilities" was considered. Owner: Tom Hastings, TranSpec Leasing, Inc.

The City Administrator announced this item was previously heard by the Planning Commission. She added the applicant made changes to the application submitted before the Governing Body. It was noted due to changes, the Governing Body remanded the request back to the Planning Commission for further review. She noted a new stipulation is proposed requiring compliance with ADA standards for existing buildings remaining for applicant's use.

Motion by Conus, seconded by M. O'Neill, to approve the conditional use permit with the following stipulations: 1) The property owner shall continuously comply with all performance criteria in Article 7 pertaining to Cargo Container Storage Facilities and Cargo Repair and Maintenance Facilities, including, but not limited to, noise maximums and cargo container and chassis stacking height requirements. There is residentially zoned property abutting and across the street from the subject property. The application can comply with the requirement by not utilizing the Phase II area of the property and foregoing the use of the southern-most row of trailer parking in Phase 1. This condition shall be continually met until the residentially zoned property is changed to a nonresidential use; 2) The property shall be developed in accordance with the *amended* Site Plan, as approved by the City, prior to commencement of the cargo container storage use. Plant material shall be continuously maintained and replaced when dead. When the project is complete, new trees shall be added to fill the gaps in the existing trees (on the north and west property lines) to fulfill the screening requirements; 3) All existing building exteriors shall be modified in accordance with the City of Edgerton Unified Development Code. Applicant shall provide documentation for review and approval by City for service of utilities and compliance with ADA standards for all existing buildings to remain; 4) Cargo containers and chassis may be stored only in the designated, striped areas shown on the Site Plan; 5) No other outside storage of equipment or materials shall be allowed on the property; 6) Any future phases or additional areas used for cargo container maintenance and repair uses shall not commence until a Site Plan is submitted and approved by the City for that phase, including photometric and landscaping plans; and 7) This Conditional Use Permit shall be valid for ten years from approval by the City of Edgerton. The motion was approved, 6-0.

PUBLIC HEARING – FINAL SITE PLAN

A public hearing for Final Site Plan, S-11-15-2013, requesting approval for International Transload Logistics, Lot 1, located in the vicinity of the southeast corner of 191st Street and Homestead Lane, within the Northwest one-quarter of Section 3, Township 15, Range 22 containing approximately 31.860 acres more or less was opened. Owners: Omar and India Holtgraver. Agent: International Transload Logistics.

The Commissioners were informed this request is for Lot 1 and the purpose of this action is to operate a cargo container storage facility. The property is located near Homestead and 191st Street which are paved and designed to accommodate intermodal and logistic park traffic. Utility services are provided by Rural Water District No. 7 for water; sanitary sewer service through the Homestead Lane lift station; fire

protection by Johnson County Rural Fire District No. 1; and police protection by Johnson County Sheriff.

The Commissioners were informed the applicant has requested to use the existing single-family home for business purposes. It was noted that Type 2 perimeter buffering is required on the west property line to the back of the Transfer Dock building. The City Administrator reviewed the sheets for this request and noted the need for specifying permanent parking material and execution of an agreement not to protest formation of a benefit district for 191st Street sidewalk improvements, review for drainage needs; handicapped access to include parking spaces and ADA compatibility, access point at 191st Street, and existing buildings brought into compliance with UDC to include facing building with appropriate material, additional landscaping, etc. Ms. Linn stated this site is a unique composition and noted if staff's review lacks full comfort, it will be returned to the Planning Commission in January, 2014. Other comments noted were need for storm water study, cross-access easement, location for fire hydrants, scale of site plan adjusted for legibility, and depiction of electrical hookups to eliminate excessive idling.

Craig Swope, ITL, indicated his company is out of Chicago and holds a contract with Burlington Northern Santa Fe Rail Road. He spoke about the proposed use of existing buildings and increased landscaping. He noted the area would appear business-like and presentable with increased landscaping/buffering.

Commissioner B. O'Neill questioned the project's start date. Mr. Swope noted the asphalt cannot be added until after March or later, after the rainy season is over, overall – weather permitting.

John Rohderer spoke about the composite process which is used in Illinois; he indicated that is the proposed method for this project as well. The City Administrator indicated staff and the City Engineer will review and if this process is viable, the request will be brought back to the Commissioners to modify the code. She indicated if the material process is good, this would possibly be returned as an amended plan in January.

Motion by B. O'Neill, seconded by M. O'Neill, to close the hearing. The motion was approved, 6-0.

Motion by B. O'Neill, seconded by Conus, to approve the final site plan, with the following stipulations: 1) Revised final site plans shall be submitted prior to any building permit approvals or commencement of the use to address all Site Plan requirements in the Section 5.2 of Article 5 Logistics Park (L-P) and Section 10.1 of Article 10 Site Plan including all items listed; 2) Only the area shown as Phase I on the Site Plan shall be approved herein. Phase II and other future phases are not approved by this review and shall be reviewed by the Planning Commission in other applications yet to be submitted; 3) No signage is proposed with this application. Signage proposed later shall receive separate approval according to the provisions of the UDC; 4) No exterior lighting is proposed with this application. Lighting proposed later shall receive separate approval

according to the provisions of the UDC; 5) Utility connections for existing buildings and all future phases shall be reviewed and approved by the City. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City. Plans for any public sanitary sewer extension will need to obtain a KDHE permit; 6) All building permit and sign permit requirements of the City shall be met; 7) The City will not require at time of site plan approval the construction of sidewalks along 191st Street. Prior to obtaining a building permit, the property owner will execute the necessary agreement to waive and relinquish any right he/she may have under K.S.A. 12-6a06 to protest the formation of a benefit district to pay for the construction of those sidewalks and street improvements adjacent to the above described property for a period of thirty (30) years, and that such agreement is intended to be a covenant running with the land for said period of time; and 8) Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

The motion was approved, 6-0.

PUBLIC HEARING - CONDITIONAL USE PERMIT

A public hearing for a Conditional Use Permit, CU-11-15-2013, for Lot 1, ITL, requesting approval for a conditional use permit to operate a cargo container storage, repair and maintenance facility located in the southeast corner of 191st Street and Homestead Lane, within the Northwest one-quarter of Section 3, Township 15, Range 22 containing approximately 31.860 acres more or less was opened. Applicant: Omar and India Holtgraver. Agent: International Transload Logistics (ITL).

The City Administrator reviewed the criteria and noted most of the process is the same as the rezoning request. She also overviewed this project for cargo container storage and compared the project to the "Golden Criteria." The stipulations were noted and staff recommended the permit be granted for ten (10) years, which would allow for the investment needed for the upgrade.

The Planning Commission Chair questioned if ITL is agreeable with the stipulations. The response was in the affirmative.

Motion by Davis, seconded by B. O'Neill, to close the hearing. The motion was approved, 6-0.

Motion by B. O'Neill, seconded by Conus, to approve the conditional use permit with the following stipulations: 1) The property owner shall continuously comply with all performance criteria in Article 7 pertaining to Cargo Container Storage Facilities and Cargo Repair and Maintenance Facilities, including, but not limited to, noise maximums

and cargo container and chassis stacking height requirements, paving requirements, etc.; 2) The property shall be developed in accordance with the Site Plan, Landscaping Plan, and Photometric Plan as revised, as approved by the City, prior to commencement of the cargo container storage use; 3) All existing building exteriors shall be modified in accordance with the City of Edgerton Unified Development Code. Applicant shall provide documentation for review and approval by City for service of utilities and compliance with ADA standards for all existing buildings to remain; 4) Cargo containers and chassis may be stored only in the designated, striped areas shown on the Site Plan.; 5) No other outside storage of equipment or materials shall be allowed on the property; 6) Any future phases or additional areas used for cargo container maintenance and repair uses shall not commence until a Site Plan is submitted and approved by the City for that phase, including photometric and landscaping plans; and 7) This Conditional Use Permit shall be valid for ten (10) years from approval by the City of Edgerton. The motion was approved, 6-0.

PUBLIC HEARING – REZONING

A public hearing in regards to rezoning request, RZ-11-18-2013, requesting a change of zoning from Johnson County Rural (RUR) to City of Edgerton Logistics Park (L-P) for property located in Section 35, Township 14, Range 22 located approximately .2 miles east of Waverly Road on the north side of 191st Street containing 20 acres more or less was opened. Owners: William E and Lucy E. Dailey. Applicant/Agent: Lynn Boyd, JB Hunt.

The City Administrator overviewed the background, infrastructure and comparisons to the “Golden Criteria.” She noted the proposed use for the property is for a cargo container and truck storage facility. She also noted the property may need a holding tank for wastewater until a sewer line of extended to the property.

Discussion ensued regarding the improvement for 191st Street. It was noted there is a temporary pavement installed by KDOT, and added that the applicant should execute an agreement not to protest the formation of a benefit district for roadway, if warranted.

Motion by B. O’Neill, seconded by M. O’Neill, to close the public hearing. The motion was approved, 6-0.

Motion by B. O’Neill, seconded by Conus, to approve the rezoning with the following stipulations: 1) All Site Plan application requirements of the City shall be met; 2) All infrastructure requirements of the City shall be met; 3) Prior to any grading on the subject property, a Land Disturbance Permit and a Stormwater Water Quality Management Plan shall be submitted and approved by the City; and 4) Prior to issuance of building permits, the property shall be developed in accordance with a Site Plan reviewed and approved by the City. The motion was approved, 6-0.

PUBLIC HEARING – PRELIMINARY PLAT

A public hearing for PP-11-18-2013, for Preliminary Plat for J. B. Hunt for preliminarily platting property in Section 35, Township 14, Range 22 located approximately .2 miles east of Waverly Road on the north side of 191st Street containing 20 acres more or less was opened. Owners: William E. and Lucy E. Dailey. Applicant/Agent: J.B. Hunt, Lynn Boyd.

The City Administrator provided an analysis of the preliminary plat for a proposed cargo container and truck storage facility. Items noted for addressing include: different name for the plat; adding a legend; adding proposed utility easements; dedicating drainage easement; extension of sanitary line through property; identification of all utility connections for buildings; execution of an agreement not to protest formation of a benefit district for 191st Street prior to issuance of a building permit; addition of proposed sidewalks and storm sewers; proposed entrances; include notation indicating public water and sewer provision as required by the Uniform Development Code Article 13.3 D 9. In addition, the applicants shall provide a traffic study.

Commissioner Davis spoke about the asphalt millings; staff noted potential discussion at the next meeting regarding the propose surface.

The City Administrator addressed questions about setbacks/deviations. It was noted that a deviation of the 50' setback would include higher berm and shorter height for stacking of containers.

Mike Osbourn, Kaw Engineering, spoke about deviation requested. He noted the flood plain is limited and indicated this would be addressed with the Site Plan. He overviewed the set up for the storage containers.

Commissioner Davis asked how close the house is to the north. The response indicated it is over 400 feet.

Fred Fraley, Gardner, Kansas, stated his property is to the north and indicated concern that his property is being used for the set back and that he is not in favor/support of the deviation.

Motion by M. O'Neill, seconded by B. O'Neill, to close the public hearing. The motion was approved, 6-0.

Motion by B. O'Neill, seconded by M. O'Neill, to approve the preliminary plat with the following stipulations: 1) All Preliminary Plat requirements of the City noted shall be met or addressed during the Final Plat submittal as identified; 2) Preliminary plat be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission

upon submittal and approval of a written request may grant a one-year extension on the approval of a preliminary plat; 3) All infrastructure requirements of the City shall be met; 4) The preliminary plat shall be revised to show the drainage easements, streamway buffers, floodplain restrictions, and NPDES (stormwater management) requirements, according to and as required by City Engineer review; and 5) The preliminary plat shall be revised to show a not indicating public water and sewer provision as required by Article 13.3 D 9.

Commissioner Davis asked if the preliminary plat would be brought back with any changes at the final plat. The City Administrator addressed and noted the potential changes would be addressed with the site plan.

The motion was approved, 6-0.

PUBLIC HEARING – FINAL SITE PLAN

A public hearing for Final Site Plan, S-11-18-2013, requesting approval for property located in Section 35, Township 14, Range 22 located approximately .2 miles east of Waverly Road on the north side of 191st Street containing 20 acres more or less was opened. Owners: William E and Lucy E. Dailey. Applicant/Agent: Lynn Boyd, JB Hunt.

The City Administrator overviewed staff analysis of the plan. Ms. Linn addressed the project name which should be the same as the plat, which also needs to be renamed. She addressed the landscape plan regarding required right-of-way along 191st Street to include buffer, trees and bushes. The plan requires a noted trash container, landscaped islands inside the parking areas to minimize the heat island effect and the elimination of a chain line fence which is not permitted in the designated zoning.

Ms. Linn addressed needs for Sheet #3 which include: pedestrian access within and to the development and noted the need to have the property owner execute an agreement not to protest formation of a benefit district or districts. Other items to be addressed include: accessible parking spaces and accessible routes to the buildings. She noted a traffic study shall be completed and details for access point to 191st Street shall be reviewed and approved by the City Engineer; location of utility easements shall be shown; and inclusion of a drainage easement, and extension of sewer line to allow property to the east to connect.

Ms. Linn indicated the storm water study would need to address noted items prior to approval, the plan's scale should be adjusted for better reading and inclusion of electrical hook-ups as required per the Diesel Emission Requirements in the UDC.

Lynn Boyd, J.B. Hunt, and Mike Osbourn, Kaw Engineering, were present to address the Commission.

Mr. Osbourn spoke about the potential changes to the building, berm, driveway, and aggregate/composite for the pavement. He stated samples would be submitted in the future for review.

Mr. Boyd overviewed the project and business operations. He noted if the alternative options for the hard surface are not viable for this site, asphalt or concrete would be installed. He indicated the number of trucks at this site would accommodate approximately 40-50 drivers, but noted a better number would be available in the near future. He stated this purpose is controlled growth, noting his company ships domestic containers.

Mr. Conus questioned how the company would work with the neighbor to the north. Mr. Osbourn addressed the engineering concerns.

Mr. Fred Fraley, Gardner, Kansas informed the Planning Commissioners he opposes his adjacent residential property being used as a buffer for this project.

Motion by Conus, seconded by Davis, to close the public hearing. The motion was approved, 6-0.

Motion by Conus, seconded by B. O'Neill, to approve the final site plan with the following stipulations: 1) Revised final site plans shall be submitted prior to any building permit approvals or commencement of the use to address all Site Plan requirements in the Section 5.2 of Article 5 Logistics Park (L-P) and Section 10.2 of Article 10 Site Plan including all items noted; 2) The revised Site Plan shall provide a designated off-street space for the loading and unloading of goods and merchandise. The revised site plan shall address the requirement for bumper guards in required parking areas; 3) Revised landscaping plan shall be submitted and approved. Additional mitigating measures along north property line shall be submitted and approved; 4) No signage is proposed with this application. Signage proposed later shall receive separate approval according to the provisions of the UDC; 5) No exterior lighting is proposed with this application. Applicant shall submit a photometric plan according to the provisions of the UDC; 6) All paved surfaces must be asphalt or concrete. Asphalt millings is not permitted; 7) Traffic study shall be completed and approved by City Engineer prior to construction; 8) Comments regarding stormwater study shall be addressed prior to construction; 9) Utility connections for all buildings shall be reviewed and approved by the City. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City. Plans for any public sanitary sewer extension will need to obtain a KDHE permit; 10) All building permit and sign permit requirements of the City shall be met; 11) The City will not require at time of site plan approval the upgrade of 191st Street adjacent to the property. Prior to obtaining a building permit, the property owner will execute the necessary agreement to waive and relinquish any right he/she may have under K.S.A. 12-6a06 to protest the formation of a benefit district to pay for the construction of those sidewalks and street improvements adjacent to the above described property for a period of thirty (30) years, and that such agreement is intended

to be a covenant running with the land for said period of time; and 12) Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easement, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein. The motion was approved, 6-0.

PUBLIC HEARING – CONDITIONAL USE PERMIT

A public hearing for Conditional Use Permit, CU-11-18-2013, requesting approval of a conditional use permit to operate a cargo container storage, maintenance and repair facility for one lot located in Section 35, Township 14, Range 22 located approximately .2 miles east of Waverly Road on the north side of 191st Street containing 20 acres more or less was opened. Owners: William E. and Lucy E. Dailey. Applicant/Agent: Lynn Boyd, J.B. Hunt.

The City Administrator reviewed the project and operations with this requested permit and overviewed the general criteria.

She spoke about the limitations of stacking height along the northern area setback. In addition, the language for the deviation request was reviewed.

It was discussed that an additional stipulation regarding stacking of cargo containers adjacent to residentially zoned property be added to the listing and to allow this permit to be valid for ten (10) years.

Motion by B. O'Neill, seconded by M. O'Neill, to close the public hearing. The motion was approved, 6-0.

Motion by B. O'Neill, seconded by Davis, to approve the conditional use permit with the following stipulations: 1) Additional mitigation measures are submitted by the applicant with regard to the setback along the north property line; 2) Revised landscaping plan be submitted and approved. The revised plans shall include modification of the berm closed to the southeast property line as an additional mitigation measure for the property to the east. Additional mitigating measures along north property line shall be submitted and approved; 3) The property owner shall continuously comply with all performance criteria in Article 7 pertaining to Cargo Container Storage Facilities and Cargo Repair and Maintenance Facilities, including, but not limited to, noise maximums and cargo container and chassis stacking height requirements, paving requirements, etc.; 4) The property shall be developed in accordance with the Site Plan, Landscaping Plan and Photometric Plan as revised, as approved by the City, prior to commencement of the cargo container storage use. Plant material shall be continuously maintained and replaced when dead; 5) Detailed building construction plans shall be submitted as

required for building permit review. All new building exteriors shall comply with the City of Edgerton Unified Development Code. Applicant shall provide documentation for review and approval by City for service of and compliance with ADA standards for all existing buildings to remain.; 6) Cargo containers and chassis may be stored only in designated, striped areas shown on the Site Plan; 7) No other outside storage of equipment or materials shall be allowed on the property; 8) This Conditional Use Permit shall be valid for ten (10) years from approval by the City of Edgerton; and 9) Cargo containers stacked only two (2) high along the north row as long as the adjacent property remains residential. The motion was approved, 6-0.

Ms. Linn announced these items would be considered by the Governing Body at its regular meeting of January 9, 2014.

OTHER BUSINESS

The City Administrator informed the Commissioners of a possible lease on a new building for Edgerton Land Holding Company which may require a special session.

Ms. Linn reminded the Commissioners of the Open House scheduled for the next evening, December 11, 2013.

Commissioner Conus spoke about the quarry blasting and his concern with operations. The City Administrator addressed, noting the quarry is outside of the corporate limits and indicated Fire District No. 1 oversees the blasting. She indicated the quarry operators are blasting on a lower shelf and at times will cause more vibration.

ADJOURNMENT

Motion by Conus, seconded by M. O'Neill, to adjourn. The motion was approved, 6-0.

The meeting adjourned at 9:15 p.m.

STAFF REPORT

January 10, 2014

To: Edgerton Planning Commission
Fr: Beth Linn, City Administrator
Mike Mabrey, Zoning Administrator
Re: Application for Final Plat for TSL Edgerton, generally located on the southwest corner of 191st Street and Waverly Road

APPLICATION INFORMATION

Applicant/Property Owner: TSL Edgerton

Requested Action: Final Plat for TSL Edgerton

Legal Description: Part of Section 3, Township 15, Range 22

Site Address/Location: Approximately 20 acres at the southwest corner of 191st Street and Waverly Road

Existing Zoning and Land Uses: Multiple parcels containing residences and accessory structures

Surrounding Zoning and Uses: BNSF Intermodal Facility and L-P zoned land for warehouse development to the north in the City of Edgerton; unincorporated County to the south and east; and land in the City of Edgerton at the northeast corner of Waverly and 191st.

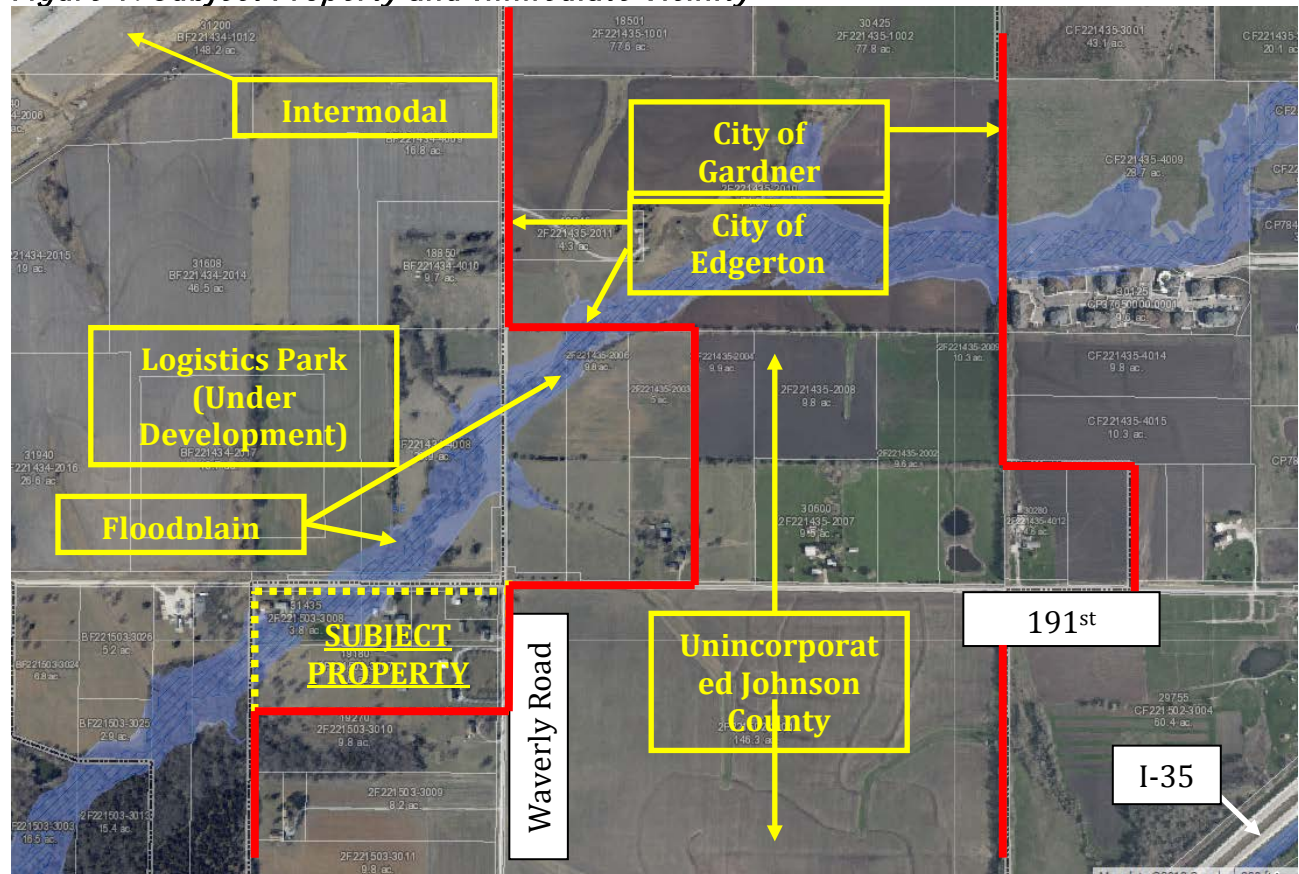
Existing Improvements: Single family homes with accessory structures

Site Size: Approximately 20 acres

Project Background and Description: The subject property is located on the southwest corner of 191st Street and Waverly Road, with about 1,300 feet of frontage along 191st and about 640 feet along Waverly Street. This land was annexed into the City of Edgerton on September 12, 2013. The conditional use has been requested to facilitate the development of the property for a cargo container storage facility. The BNSF intermodal facility is located about 1/2 mile to the northwest and a warehouse industrial (logistics) park is adjacent, across 191st Road to the north. Demand for businesses to store and maintain cargo containers and chassis, such as the facility proposed here, is a by-product of the activity on and around the

intermodal facility. The logistics park and intermodal's primary function is to transport and redistribute containers and the products they contain. Since they are not in the business of storing containers for an extended period of time, there is a need for companies, like the applicant's, that specialize in storage and maintenance.

Figure 1: Subject Property and Immediate Vicinity



Background Information

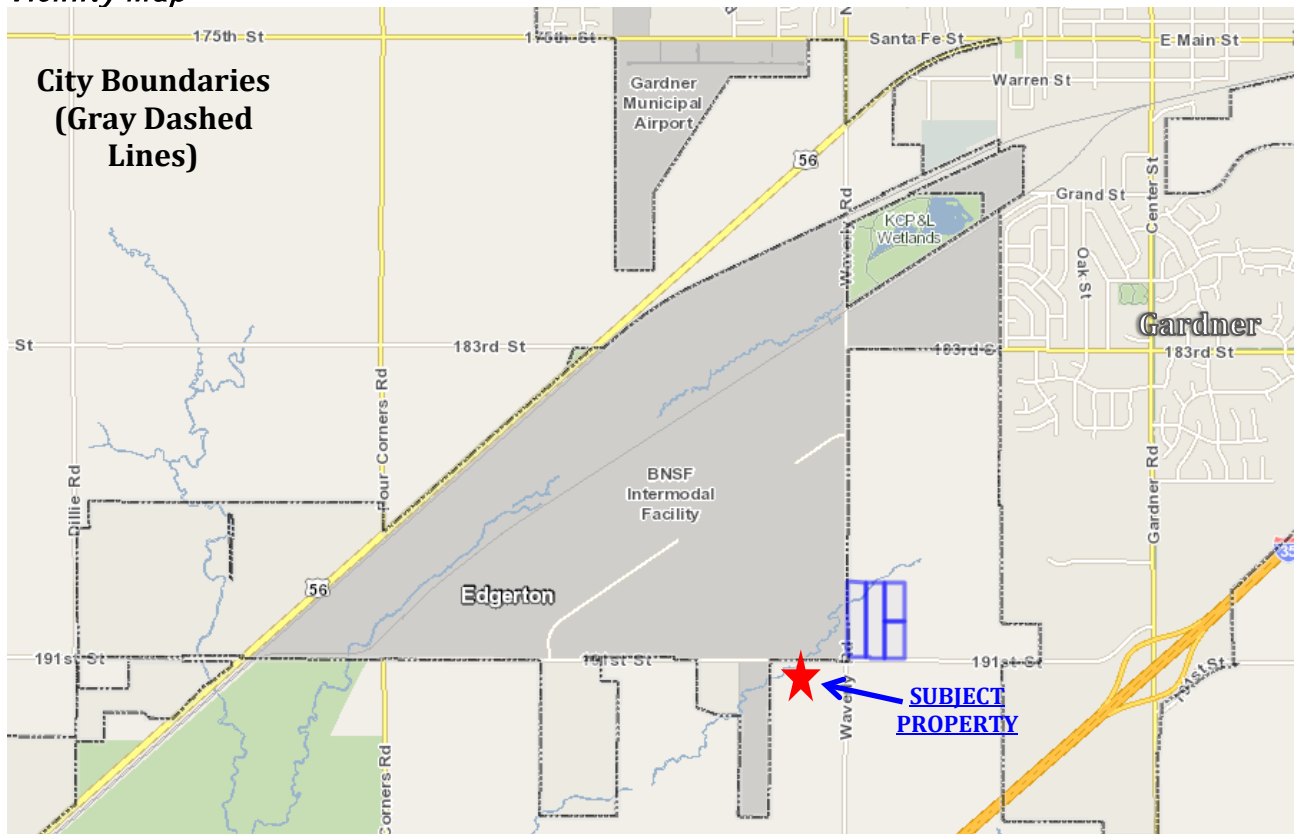
The subject property is located on the southwest corner of 191st Street and Waverly Road, with about 1,300 feet of frontage along 191st and about 640 feet along Waverly Street. The property, annexed in September 12, 2013, is entirely within the City of Edgerton.

Infrastructure and Services:

- Waverly Road, currently gravel surfaced but planned for future improvement to pavement that will support intermodal and logistic park traffic, will provide access to the proposed facility. 191st Street west of Waverly is paved/heavy haul. 191st Street east of Waverly is paved (6" asphalt).
- The property is located within the Big Bull Creek watershed, which flows south from 167th Street to the southern edge of the county at Homestead Lane.
- A little over three acres of the west and southwest portion of the property is located within the flood plain of a tributary of Bull Creek. The site plan does not show any development within the floodplain.

- d. The property does not currently have sanitary sewer service. No new buildings are planned that would necessitate sewer hook-ups. The existing homes are on septic systems.
- e. The property is located within the service area of Rural Water District No. 7. A 12-inch water main is located along the Waverly Road property frontage, which is able to supply domestic needs. No new buildings are planned that would necessitate water connection in Phase I.
- f. Police protection is provided by the Johnson County Sheriff's Department under contract with the City of Edgerton. Fire protection is provided by Johnson County Rural Fire District No. 1. A fire station is located in the City of Edgerton, to the west.

Vicinity Map



STAFF ANALYSIS

Staff has reviewed the Final Plat submittal for compliance with the Approved Preliminary Plat and requirements in Section 13.3 of Article 13 of the Edgerton UDC. Review comments are listed below.

1. Scale, the same used for the preliminary plat; North point; vicinity map. ***Final Plat complies.***
2. The words "FINAL PLAT" followed by the name of the subdivision at the top of the sheet, and then followed by a metes and bounds description of the tract. ***The title of the plat says "Lots 1, 2 & D/E". Both lots are labeled Lot 1.***
3. The instrument of survey which shows the point of beginning, corners, bearings, courses, distances, exterior boundaries, interior lot boundaries, abandoned lot lines, pins,

monuments found or set. All P.I.'s corners, boundaries must be monumented with a 2" x 24" metal bar. *The 20.00' boundary line with a bearing of N 01°09'43"W is described differently in the legal description. Abandoned lot lines have not been shown. It appears that no monuments have been set. All P.I.'s corners, boundaries must be monumented with a 2" x 24" metal bar. Adjoining parcels should be identified by title description or record reference if pertinent to the boundary lines. The area shown on the plat (17.29 ac + 3.26 ac) is larger than the area in the legal description (18.57 ac).*

4. A boundary survey of third order surveying accuracy (maximum closure error one in five thousand (1' in 5,000), with bearings and distances referenced to section or fractional section corners or other base line shown on the plat and readily reproducible on the ground. *The corresponding supporting quarter corners should be shown and identified on the plat.*
5. Individual notations and a TABLE showing: lot area, setbacks, and building envelopes. *Table has not been provided.*
6. A number for each lot, starting (if practical) in the northwest corner. *Both lots are numbered Lot 1. The drainage easement should be part of one or both of the lots.*
7. All easements with widths, and roads with curve data. *Additional utility easements may be necessary. Plat should be reviewed by Utility Companies.*
8. Ingress/egress limitations if required. *Final Plat complies.*
9. The location of existing utility easements. *Final Plat complies.*
10. A written legal description from the survey. *Final Plat complies.*
11. An instrument of dedication for all roads and easements. *Dedication should include Pedestrian Easement.*
12. Special notations required as a condition of platting by the Planning Commission. *Final Plat complies.*
13. Approved phases – clearly delineated. *Final Plat complies.*
14. Private travel easements. *Final Plat complies.*
15. The Owner's Certificate with Notary Seal. *Final Plat complies.*
16. Certificate of the Governing Body with City Clerk's attest and Seal. *Final Plat complies.*
17. Edgerton City Planning Commission chair and secretary approval. *Final Plat complies.*
18. Certificate of the Register of Deeds. *Not provided.*
19. Surveyor's Certificate and Seal and certificate for survey review by the County Surveyor or designated Land Surveyor. *County Surveyor approval block has not been provided.*
20. Certificate of the Zoning Administrator. *Final Plat complies.*

Other Comments

Modify Consent to Levy section to correct "pubic" typo.

RECOMMENDATIONS

City staff recommends **approval** of the Final Plat for TSL Edgerton subject to compliance with the following stipulations:

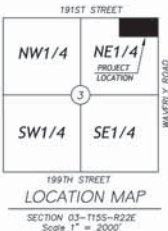
1. All Final Plat requirements of the City listed above shall be met or addressed prior to recording of the Plat.
2. The commencement of any improvements shall not occur prior to the approval and endorsement of the final plat and the submittal to and approval of construction plans for all

streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the final plat by the Governing Body. Sanitary sewer drawings and specifications must be submitted to and approved by the City of Edgerton and Kansas Department of Health and Environment prior to the commencement of any improvements.

3. A Public Improvement Inspection Fee, established by the Fee Schedule for the Unified Development Code, shall be submitted with the document of financial assurance as defined in Section 13.7 prior to the commencement of any improvements.
4. The applicant shall meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton Unified Development Code, including payment of excise tax.
5. The applicant shall meet all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton Unified Development Code.

ATTACHMENTS

Final Plat TSL Edgerton



Legend:

- ▲ FOUND SECTION CORNER AS NOTED
- SET 1/2" x 2 1/2" IRON PIN WITH 1/2" x 1/2" x 1/2" CAP
- U/E UTILITY EASEMENT
- S/E SANITARY SEWER EASEMENT
- A/E ACCESS EASEMENT
- D/E DRAINAGE EASEMENT
- W/E WATERLINE EASEMENT
- E/E POWER/ELECTRIC EASEMENT
- T/E TEMPORARY EASEMENT
- B/L BUILDING SETBACK LINE

FINAL PLAT

TSL Edgerton

Lots 1, 2 & D/E

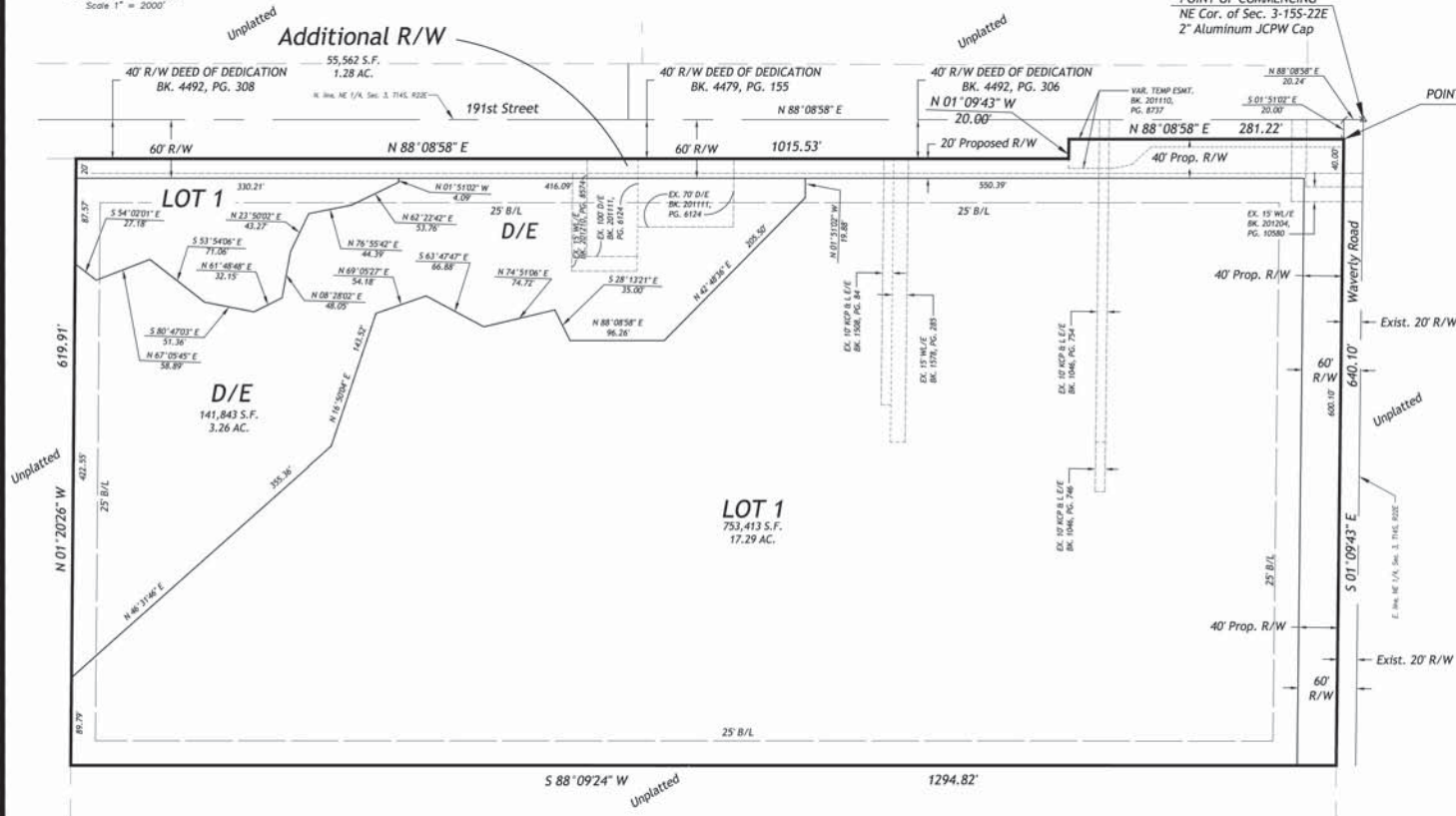
City of Edgerton, Johnson County, Kansas

LEGAL DESCRIPTION: (Overall Boundary)

All that part of the NE 1/4 of the NE 1/4 of Section 3, Township 15, Range 22, in the City of Edgerton, Johnson County, Kansas, more particularly described as follows:

Commencing at the Northwest corner of the NE 1/4 of said Section 3; thence South 88°08'58" West, along the North line of said NE 1/4, a distance of 20.24 feet; thence South 01°51'02" East, a distance of 20.00 feet, to the intersection of the South right of way line of 191st Street, as now established, and the West right of way line of Waverly Road, as now established, and the Point of Beginning; thence South 01°09'43" East, along the West line of said Waverly Road, a distance of 640.10 feet; thence South 88°09'24" West, a distance of 1294.82 feet; thence North 01°20'26" West, a distance of 619.91 feet, to the South right of way line of said 191st Street; thence North 88°08'58" East, along the South line of said 191st Street, a distance of 1015.53 feet; thence North 01°09'43" East, continuing along said South right of way line of 191st Street, a distance of 20.00 feet; thence North 88°08'58" East, continuing along said South line of 191st Street, a distance of 281.22 feet, to the West right of way line of said Waverly Road, and to the Point of Beginning.

Containing 808,975 square feet or 18.57 acres, more or less.



DEDICATION

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as "TSL EDGERTON".

The undersigned proprietor of said property shown on this plat does hereby dedicate for public use and public ways and thoroughfares, all parcels and parts of land indicated on said plat as streets, terraces, places, roads, drives, lanes, parkways, avenues and alleys not heretofore dedicated. Where prior easement rights have been granted to any person, utility or corporation on said parts of the land so dedicated, and any pipes, lines, poles and wires, conduits, ducts or cables heretofore installed thereupon and therein are required to be relocated, in accordance with proposed improvements as now set forth, the undersigned proprietor hereby absolves and agrees to indemnify the City of Edgerton, Kansas, from any expense incident to the relocation of any such existing utility installations within said prior easement.

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer pipes, poles, wires, drainage facilities, irrigation systems, ducts and cables, and similar facilities, upon, over and under these areas outlined and designated on this plat as "Utility Easement" or "U/E" is hereby granted to the City of Edgerton, Kansas with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for said purposes. Utility easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of public utilities located within the easement.

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction, maintenance or use of conduits, surface drainage facilities, subsurface drainage facilities, and similar facilities, upon, over and through those areas outlined and designated on this plat as "Drainage Easement" or "D/E" is hereby granted to the City of Edgerton, Kansas. Drainage easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities.

CONSENT TO LEVY

The undersigned proprietor of the above described tract of land hereby consents and agrees that the Board of County Commissioners and the City of Edgerton, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public use from the lien and effect of any special assessments, and that the amount of unpaid special assessments on such land dedicated, shall become and remain a lien on this land fronting and abutting on such dedicated public way or thoroughfare.

EXECUTION

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this ____ day of _____, 20____.

TSL Companies, Inc.

Tom Hastings, President

STATE OF KANSAS)
COUNTY OF JOHNSON) SS

BE IT REMEMBERED, that on this ____ day of _____, 20____, before me a Notary Public in and for said County and State, came Tom Hastings, President, TSL Companies, Inc., who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said corporation, and he duly acknowledged the execution of the same to be the act and deed of said corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.

Notary Public

My Appointment Expires: _____



TSL EDGERTON
Renaissance Infrastructure Consulting (R.I.C.)
11490 Strang Line Road | Lenexa, Kansas 66215 | (913) 317-9500 |
www.reninfrastructure.com

CERTIFICATION

This is to certify on the ____ day of _____, 2013 this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Kansas Minimum Standards" for boundary surveys pursuant to K.S.A. 74-7037.

Michael Schmidtberger, Kansas LS-954
2224 Condolea Terr. Leawood, KS 66209
(913) 334-8819

NOTE:

The boundary, bearings and distances shown on this Preliminary Plat are based on an ALTA Survey prepared by Viking Surveys, P.O. Box 13324, Shawnee Mission, KS. 66282, (913) 492-6179, dated September 13, 2013 and certified by Curtis Dean Tolson, LS-908.

CLOSURE CALCULATIONS:

Perimeter: 3,871.58
Error Closure: 0.0006
Error North: 0.00047
Precision 1: 6,452,635
East : 0.00037

All distances shown on this plat are in ground feet.

APPROVALS

APPROVED by the Planning Commission of the City of Edgerton, Johnson County, Kansas, on this ____ day of _____, 20____.

Phyllis Harris, Chairperson

Maria O'Neill, Secretary

APPROVED by the Governing Body of the City of Edgerton, Johnson County, Kansas, on this ____ day of _____, 20____.

Mayor

Attest: _____
City Clerk

APPROVED by the Zoning Administrator, on this ____ day of _____, 20____.

Zoning Administrator

Date of Preparation:
December 3, 2013

Prepared For:
TSL Companies
10001 S. 152nd Street
Omaha, NE 68138-3801

NAME OF PROPOSED SUBDIVISION: TSL EDGERTONLOCATION OR ADDRESS OF SUBJECT PROPERTY: SW CORNER 191ST & WAVERLYLEGAL DESCRIPTION: ATTACHEDCURRENT ZONING ON SUBJECT PROPERTY: L-P CURRENT LAND USE: VACANTTOTAL AREA: 18.57 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 808,975 Sq. Ft.DEVELOPER'S NAME(S): TOM HASTINGS PHONE: 402.895.6692COMPANY: TSL COMPANIES FAX: 402.895.6495MAILING ADDRESS: 10001 S 152ND ST. OMAHA NE 68138-3801
Street City State ZipPROPERTY OWNER'S NAME(S): SAME PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State ZipENGINEER'S NAME(S): DAN COOK PHONE: 913.317.9500COMPANY: R-I-C FAX: 913.317.9501MAILING ADDRESS: 11490 STRANG LINE LENEXIA KS 66215
Street City State ZipSIGNATURE OF OWNER OR AGENT: [Signature]

If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

Case No.: P- _____ Amount of Fee Paid: \$ _____ Date Fee Paid: _____

Received By: _____ Date of Hearing: _____

FINAL PLAT INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-five (45) days prior to a scheduled meeting. If the final plat complies with the preliminary plat, Planning Commission and Governing Body may consider approval without notice or public hearing.



EDGERTON
global routes. local roots.

404 East Nelson
Edgerton, KS 66021
P: 913.893.6231
EDGERTONKS.ORG

STAFF REPORT

January 10, 2014

To: Edgerton Planning Commission
Fr: Beth Linn, City Administrator
Mike Mabrey, Zoning Administrator
Re: Application for Logistics Park Kansas City, Third Plat (Lot 3)

APPLICATION INFORMATION

Applicant/Property Owner: Edgerton Land Holding Company

Requested Action: Final Plat – Logistics Park Kansas City, Third Plat (Lot 3)

Legal Description: See Final Plat attached

Site Address/Location: 18905 Kill Creek Rd

Existing Zoning and Land Uses: City of Edgerton L-P Logistics Park on vacant land

Existing Improvements: None

Site Size: Approximately 29.541 Acres

PROJECT DESCRIPTION

This is the third phase of development of the Logistics Park Kansas City by Edgerton Land Holding Company (ELHC), a subsidiary of NorthPoint Development. The property will serve the BNSF intermodal facility to the north of the subject site. The intermodal facility's purpose is to transfer loaded cargo containers from trains to trucks. BNSF owns 1,000 acres, annexed into the City in 2010, to develop both the intermodal facility and an adjacent warehouse industrial (logistics) park. ELHC, the applicant for this project, is BNSF's partner for developing warehousing which is planned to eventually surround the intermodal facility.

The subject property is located directly to the north of Lot 2 (Second Plat) a build-to-suit building for DEMDACO. The property is zoned L-P, Logistics Park. The City's Unified Development Code (UDC) defines this district as a limited multimodal industrial zone created to support activities related to truck, rail and other transport services. The property has an approved preliminary plat and preliminary site plan. The planned use for this lot is a 574,154 square foot warehouse that is build-to-suit for Smart Warehousing a Third Party Logistics Firm.

INFRASTRUCTURE AND SERVICES

Infrastructure was reviewed previously per the rezoning and preliminary plat. Some conditions continue to exist as noted below.

- a. Homestead Lane and 191st Street are paved and designed to accommodate intermodal and logistic park truck traffic. Driveway and street connections will need to comply with city requirements regarding location and design.
- b. All of the property is located within the Big Bull Creek watershed, which flows south from 167th Street to the southern edge of the county at Homestead Lane.
- c. The property will construct a sanitary sewer main extension to connect to the Intermodal Lift Station of the Big Bull Creek Wastewater Conveyance System recently constructed by the City of Edgerton.
- d. The property is located within the service area of Water 7. A 12-inch water line is located along the 191st Street. The City of Edgerton, Water District No. 7 and Edgerton Land Holding Company have an approved agreement for construction of a new water tower to supply sufficient fire flows to the site.
- e. Police protection is provided by the Johnson County Sheriff's Department under contract with the City of Edgerton. Fire protection is provided by Johnson County Rural Fire District No. 1. The nearest fire station is located in the City of Edgerton, approximately 1.5 miles to the west.

FINAL PLAT REVIEW

Staff has reviewed the Final Plat submittal for compliance with the Approved Preliminary Plat and requirements in Section 13.3 of Article 13 of the Edgerton UDC. Review comments are listed below.

1. Scale, the same used for the preliminary plat; North point; vicinity map. ***Final Plat complies.***
2. The words "FINAL PLAT" followed by the name of the subdivision at the top of the sheet, and then followed by a metes and bounds description of the tract. ***Final Plat complies.***
3. The instrument of survey which shows the point of beginning, corners, bearings, courses, distances, exterior boundaries, interior lot boundaries, abandoned lot lines, pins, monuments found or set. All P.I.'s corners, boundaries must be monumented with a 2" x 24" metal bar. ***The basis of bearings should be labeled on the graphic part of the plat.***
4. A boundary survey of third order surveying accuracy (maximum closure error one in five thousand (1' in 5,000), with bearings and distances referenced to section or fractional section corners or other base line shown on the plat and readily reproducible on the ground. ***Final Plat complies.***
5. Individual notations and a TABLE showing: lot area, setbacks, and building envelopes. ***Final Plat complies.***
6. A number for each lot, starting (if practical) in the northwest corner. ***Final Plat complies. (Lot 1 – Inland Port I Spec Building; Lot 2 – DEMDACO; Lot 3 – this application).***
7. All easements with widths, and roads with curve data. ***Additional utility easements may be necessary. Plat should be reviewed by Utility Companies. The 15' U/E adjacent to the 50' R/W should also be labeled as a pedestrian***

- easement. A 15' U/E & P/E should be dedicated on the west side of Kill Creek Road and north side of 187th Street by separate instrument.*
8. Ingress/egress limitations if required. *Final Plat complies.*
 9. The location of existing utility easements. *Verify existing 15' U/E been recorded via plat or book and page.*
 10. A written legal description from the survey. *Final Plat complies.*
 11. An instrument of dedication for all roads and easements. *Dedication should include Pedestrian Easement.*
 12. Special notations required as a condition of platting by the Planning Commission. *Final Plat complies.*
 13. Approved phases – clearly delineated. *Final Plat complies.*
 14. Private travel easements. *Final Plat complies.*
 15. The Owner's Certificate with Notary Seal. *Final Plat complies.*
 16. Certificate of the Governing Body with City Clerk's attest and Seal. *Final Plat complies.*
 17. Edgerton City Planning Commission chair and secretary approval. *Final Plat complies.*
 18. Certificate of the Register of Deeds. *Not provided.*
 19. Surveyor's Certificate and Seal and certificate for survey review by the County Surveyor or designated Land Surveyor. *County Surveyor approval block has not been provided.*
 20. Certificate of the Zoning Administrator. *Final Plat complies.*

RECOMMENDATION

City staff recommends approval of the Final Plat for Logistics Park Kansas City, Third Plat (Lot 3) subject to compliance with the following stipulations:

1. All Final Plat requirements of the City listed above shall be met or addressed prior to recording of the Plat.
2. The commencement of any improvements shall not occur prior to the approval and endorsement of the final plat and the submittal to and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the final plat by the Governing Body. Sanitary sewer drawings and specifications must be submitted to and approved by the City of Edgerton and Kansas Department of Health and Environment prior to the commencement of any improvements.
3. A Public Improvement Inspection Fee, established by the Fee Schedule for the Unified Development Code, shall be submitted with the document of financial assurance as defined in Section 13.7 prior to the commencement of any improvements.
4. The applicant shall meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton Unified Development Code, including payment of excise tax.
5. The applicant shall meet all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton Unified Development Code.

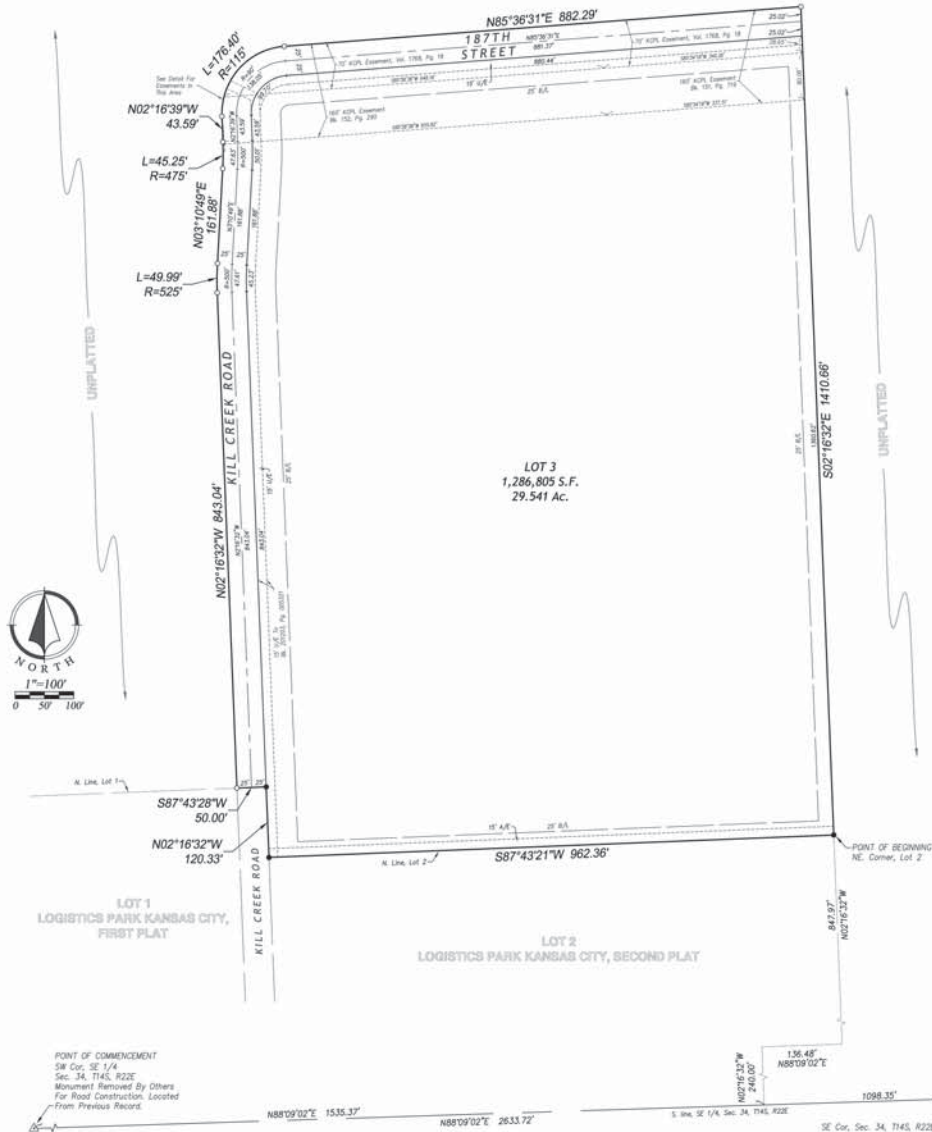
ATTACHMENTS

Final Plat for Logistics Park Kansas City, Third Plat (Lot 3)

FINAL PLAT

LOGISTICS PARK KANSAS CITY, THIRD PLAT

A SUBDIVISION OF LAND IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS



DESCRIPTION

That part of the Southeast Quarter of Section 34, Township 14 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas, more particularly described as follows:

Commencing at the Southwest Corner of said Southeast Quarter; thence North 88°09'02" East, coincident with the South line of said Southeast Quarter, 1,535.37 feet; thence departing said South line, North 02°16'32" West, 240.00 feet to a point on the South line of Lot 2, LOGISTICS PARK KANSAS CITY, SECOND PLAT, a subdivision of land in said City; thence North 88°09'02" East, 136.48 feet to the Southeast corner thereof; thence North 02°16'32" West, coincident with the East line of said Lot 2, a distance of 847.97 feet to the Northeast corner thereof; said point being the Point of Beginning; thence South 87°43'21" West, coincident with the North line of said Lot 2, a distance of 962.36 feet to the Northwest corner thereof; said point being on the East right-of-way line of KILL CREEK ROAD, as it now exists; thence North 02°16'32" West, coincident with said East right-of-way line, 120.33 feet; thence departing said East right-of-way line, South 87°43'21" West, coincident with the Eastern prolongation of the North line of Lot 1, LOGISTICS PARK KANSAS CITY, FIRST PLAT, a subdivision of land in said City, a distance of 50.00 feet to the Northeast corner of said Lot 1; thence North 02°16'32" West, 843.04 feet; thence Northerly, along a tangent curve to the right, said curve having a radius of 525 feet, for a distance of 49.99 feet; thence North 02°16'32" East, 141.88 feet; thence Northerly, along a tangent curve to the left, said curve having a radius of 475 feet, for a distance of 45.25 feet; thence North 02°16'32" West, 43.59 feet; thence Easterly, along a tangent curve to the right, said curve having a radius of 115 feet, for a distance of 176.46 feet; thence North 87°36'53" East, 882.29 feet; thence South 02°16'32" East, 1,410.66 feet to the Point of Beginning, containing 1,394,979 square feet, or 32.024 acres, more or less.

DEDICATION

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as "LOGISTICS PARK KANSAS CITY, THIRD PLAT".

The undersigned proprietor of said property shown on this plat does hereby dedicate for public use and public ways and thoroughfares, all parcels and parts of land indicated on said plat as streets, terraces, places, roads, drives, lanes, parkways, avenues and alleys not heretofore dedicated. Where prior easement rights have been granted to any person, utility or corporation on said parts of the land so dedicated, and any pipes, lines, poles and wires, conduits, ducts or cables heretofore installed thereupon and therein are required to be relocated, in accordance with proposed improvements as now set forth, the undersigned proprietor hereby authorizes and agrees to indemnify the City of Edgerton, Kansas, from any expense incident to the relocation of any such existing utility installations within said prior easement.

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer pipes, poles, wires, drainage facilities, irrigation systems, ducts and cables, and similar facilities, upon, over and under these areas outlined and designated on this plat as "Utility Easement" or "U/E" is hereby granted to the City of Edgerton, Kansas with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for said purposes. Utility easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of public utilities located within the easement.

A perpetual easement of access over, across and upon all areas designated on the plat as "Access Easement" or "A/E", is hereby granted for ingress and egress of all owners and occupants of Lot 3, and those tracts adjacent to said Lot 3, their guests and visitors.

NOTES

Books of Bearings: Kansas North Zone, U.S. State Plane, NAD 83 HARN
S 88°09'02" W, along the South line of the SE 1/4 of Section 34-T4S-R22E.

CLOSURE CALCULATIONS:

Length: 4745.790
Chord distance: 0.610
Chord angle: S 10°13-14 W
Precision: 1: 4745.79

All distances shown on this plat are in ground feet.

LOT NO.	LOT AREA	FRONT SETBACK	SIDE SETBACK	REAR SETBACK	BUILDING ENVELOPE
3	1,286,805 S.F. 29.541 Acres	50'	25'	25'	1,121,631 S.F. 25.749 Acres



Legend:

- A: FOUND SECTION CORNER AS NOTED
- : FOUND 1/2" IRON NAIL WITH DMS KNOLL 224 CAP
- : SET 1/2" IRON NAIL WITH DMS KNOLL 224 CAP
- R/L: BUILDING SETBACK LINE
- A/E: ACCESS EASEMENT
- U/E: UTILITY EASEMENT
- G/L: GAS LINE EASEMENT



CONSENT TO LAY

The undersigned proprietor of the above described tract of land hereby consents and agrees that the Board of County Commissioners and the City of Edgerton, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public use from the lien and effect of any special assessments, and that the amount of unpaid special assessments on such land dedicated, shall become and remain a lien on this land fronting and abutting on such dedicated public way or thoroughfare.

EXECUTION

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this ____ day of _____, 20__.

ELIHC III, LLC

Nathaniel Hagadorn, Managing Member

STATE OF KANSAS } SS

COUNTY OF JOHNSON

BE IT REMEMBERED, that on this ____ day of _____, 20__, before me a Notary Public in and for said County and State, came Nathaniel Hagadorn, Managing Member of ELIHC III, LLC, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said corporation, and he duly acknowledged the execution of the same to be the act and deed of said corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.

Notary Public My Appointment Expires: _____

APPROVALS

APPROVED by the Planning Commission of the City of Edgerton, Johnson County, Kansas, on this ____ day of _____, 20__.

Phyllis Harris, Chairperson

Maria O'Neil, Secretary

APPROVED by the Governing Body of the City of Edgerton, Johnson County, Kansas, on this ____ day of _____, 20__.

Mayor: _____ Attest: _____

City Clerk

APPROVED by the Zoning Administrator, on this ____ day of _____, 20__.

Zoning Administrator

This is to certify on the ____ day of _____, 2013 this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Kansas Minimum Standards" for boundary surveys pursuant to K.S.A. 14-7017.

Michael Schmidberger, Kansas LS-954

LOGISTICS PARK KANSAS CITY, THIRD PLAT

Prepared For:
ELIHC III, LLC
6300 N Revere Drive, Ste. 225
Kansas City, MO 64151
(816) 888-7385

Date of Preparation:
SECTION 34-14-22
December 17, 2013

Renaissance Infrastructure Consulting
16490 STRAIN LINE ROAD
LENEXA, KANSAS 66215
913.317.9500
WWW.RIC-CONSULT.COM

NAME OF PROPOSED SUBDIVISION: LOGISTICS PARK KANSAS CITY, THIRD PLAT

LOCATION OR ADDRESS OF SUBJECT PROPERTY: 18905 KILL CREEK ROAD

LEGAL DESCRIPTION: LOT 3, LOGISTICS PARK KANSAS CITY, THIRD PLAT

CURRENT ZONING ON SUBJECT PROPERTY: L-P CURRENT LAND USE: VACANT

TOTAL AREA: 320 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 1,394,978 Sq. Ft.

DEVELOPER'S NAME(S): _____ PHONE: 816. 888. 7380

COMPANY: ELHC IV, LLC FAX: 816. 888. 7399

MAILING ADDRESS: 6300 N. REVERE, STE 225 KANSAS CITY MO 64151
Street City State Zip

PROPERTY OWNER'S NAME(S): SAME PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State Zip

ENGINEER'S NAME(S): DAN COOK PHONE: 913. 317. 9500

COMPANY: R-I-C FAX: 913. 317. 9501

MAILING ADDRESS: 11490 STRANG LINE LENEXA KS 66215
Street City State Zip

SIGNATURE OF OWNER OR AGENT: [Signature]
If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

Case No.: P- _____ Amount of Fee Paid: \$ _____ Date Fee Paid: _____

Received By: _____ Date of Hearing: _____

FINAL PLAT INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-five (45) days prior to a scheduled meeting. If the final plat complies with the preliminary plat, Planning Commission and Governing Body may consider approval without notice or public hearing.

vs. 9-9-11

NAME OF PROPOSED SUBDIVISION: LOGISTICS PARK KANSAS CITY, THIRD PLAT

LOCATION OR ADDRESS OF SUBJECT PROPERTY: 18905 KILL CREEK ROAD

LEGAL DESCRIPTION: LOT 3, LOGISTICS PARK KANSAS CITY, THIRD PLAT

CURRENT ZONING ON SUBJECT PROPERTY: L-P CURRENT LAND USE: VACANT

TOTAL AREA: 320 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 1,394,978 Sq. Ft.

DEVELOPER'S NAME(S): _____ PHONE: 816. 888. 7380

COMPANY: ELHC IV, LLC FAX: 816. 888. 7399

MAILING ADDRESS: 6300 N. REVERE, STE 225 KANSAS CITY MO 64151
Street City State Zip

PROPERTY OWNER'S NAME(S): SAME PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State Zip

ENGINEER'S NAME(S): DAN COOK PHONE: 913. 317. 9500

COMPANY: R-I-C FAX: 913. 317. 9501

MAILING ADDRESS: 11490 STRANG LINE LENEXA KS 66215
Street City State Zip

SIGNATURE OF OWNER OR AGENT: [Signature]
If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

Case No.: P- _____ Amount of Fee Paid: \$ _____ Date Fee Paid: _____

Received By: _____ Date of Hearing: _____

FINAL PLAT INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-five (45) days prior to a scheduled meeting. If the final plat complies with the preliminary plat, Planning Commission and Governing Body may consider approval without notice or public hearing.

vs. 9-9-11



EDGERTON
global routes. local roots.

404 East Nelson
Edgerton, KS 66021
P: 913.893.6231
EDGERTONKS.ORG

STAFF REPORT

January 10, 2014

To: Edgerton Planning Commission
Fr: Beth Linn, City Administrator
Mike Mabrey, Zoning Administrator
Re: Application for Final Site Plan for Logistics Park Kansas City, Third Plat (Lot 3)

APPLICATION INFORMATION

Applicant/Property Owner: Edgerton Land Holding Company

Requested Action: Final Site Plan – Logistics Park Kansas City, Second Plat (Lot 3)

Legal Description:

Site Address/Location: 18905 Kill Creek Rd

Existing Zoning and Land Uses: City of Edgerton L-P Logistics Park on vacant land

Existing Improvements: None

Site Size: Approximately 29.541 Acres

PROJECT DESCRIPTION

This is the third phase of development of the Logistics Park Kansas City by Edgerton Land Holding Company (ELHC), a subsidiary of NorthPoint Development. The property will serve the BNSF intermodal facility to the north of the subject site. The intermodal facility's purpose is to transfer loaded cargo containers from trains to trucks. BNSF owns 1,000 acres, annexed into the City in 2010, to develop both the intermodal facility and an adjacent warehouse industrial (logistics) park. ELHC, the applicant for this project, is BNSF's partner for developing warehousing which is planned to eventually surround the intermodal facility.

The subject property is located directly to the north of Lot 2 (Second Plat) a build-to-suit building for DEMDACO. The property is zoned L-P, Logistics Park. The City's Unified Development Code (UDC) defines this district as a limited multimodal industrial zone created to support activities related to truck, rail and other transport services. The property has an approved preliminary plat and preliminary site plan. The planned use for this lot is a 574,154 square foot warehouse that is build-to-suit for Smart Warehousing a Third Party Logistics Firm.

INFRASTRUCTURE AND SERVICES

Infrastructure was reviewed previously per the rezoning and preliminary plat. Some conditions continue to exist as noted below.

- a. Homestead Lane and 191st Street are paved and designed to accommodate intermodal and logistic park truck traffic. Driveway and street connections will need to comply with city requirements regarding location and design.
- b. All of the property is located within the Big Bull Creek watershed, which flows south from 167th Street to the southern edge of the county at Homestead Lane.
- c. The property will construct a sanitary sewer main extension to connect to the Intermodal Lift Station of the Big Bull Creek Wastewater Conveyance System recently constructed by the City of Edgerton.
- d. The property is located within the service area of Water 7. A 12-inch water line is located along the 191st Street. The City of Edgerton, Water District No. 7 and Edgerton Land Holding Company have an approved agreement for construction of a new water tower to supply sufficient fire flows to the site.
- e. Police protection is provided by the Johnson County Sheriff's Department under contract with the City of Edgerton. Fire protection is provided by Johnson County Rural Fire District No. 1. The nearest fire station is located in the City of Edgerton, approximately 1.5 miles to the west.

FINAL SITE PLAN REVIEW

Staff has reviewed the Final Site Plan submittal for compliance with the Approved Preliminary Site Plan and Section 5.2 Logistics Park (L-P) of Article 5. It is also reviewed for compliance with Section 10.1 of Article 10 for Site Plan requirements. The combined details of that review are listed below.

1. Front or cover sheet.
 - a) A scale vicinity map showing the relationship of the site to surrounding neighborhoods, roads and other physical features. ***Final Site Plan complies.***
 - b) A project title, zoning designation and project sponsor. A street, lot or tract address of the project. ***Add the street address-18905 Kill Creek Rd.***
 - c) An index to contents, and a data table which, at a minimum, includes: Acreage of the site and number of units per acre (if applicable); gross square feet of the building(s) area; the proposed use of each building; number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load and, the total number of parking places. ***Not provided.***
 - d) The name of the architect, engineer, surveyor or draftsman. ***Final Site Plan complies.***
 - e) The specified certificates and signature blocks. ***Final Site Plan complies.***
2. Sheet #2
 - a) A landscape plan drawn to scale, showing the site, building location, planting and seeding schedules, refuse and outdoor storage screening and boundary screening. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. ***The site plan does not show trash enclosures and required screening. The ROW Buffer requires 45 trees and 557 hedge/shrub/evergreens. Plan only provides 44 trees and 139 shrubs.***

Additional landscaping should be considered similar to the DEMDACO building as dock doors face the public right-of-way. Provide written confirmation from KCPL that the proposed landscaping is acceptable within their 160' easement.

- b) A table entitled "Planting Schedule" which lists the common name, size and condition of all planting materials, together with a timetable for planting. ***Final Site Plan complies.***

3. Sheet #3

- a) A site map with the following features.
 - i. Topography at reasonable intervals. ***Final Site Plan complies.***
 - ii. Exterior lot lines with any survey pins. ***See Final Plat.***
 - iii. Location of buildings. ***Final Site Plan complies.***
Parking areas, paths, walks with sizes and surfaces material specifications. ***Final Site Plan accommodates space for sidewalks; however sidewalk locations have not been shown adjacent to the Public Street or within the proposed lot development. Section 5.2.1.3.f of the UDC states that pedestrian access within a development and adjacent public and private property shall be considered as a component to the design of an employment center. Show proposed sidewalk along Kill Creek Road and 187th Street. Provide required number of employee spaces and provided number of employee spaces.***
 - iv. Exterior lighting specifications. ***Applicant shall provide a photometric plan in compliance with the lighting specifications for L-P District.***
 - v. Site entrance and connections to streets. ***There is not sufficient distance between existing and proposed driveways. Additional separation is needed. Applicant should also consider driveway location with regard to future building to west. Exact location shall be reviewed and approved by City Engineer prior to construction to insure the public health, safety and welfare of the travelling public. A schedule for completion of the public street should be submitted. There is only one access point for the IP IV building and for the entire LPKC development. Verify restrictions in the Fire Code regarding amount of building square footage to be served by a single access point.***
 - vi. The location of easements. ***Proposed easements should be shown. Missing easements include interior utility easements.***
 - vii. Connection point for utilities. ***Construction plans for all public infrastructure will need to be prepared to City standards and approved prior to construction. A KDHE sewer extension permit will also be required.***
- b) A sketch of the entry sign, and all other free-standing, façade, and building signs to be used on the premises. ***Not provided.***
- c) Features to facilitate handicapped access. ***Handicapped accessible spaces have been shown. The spaces should also be located as close to the doors as practical. An accessible route should be provided that is not in the driving lanes. Provide the total number of stalls along with the number of***

accessible spaces to confirm that ADA requirements are met. The accessible parking spaces and access areas should not exceed 2% slope in any direction.

- d) Profile and detail for roads (if required). *To be determined during construction plan preparation.*

4. Sheet #4

- a) Scale drawing of building floor plans. *Final Site Plan complies.*
- b) Dimensions and use of rooms and areas. *Not provided. Will be addressed during building permit review process.*
- c) Dimensions of entrances/exits and corridors. *Not provided. Will be addressed during building permit review process.*
- d) Interior specifications for handicapped accessibility as required by ANSI 117.1 and this ordinance. *Not provided. Will be addressed during building permit review process.*

5. Sheet #5

- a) Scale drawings of all building elevations. *Review to be completed during building permit process.*
- b) Roof pitch and materials. *Review to be completed during building permit process.*
- c) Siding type and materials, including facie. *Review (including compliance to UDC requirements for building massing, color, horizontal articulation, vertical articulation, etc.) to be completed during building permit process.*

Parking and Loading.

1. Each establishment shall provide sufficient off-street parking spaces for all employees, customers, visitors, and others who may spend time at the establishment during working hours. Such parking spaces shall be at least nine (9) feet by twenty (20) feet. *Parking spaces proposed on the site plan are 9 feet by 18 feet. Proposed parking spaces must be expanded to meet the standard.*
2. Light manufacturing shall provide one parking stall per one hundred (100) sq. ft.; general manufacturing shall provide one park stall per one hundred fifty (150) sq. ft.; and, heavy manufacturing shall provide one parking stall per 200 sq. ft.
3. Minimum parking standards may be adjusted to greater or lesser capacities to account for location, expected circulation flows, and conversion probabilities by the Planning Commission or Zoning Administrator. Each establishment shall provide adequate loading space within a building or in a side or rear yard, in such a way that all storage, standing and maneuvering of trucks shall be off the public right-of-way. *Final Site Plan complies.*
4. No portion of a parking or loading space, including maneuvering areas, except the necessary drives, shall be located closer than 30 feet from a public street right-of-way. *Final Site Plan complies*
5. All parking shall be on a surface prepared from concrete or asphalt. *Final Site Plan complies.*
6. All commercial buildings shall provide a designated off-street space for the loading and unloading of goods and merchandise. *Final Site Plan complies.*
7. See Article 10 for additional parking requirements.

Design Standards and Required Dimensions

1. Access. Each required parking space shall open directly on an aisle or driveway to provide safe and efficient means of ingress and egress. ***Final Site Plan complies.***
2. Location. All parking shall be located on the same zoning lot as the structure or use served, or an adjacent lot under the same taxpayer's name, unless special permission is granted for collective or group parking. ***Final Site Plan complies.***
3. Lighting. All lighting used to illuminate parking areas shall be directed away or shielded from residential properties. ***No exterior lighting information has been provided. Property owner is required to submit a Photometrics plan in conformance with the Photometrics standards included in the L-P District.***
4. Bumper Guards & Pavement Marking. Parking areas shall have adequate bumper guards to prevent extension or overhang of vehicles beyond property lines or parking spaces. Parking areas shall have adequate markings for channelization and movement of vehicles. ***Wheel stops are required for parking spaces around the perimeter of the parking lot and adjacent to sidewalks. Wheel stops are not indicated on the site plan and should be stipulated.***
5. Screening. All parking areas containing more than six (6) spaces shall be screened on each side that adjoins any property situated in a residential district. Screening shall be by a wall, or fence, or evergreen hedge not less than six (6) feet nor more than eight (8) feet in height. Parking areas shall be arranged and designed so as to prevent damage to, or intrusion into, walls, fences, or hedges.

General Design and Layout Criteria.

1. Relation to Adjoining Street System. The arrangement of streets in new subdivisions shall make provisions for the continuation of the principal existing streets in adjoining subdivisions (or their proper projection where adjoining property is not subdivided) where required by the Planning Commission or the Governing Body. ***Final Site Plan complies.***
2. Street Provisions for Future Development. Where appropriate, areas shall be reserved for future street usage in conjunction with the development of adjacent tracts. Areas reserved for future street usage will not be required to be improved; however, these areas shall be reserved for street improvements to be provided by the subdivider of the adjacent tract. ***Final Site Plan complies.***
3. Lot Access. The Planning Commission may disapprove any point of ingress or egress to any lot, tract, or development from any street or highway when the proposed ingress or egress would create unsafe conditions, reduce the capacity of the adjoining street or highway, or result in substandard circulation and impaired vehicle movement. ***Final Site Plan complies.***
4. Construction Standards. All streets shall be built to standards established by the City of Edgerton. ***Any public infrastructure will submit plans to be reviewed and approved by City.***

Other Comments

A storm water study has been provided. Review is not yet complete and comments will be provided once review is completed.

Review the Diesel Emission Requirements in the UDC. Provide electrical hook-ups as required to eliminate excessive idling. Verify compliance with other requirements Diesel Emission. ***A***

Diesel Emission Plan shall be provided as specific tenants and their uses become known. Diesel Emission Plan can be more difficult and/or more expensive to retrofit after the building is constructed.

Final Site Plan shall be reviewed by Water 7 to determine if district requirements being met.

RECOMMENDATION

City staff recommends approval of the Final Site Plan for Logistics Park Kansas City, Second Plat (Lot 3) subject to compliance with the following stipulations:

1. Revised final site plans shall be submitted prior any building permit approvals or commencement of the use to address all Site Plan requirements in the Section 5.2 of Article 5 Logistics Park (L-P) and Section 10.1 of Article 10 Site Plan including all items listed above.
2. No signage is proposed with this application. Signage proposed later shall receive separate approval according to the provisions of the UDC.
3. No exterior lighting is proposed with this application. Lighting proposed later shall receive separate approval according to the provisions of the UDC.
4. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City. Plans for any public sanitary sewer extension will need to obtain a KDHE permit.
5. All building permit and sign permit requirements of the City shall be met.
6. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

ATTACHMENTS

Final Site Plan for Logistics Park Kansas City, Third Plat (Lot 3)

☐ PRELIMINARY SITE PLAN

☒ FINAL SITE PLAN

NAME OF PROPOSED SUBDIVISION: INLAND PORT IV

LOCATION OR ADDRESS OF SUBJECT PROPERTY: 18905 KILL CREEK ROAD

LEGAL DESCRIPTION: LOT 3, LOGISTICS PARK KANSAS CITY, THIRD PLAT

CURRENT ZONING ON SUBJECT PROPERTY: L-P CURRENT LAND USE: L-P

TOTAL AREA: 32.0 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 1,394,978 Sq. Ft.

DEVELOPER'S NAME(S): _____ PHONE: 816.888.7380

COMPANY: ELHC IV, LLC FAX: 816.888.7399

MAILING ADDRESS: 6300 N. REVERE, STE 225 KANSAS CITY MO 64151
Street City State Zip

PROPERTY OWNER'S NAME(S): SAME PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State Zip

ENGINEER'S NAME(S): DAN COOK PHONE: 913.317.9500

COMPANY: R-I-C FAX: 913.317.9501

MAILING ADDRESS: 11490 STRANG LINE LENEXA KS 66215
Street City State Zip

SIGNATURE OF OWNER OR AGENT: 

If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

Case No.: S- _____ Amount of Fee Paid: \$ _____ Date Fee Paid: _____

Received By: _____ Date of Hearing: _____

SITE PLAN INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least thirty (30) working days prior to a scheduled meeting.

NOTICE REQUIREMENTS: The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.

vs. 9-9-11

Inland Port IV Final Development Plan Kansas City Logistics Park Lot 3

191st Street and Waverly Road
City of Edgerton, Johnson County, Kansas

LAYOUT & PAVING NOTES

- All construction shall conform to the City of Edgerton's minimum design standards.
- Contractor shall keep a full set of KC-APMA Standard Details onsite at all times.
- The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies to the architect/engineer prior to beginning work.
- The contractor shall verify the exact location of all existing utilities, take care to protect utilities that are in-trench, and repair contractor caused damage according to current local standards and at the contractor's expense. Coordinate all construction with the appropriate utility company.
- The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work.
- Prior to installing, constructing, or performing any work in the public right of way or on the public storm sewer line (including concrete pavement or connecting private drainage systems to the storm sewer), contact City of Edgerton Public Works at 913.801.4861 for inspection of the work. Contact must be made at least 24 hours prior to start of the work.
- Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Adjust all utilities prior to installation of pavement.
- The contractor shall protect all trees in-trench, in accordance with the specifications. Do not operate or store heavy equipment, nor handle, nor store materials within the driplines of trees or outside the limit of grading.
- Concrete medians and pads shall have a broom finish. All concrete shall be 4000 p.s.i. unless otherwise noted. Curb, ramps, sidewalks, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalks and ramp forms prior to placement of concrete.
- All damage to existing asphalt pavement to remain which results from new construction shall be replaced with the materials at contractor's expense.
- Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
- Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
- Paving stripes shall be 4 inch white pavement paint.
- For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.

PAVEMENT MARKING AND SIGNAGE NOTES

- Paving strip marking stripes shall be four inch (4") wide white stripes. Handicap stall marking shall be furnished at locations shown on plans.
- Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform Traffic Control Devices."
- Traffic control and pavement markings shall be painted with a white Sherwin Williams S-W traffic marking series b-292 or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

Legend

All of Lot 3, Kansas City Logistics Park, 3rd Plat, City of Edgerton, Johnson County, Kansas.

**PROJECT BENCHMARK**

DEVICER BATTERIES
Benchmark Aluminum Disk Stamped BM 1181, Located on corner west end of the North Roadway, RCL. From the intersection of Waverly Road and 191st Street, go West 0.10 Miles to the RCL.
Elev: 1010.87

UTILITIES

ELECTRIC	Sewer
Kansas City Power & Light	City of Edgerton
Phone: 816-471-5275	404 East Nelson
	P.O. Box 255
	Edgerton, Kansas
	Phone: 913.893.6231
GAS	TELEPHONE
Kansas Gas Service	Century Link
11401 West 89th Street	Phone: 800.788.3500
Overland Park, Kansas	
Phone: 913.599.8981	
WATER	CABLE
Johnson Rural Water District 7	Mediacom Cable
534 West Main	Phone: 800.234.2157
P.O. Box 7	
Gardner, Kansas	
Phone: 913.856.7173	

**KANSAS ONE CALL
1-800-DIG-SAFE**

Protect yourselves and your property against underground utility damage and liability.

Find out where the underground utility lines might be buried before you dig.

Anyone digging in Kansas must call before digging. The person who is doing the work is responsible for calling 800. If the owner contracts with a professional excavator to do the excavation then the professional excavator is responsible for calling 800.

You (the digger) will need to provide information about the work site when you call. This is a FREE service.

CALL BEFORE YOU DIG
IT'S THE LAW.

FLOOD PLAIN NOTE

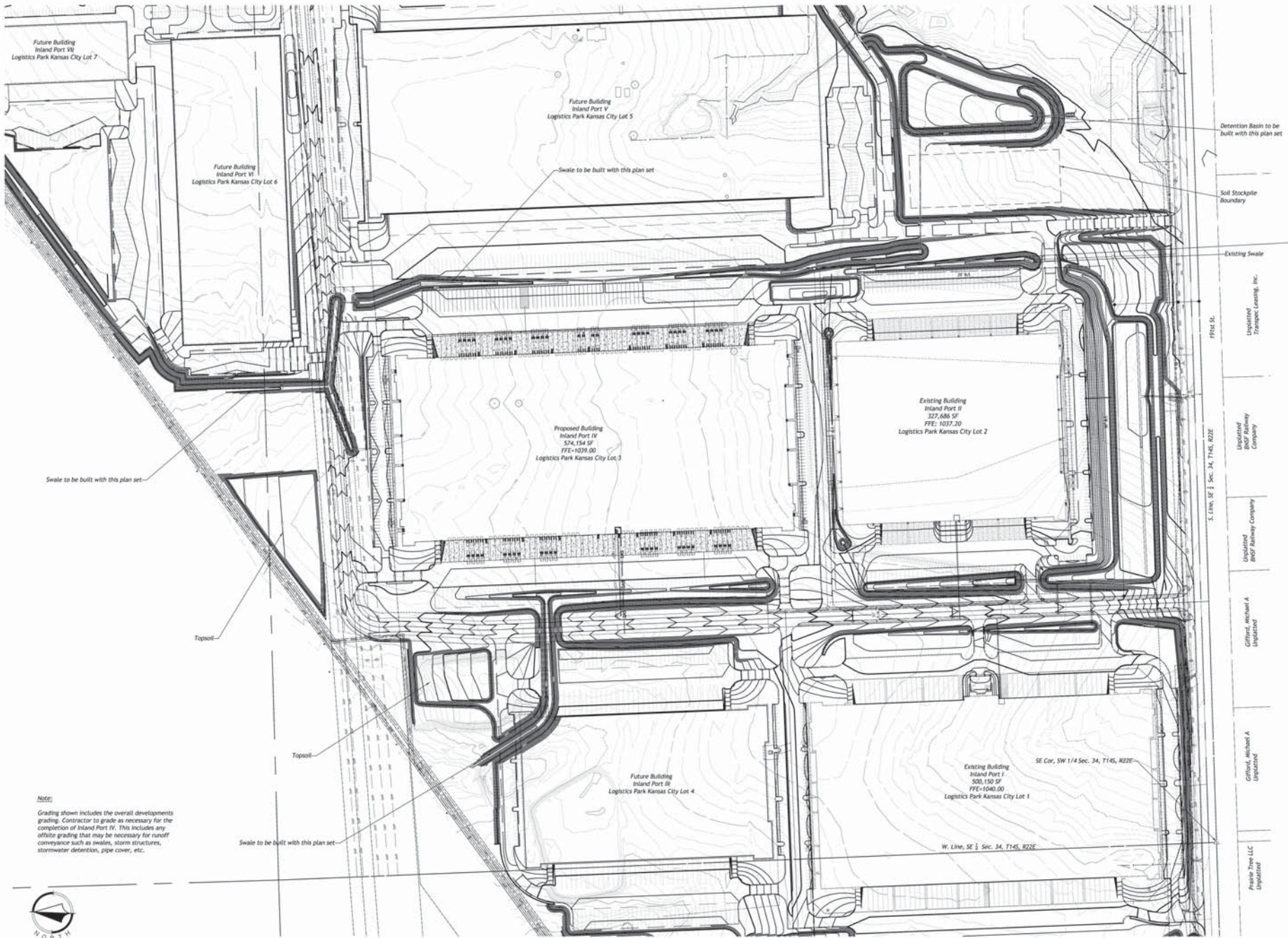
We have reviewed the "Flood Insurance Rate Map", Community Panel Number 20091C0290F, dated June 17, 2002, as published by the Federal Emergency Management Agency. The above rate map places the property in Zone "X" for insurance purposes. Zone "X" is defined as Areas determined to be outside the 500-year flood elevation. No Base Flood Elevations have been determined."

LEGEND

---	Existing Section Line	---	Proposed Right-of-Way
---	Existing Right-of-Way Line	---	Proposed Property Line
---	Existing Lot Line	---	Proposed Lot Line
---	Existing Easement Line	---	Proposed Easement
---	Existing Curb & Gutter	---	Proposed Curb & Gutter
---	Existing Sidewalk	---	Proposed Sidewalk
---	Existing Storm Sewer	---	Proposed Storm Sewer
□	Existing Storm Structure	□	Proposed Storm Structure
---	Existing Waterline	A	Proposed Fire Hydrant
---	Existing Gas Main	---	Proposed Waterline
---	Existing Sanitary Sewer	---	Proposed Sanitary Sewer
⊙	Existing Sanitary Manhole	*	Proposed Sanitary Manhole
---	Existing Contour Major	---	Proposed Contour Major
---	Existing Contour Minor	---	Proposed Contour Minor
		---	Future Curb and Gutter

INDEX OF SHEETS

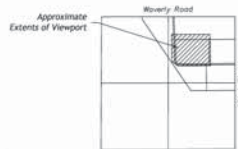
C01	Title Sheet
C02	General Layout
C03	Overall Grading Plan
C04	Grading Plan 1 of 3
C05	Grading Plan 2 of 3
C06	Grading Plan 3 of 3
C07	Utility Plan
C08	Drainage Plan
C09	Drainage Calcs
C10	Storm Plan/Profile Lines A, B, & C
C11	Storm Plan/Profile Lines D & E
C12	Detention Basin Plan
C13	Erosion Control Plan
C14	Standard Details
C15	Standard Details
L01	Overall Landscape Plan
L02	Southwest Corner Landscape Plan
L03	Northwest Corner Landscape Plan
L04	Northeast Corner Landscape Plan
L05	Southeast Corner Landscape Plan
L06	Irrigation Plan
L07	Seeding Plan
A1.00	Overall Floor Plan
A4.01	Building Elevations
A4.02	Building Elevations



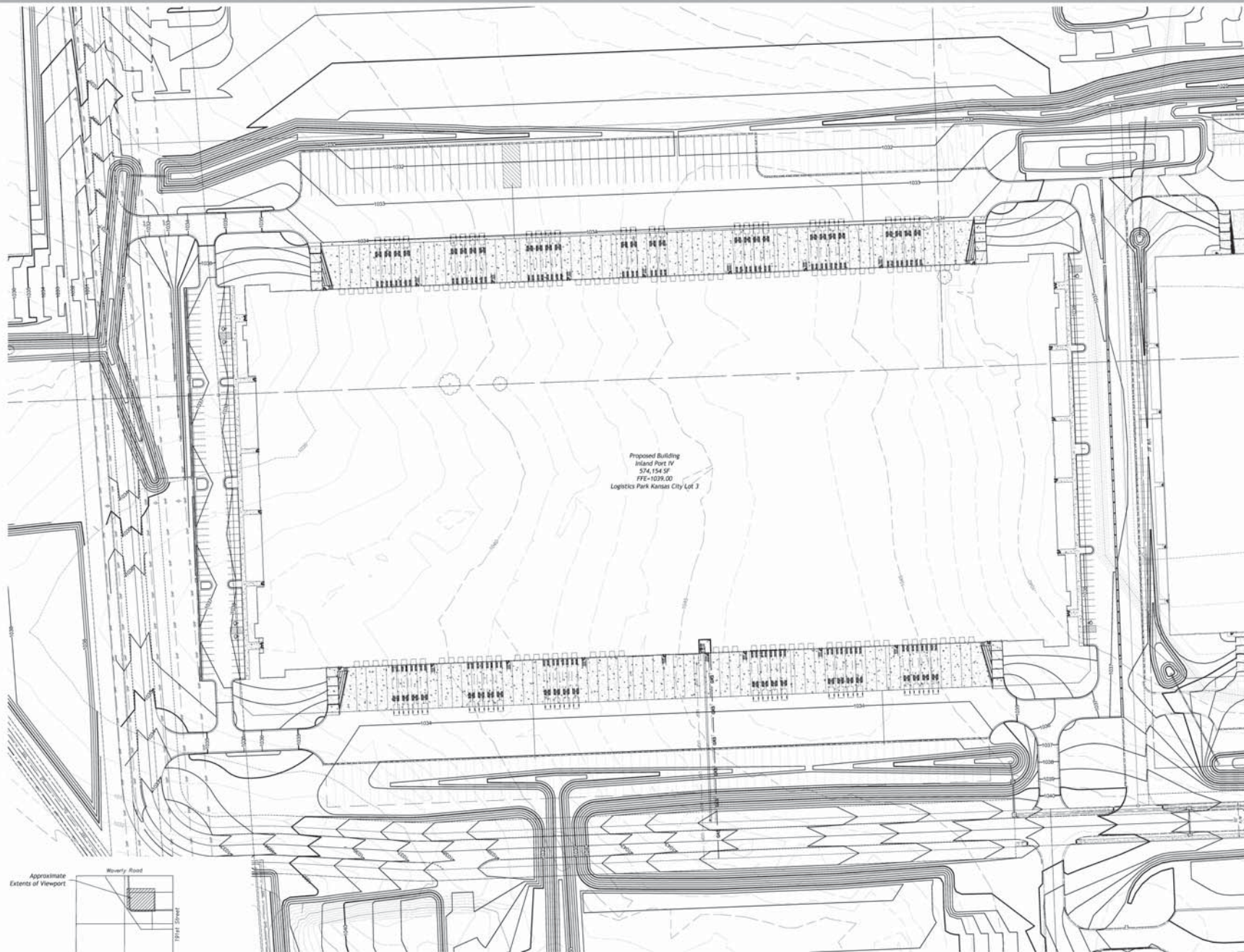
Notes:
Grading shown includes the overall developments grading. Contractor to grade as necessary for the completion of Inland Port IV. This includes any offsite grading that may be necessary for runoff conveyance such as swales, storm structures, stormwater detention, pipe cover, etc.



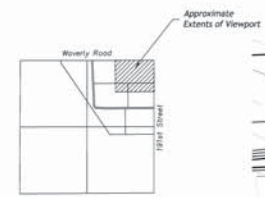
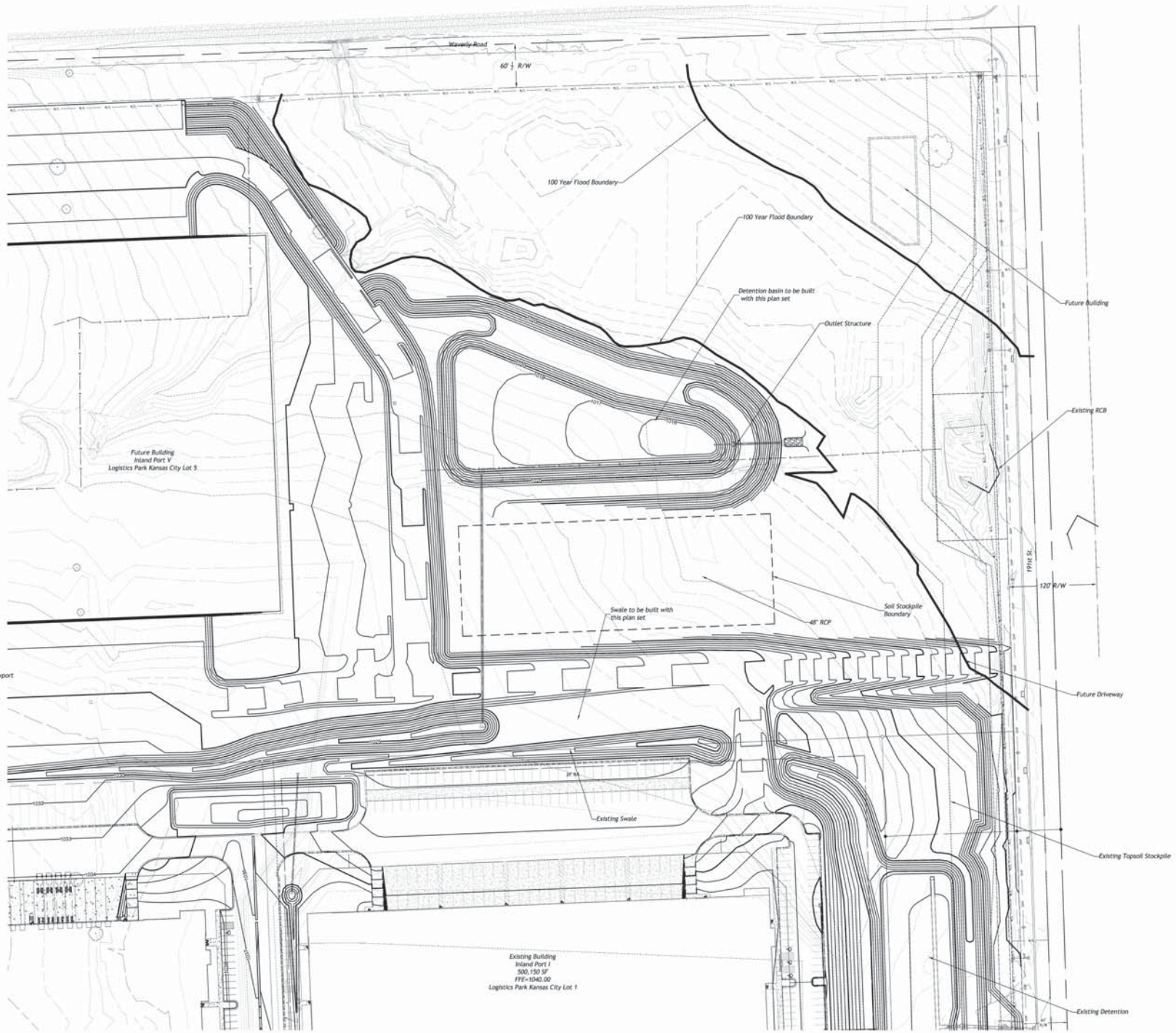
Prairie Tree LLC Unpublished	Gifford, Michael A Unpublished	Gifford, Michael A Unpublished	Unpublished BNSF Railway Company	Unpublished BNSF Railway Company	Unpublished BNSF Railway Company	Unpublished Tramper Leasing, Inc.	Existing Swale	Soil Stockpile Boundary	Detention Basin to be built with this plan set
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VIEWPORT LOCATION MAP
SECTION 34-14-22
Scale 1" = 2000'



PROJECT LOCATION	PROJECT NO.	DATE
EDGERTON, KANSAS	13-0251	10/15/13
PROJECT NAME	PROJECT NO.	DATE
INLAND PORT IV	13-0251	10/15/13
PROJECT NAME	PROJECT NO.	DATE
INLAND PORT IV	13-0251	10/15/13



VIEWPORT LOCATION MAP
SECTION 34-14-22
Scale 1" = 2000'





VIEWPORT LOCATION MAP

SECTION 34-14-32
Scale 1" = 2000'



Future John Henry Balch Road
See Public Improvement Plans

Existing Soil Stockpile

Soil Stockpile

Swale

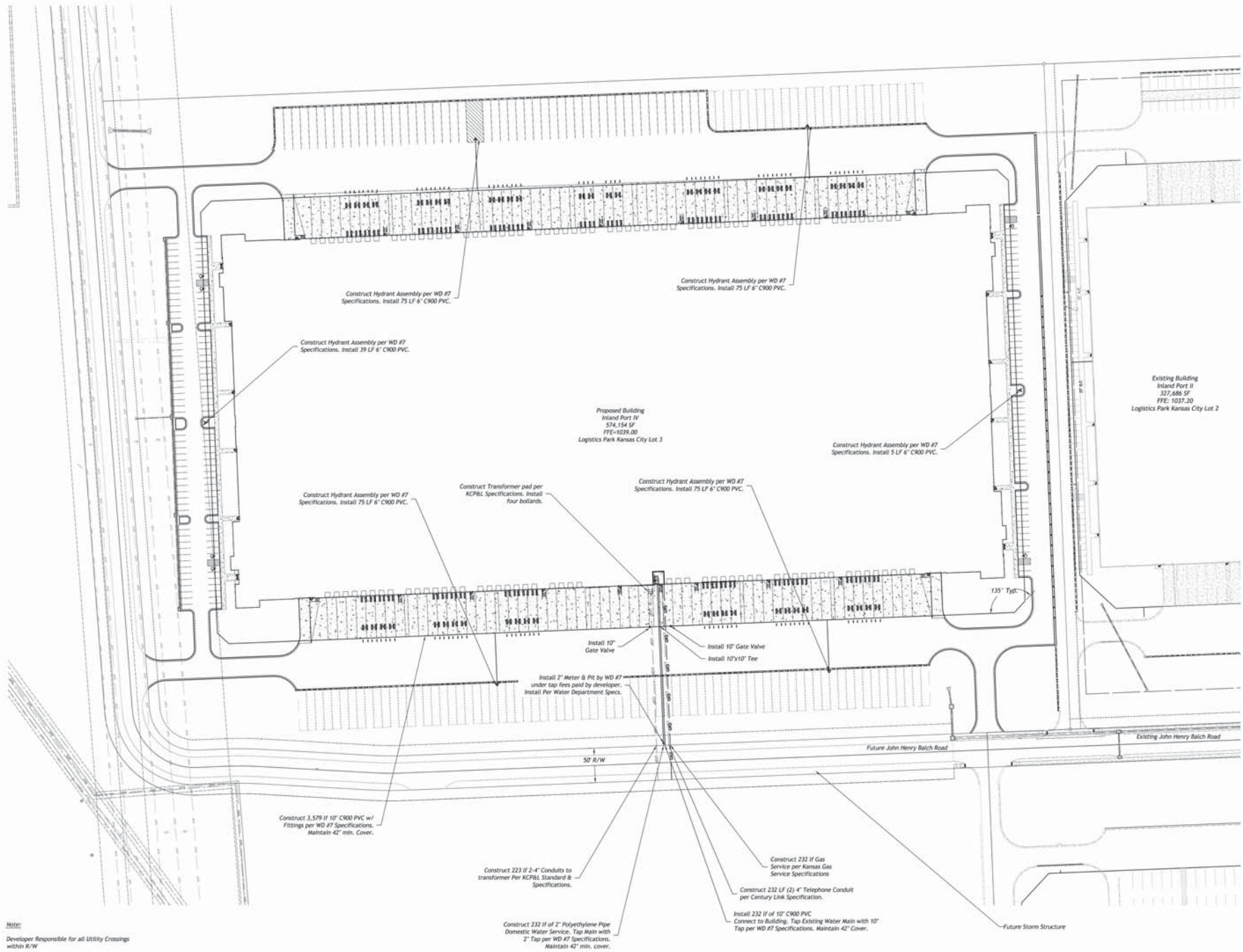
Future Building
Inland Port IV
Logistics Park Kansas City Lot 6

Proposed Building
Inland Port IV
574,154 SF
FFE=1039.00
Logistics Park Kansas City Lot 3

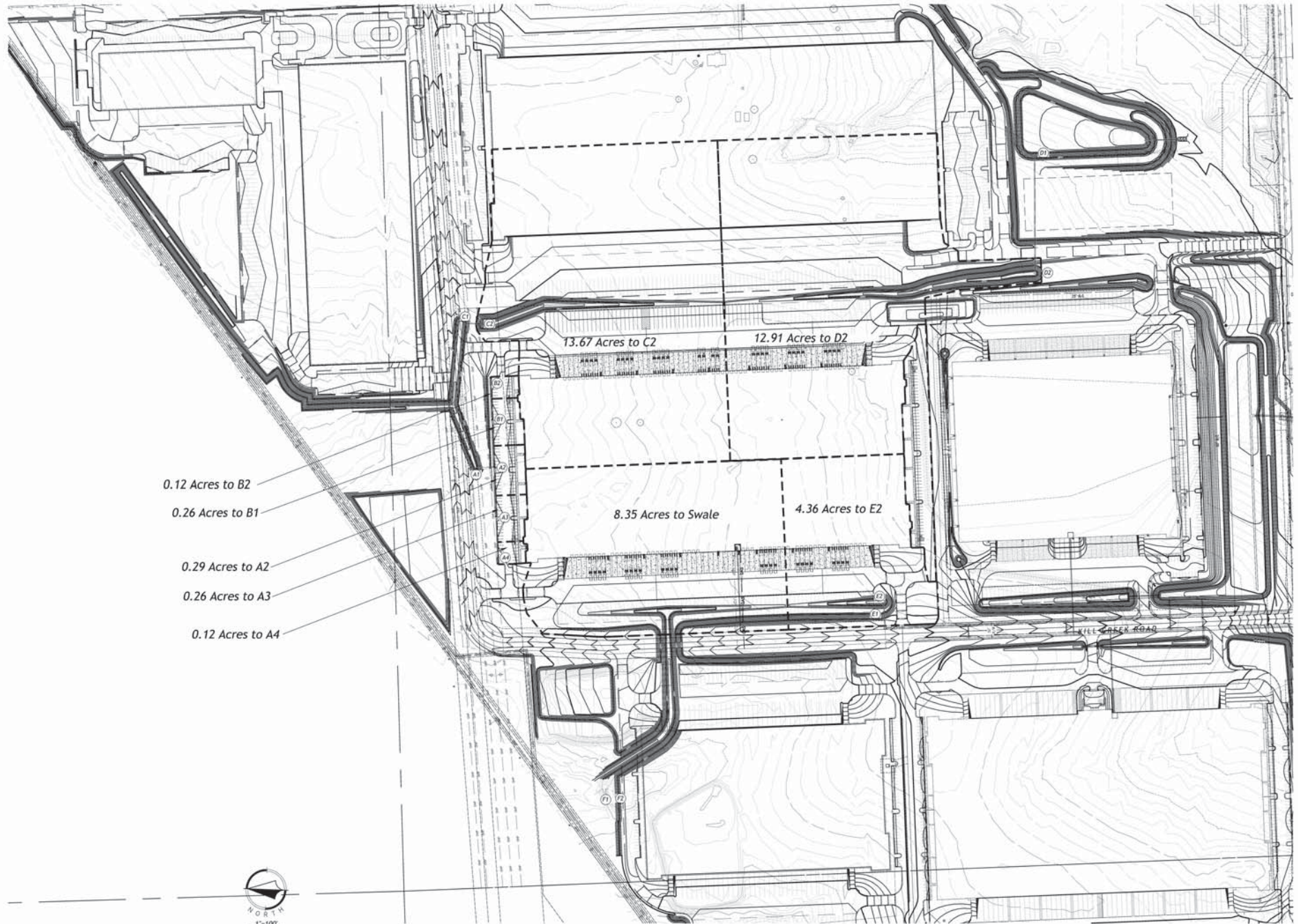
SHEET
C6

FINAL DEVELOPMENT PLAN
13-0251
INLAND PORT IV
EDGERTON, KANSAS

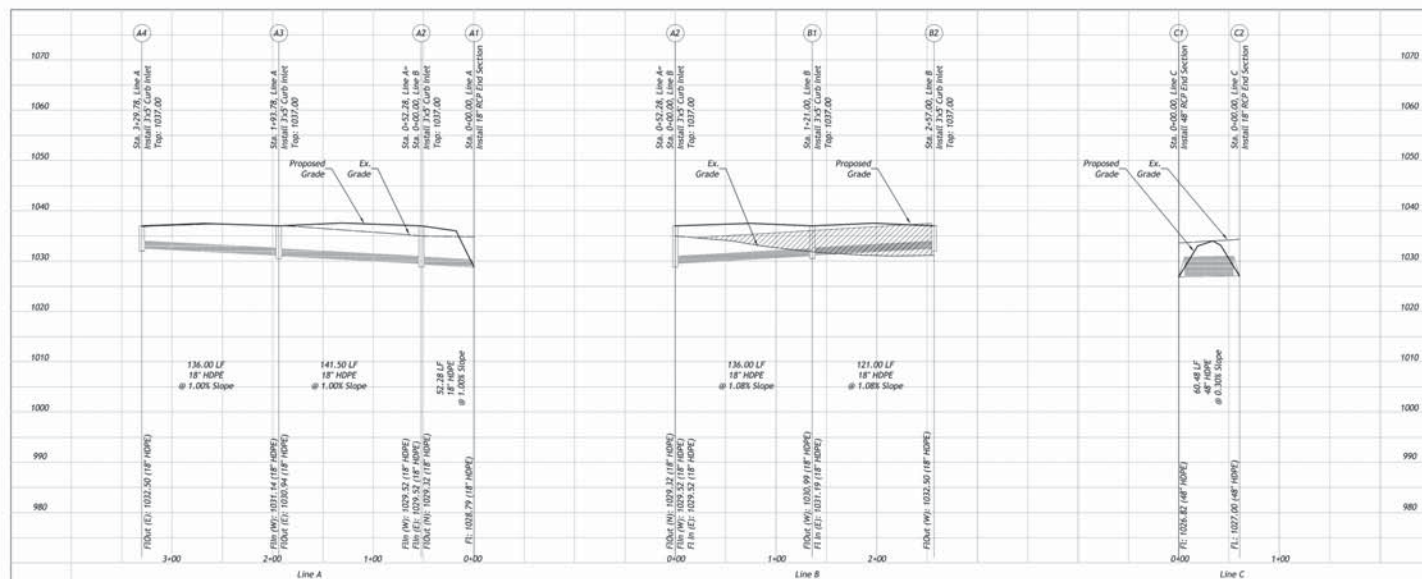
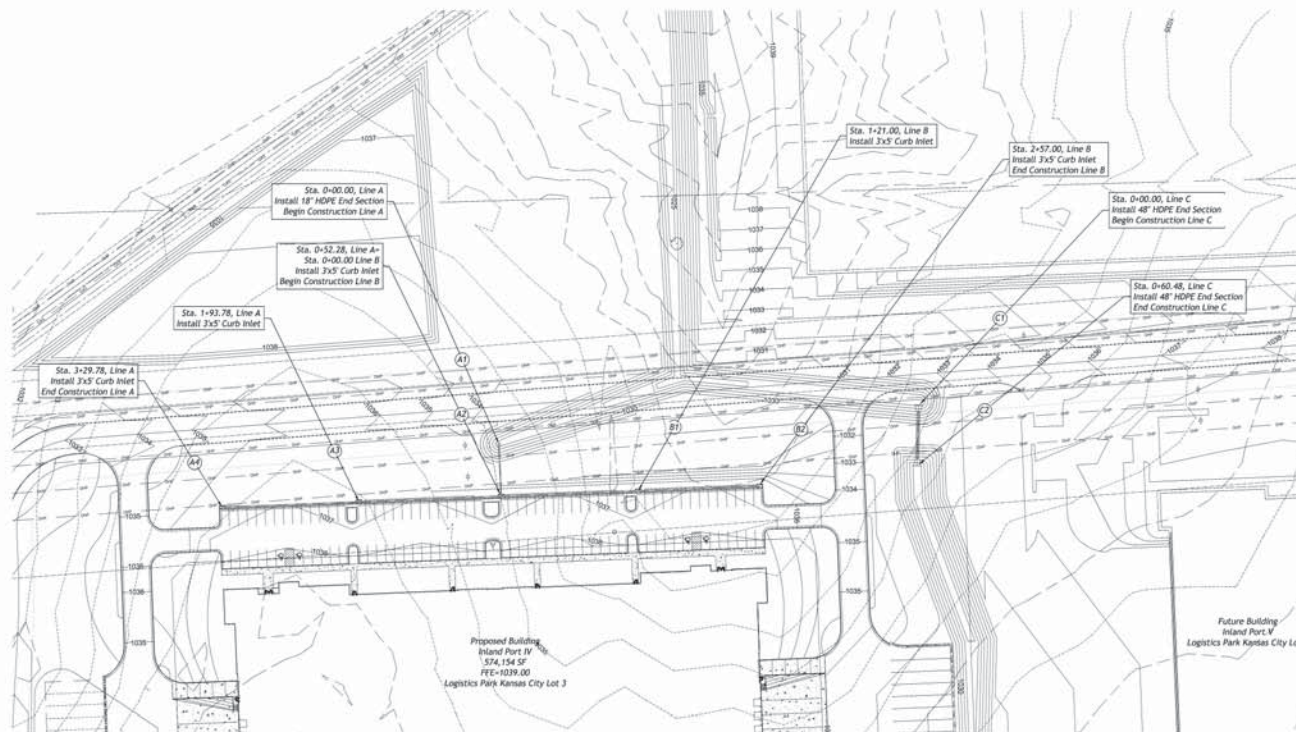
GRADING PLAN 3 OF 3



Notes:
Developer Responsible for all Utility Crossings within R/W



Overland Flow										System Flow					Pipe Design														Structure Design														
Line	Point	Tri. Area (Ac.)	"C" Value	Design Storm	"K" Value	Time of Conc. (min.)	Intensity I (in./hr.)	Tri. Runoff (cfs)	Bypass flow (cfs)	Total Runoff (cfs)	Total Area (Ac.)	Total (K"V"C)	Time of Conc. (min.)	Intensity I (in./hr.)	System Discharge (cfs)	U/S Node	D/S Node	Pipe Type	Pipe Shape	Pipe Diameter (in.)	Pipe Length (ft.)	Manning's "n" value	Pipe Slope (%)	Depth of Flow (ft.)	Design Flow (cfs)	Pipe Capacity (cfs)	Design Flow Velocity (ft/s)	Full Flow Velocity (ft/s)	Flow Time (min.)	U/S Invert El.	U/S Crown El.	D/S Invert El.	D/S Crown El.	U/S Depth of Cover (ft.)	D/S Depth of Cover (ft.)	Headwater Inlet Elev. (EGL)	Headwater Outlet Elev. (EGL)	Outlet Control	Top Elevation				
					10	1	5.00	7.35	0.77	0.00	0.77			7.35	0.77																												
A	A4	0.12	0.87		100	1.25	5.00	10.32	1.24	0.00	1.24		0.12	0.10	5.00	7.35	A4	A3	HOPE	Round	18	136.00	0.013	1.00	0.35	1.24	10.47	3.98	5.92	0.57	1032.50	1034.00	1031.14	1032.64	5.86	4.36	1032.86	1031.74	I	1037.00			
A	A3	0.26	0.87		10	1	5.00	7.35	1.68	0.00	1.68	0.38	0.33	5.00	7.35	2.43	A3	A2	HOPE	Round	18	141.50	0.013	1.00	0.63	3.92	10.49	5.51	5.94	0.43	1030.84	1032.44	1029.52	1031.02	0.00	5.98	1031.58	1030.62	I	1037.00			
A	A2	0.29	0.87		10	1	5.00	7.35	1.68	0.00	1.68	1.05	0.91	5.00	7.35	6.72	A2	A1	HOPE	Round	18	52.28	0.013	1.01	1.28	10.64	10.54	6.76	5.97	0.13	1026.32	1030.82	1029.79	1030.29	0.00	0.00	1030.65	1030.78	O	1037.00			
A	A1				100	1.25	5.00	10.32	2.99	0.00	2.99		1.05	1.05	5.00	10.32																										1030.29	
					10	1	5.00	7.35	0.77	0.00	0.77		0.12	0.10	5.00	7.35	B2	B1	HOPE	Round	18	121.00	0.013	1.08	0.34	1.24	10.89	4.10	6.16	0.49	1032.50	1034.00	1031.19	1032.69	3.00	4.31	1032.95	1031.79	I	1037.00			
B	B2	0.12	0.87		100	1.25	5.00	10.32	1.24	0.00	1.24		0.12	0.10	5.00	10.32																											
B	B1	0.26	0.87		10	1	5.00	7.35	1.68	0.00	1.68	0.38	0.33	5.49	7.20	2.38	B1	A2	HOPE	Round	18	136.00	0.013	1.08	0.62	3.85	10.89	5.64	6.16	0.40	1030.99	1032.49	1029.52	1031.02	4.51	5.98	1031.63	1030.63	I	1037.00			
B	A2				100	1.25	5.00	10.32	2.68	0.00	2.68		0.38	0.38	5.49	10.12																										1037.00	
C	C2	13.67	0.78		10	1	5.00	7.35	78.40	0.00	78.40	13.67	10.66	5.00	7.35	78.40	C2	C1	HOPE	Round	48	60.48	0.013	0.30	4.00	137.58	78.36	6.24	6.24	0.16	1027.00	1031.00	1026.82	1030.82	0.00	0.00	1031.01	1031.42	O	1031.00			
C	C1				100	1.25	5.00	10.32	137.58	0.00	137.58		13.33	13.33	5.00	10.53																										1030.82	
D	D2	12.91	0.78		10	1	5.00	7.35	74.04	0.00	74.04	12.91	10.07	5.00	7.35	74.04	D2	D1	RCP	Round	48	351.76	0.013	1.14	2.82	129.93	153.18	13.69	12.19	0.43	1023.00	1027.00	1019.00	1023.00	4.00	7.82	1025.83	1024.73	I	1031.00			
D	D1				100	1.25	5.00	10.32	129.93	0.00	129.93		12.59	12.59	5.00	10.32																										1030.82	
E	E2	4.36	0.78		10	1	5.00	7.35	25.01	0.00	25.01	4.36	3.40	5.00	7.35	25.01	E2	E1	HOPE	Round	30	28.32	0.013	1.59	1.77	43.68	51.62	11.82	10.52	0.04	1027.12	1029.62	1026.67	1029.17	0.00	5.83	1029.62	1030.61	O	1029.62			
E	E1	0.00	0.78		100	1.25	5.00	7.35	0.00	0.00	0.00	4.36	3.40	5.04	7.34	24.96	E1	Ex. B5	HOPE	Round	42	45.36	0.013	0.20	2.79	43.81	44.79	5.53	4.65	0.14	1026.47	1029.87	1026.36	1029.86	5.03	11.73	1029.27	1029.61	O	1035.00			
E	Ex. B5				100	1.25	5.00	10.32	0.00	0.00	0.00		4.25	4.25	5.04	10.31																									1041.00		

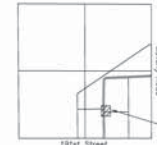
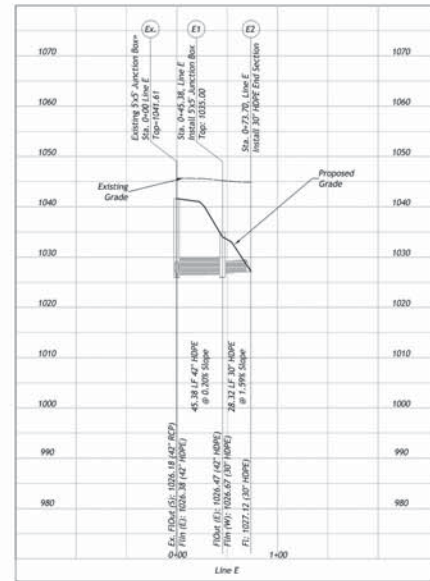
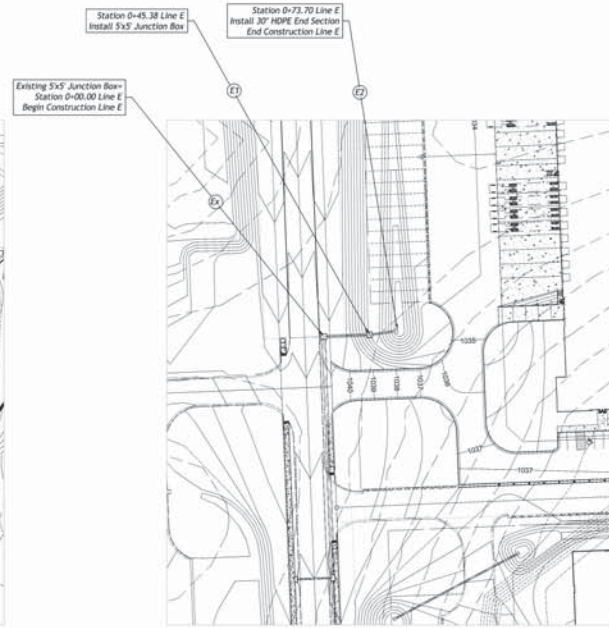
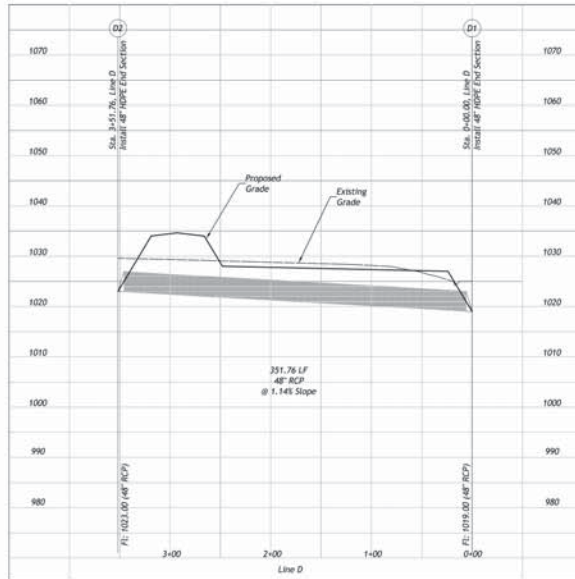
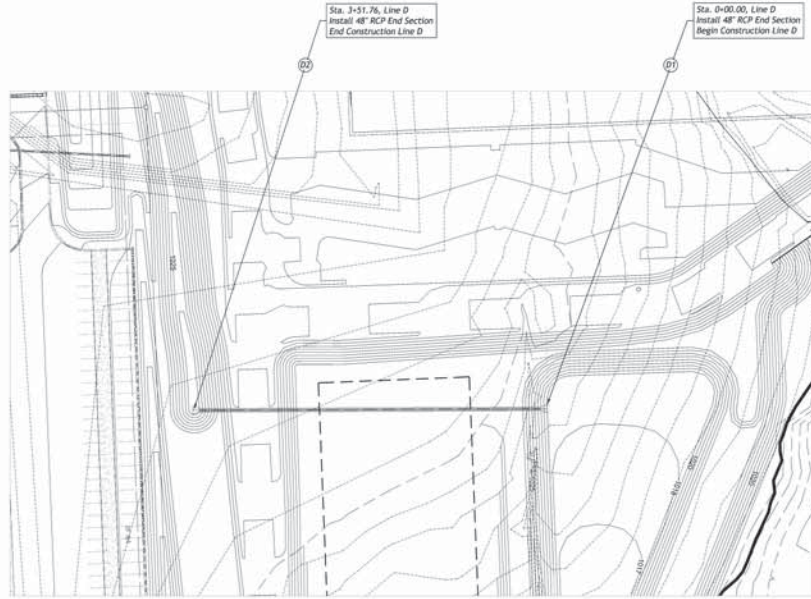


Contractor shall place fill in 6" lifts @ 95% Standard Proctor prior to construction of storm sewer.



VIEWPORT LOCATION MAP

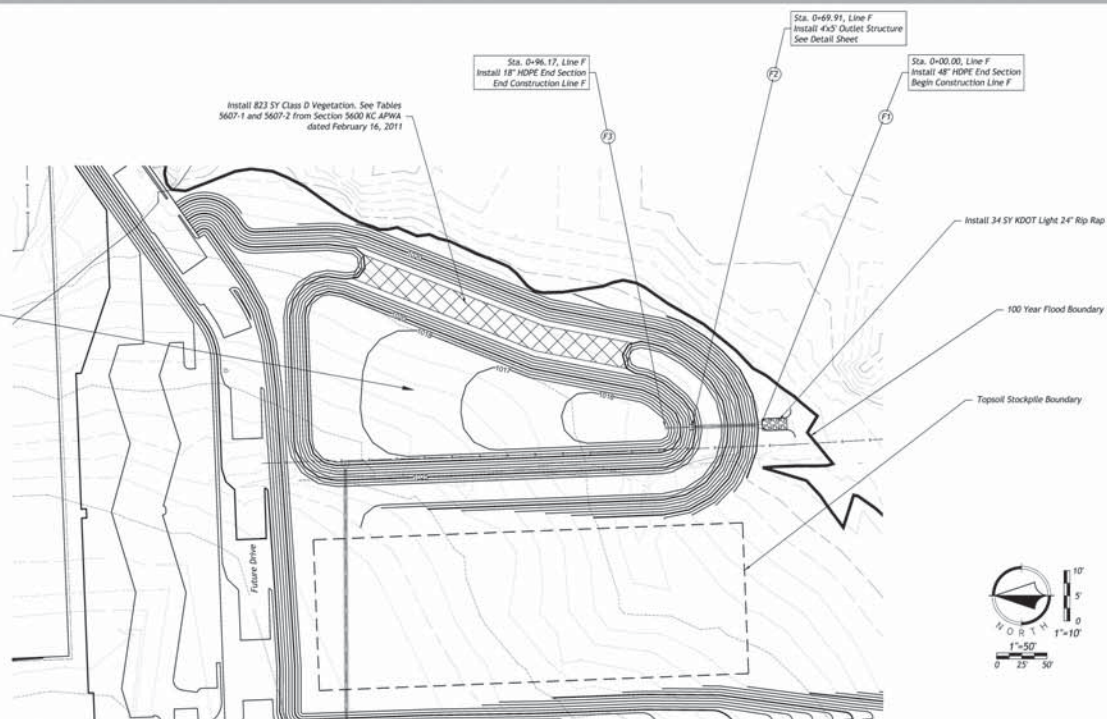
SECTION 34-14-22
Scale 1" = 2000'



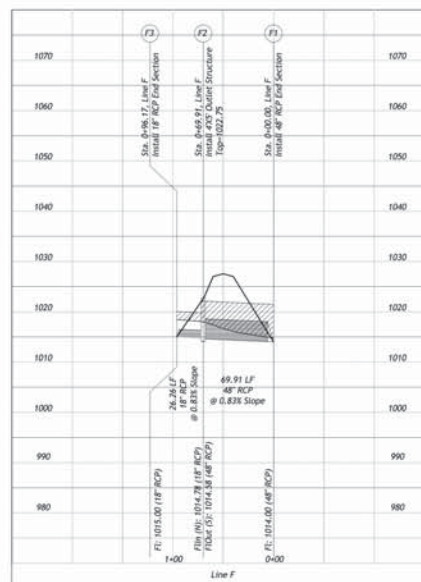
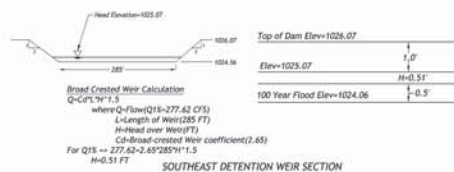
VIEWPORT LOCATION MAP

SECTION 34-14-22
Scale 1" = 2000'

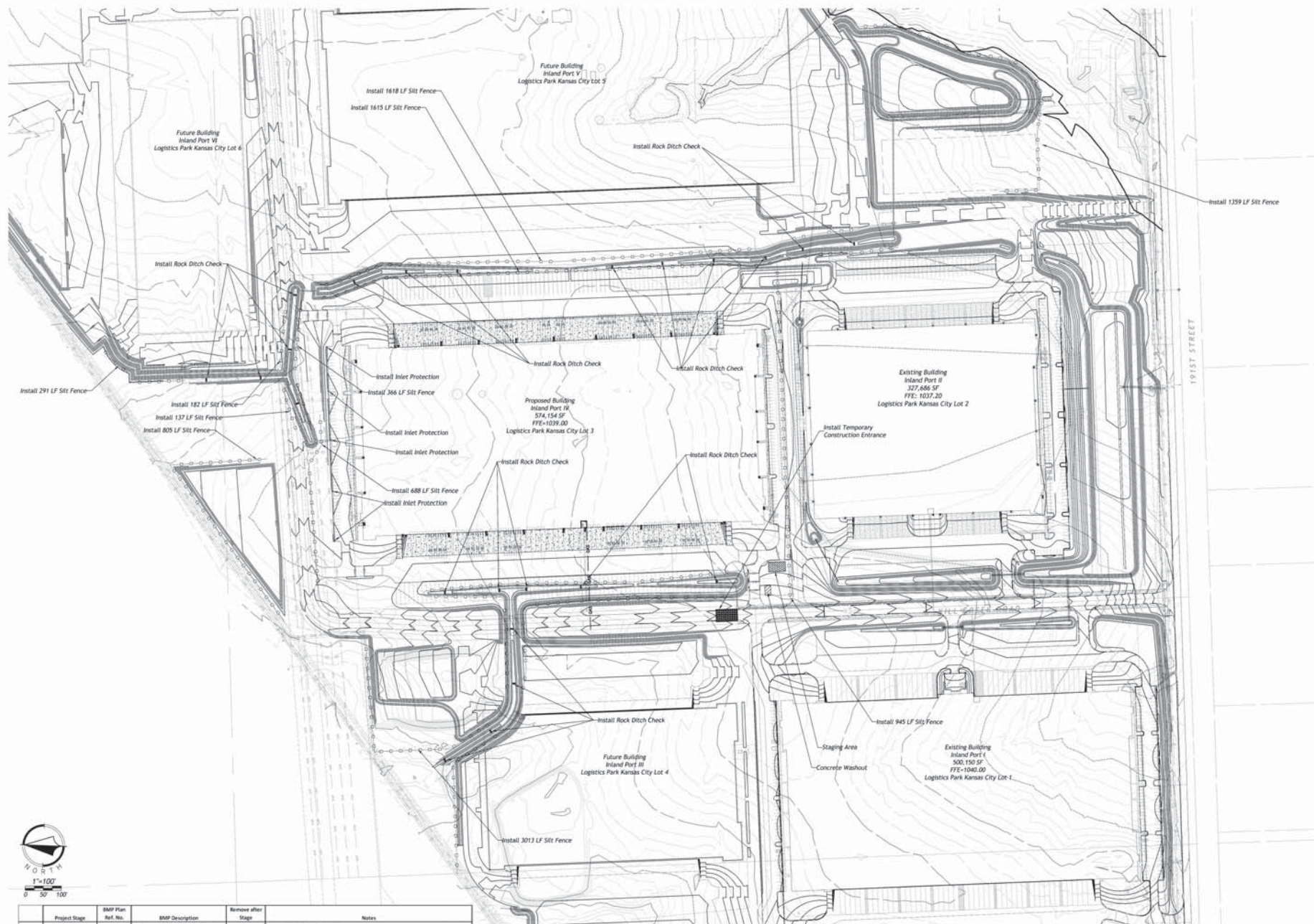
Detention Basin
31.54 Acres
 $T_c = 8.34 \text{ min.}$
 $CN = 95.00$
 $Q_{1\%In} = 277.62 \text{ cfs}$
 $Q_{1\%Out} = 133.82 \text{ cfs}$
 $Q_{10\%In} = 186.78 \text{ cfs}$
 $Q_{10\%Out} = 22.92 \text{ cfs}$
 $Q_{50\%In} = 120.45 \text{ cfs}$
 $Q_{50\%Out} = 19.30 \text{ cfs}$



Spillway Liner Material
Shear = $f \times (\text{depth} \times \text{slope})$
 $= (62.4)(.51)(.01) = .31 \text{ lb/ft}^2$
From APWA Table 5607-1 and 5607-2 Class D
Vegetation Permissible
Outlet Liner Material
Shear = $f \times (\text{depth} \times \text{slope})$
 $= (62.4)(1024.06 - 1014)(.0083) = 5.21 \text{ lb/ft}^2$
KDOT Light 24" Gradation Allowable Shear
Stress = $6.00 \text{ lb/ft}^2 \sim 5.21 \text{ lb/ft}^2$



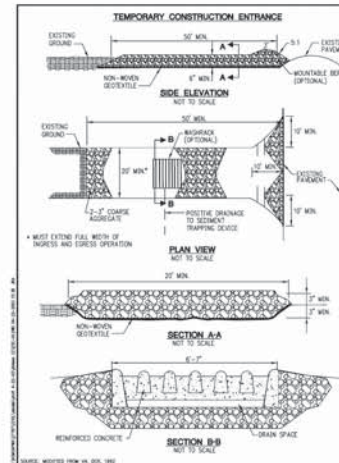
Contractor shall place fill in 6" lifts @ 95% Standard Proctor prior to construction of storm sewer.



Project Stage	BMP Plan Ref. No.	BMP Description	Remove after Stage	Notes
Phase I	1	Construction Entrance and Staging Area	D	Install construction entrance/staging area
	2	Perimeter Sediment Fence	D	Install perimeter silt fence as shown on plans
	3	Stooped Topsoil	D	Install sediment fence a minimum of 2' beyond toe of slope
Phase II	4	Rock Ditch Check	D	Install rock ditch check as shown on plans
	5	Concrete Washout	D	Install concrete washout as shown on plans prior to pouring any concrete
	6	Curb Inlet Protection	D	Install excavated area and throat protection on all curb inlets
Phase III	7	Establish Permanent Vegetation	N/A	Reestablish topsoil and seed and mulch all disturbed areas. Sod right-of-way.

Note:

Some Erosion Control Measures shown may have been previously installed for mass grading. Maintain and adjust as necessary.



TEMPORARY CONSTRUCTION ENTRANCE PAD NOTES:

A) INSTALLATION:

1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS. IF POSSIBLE, LOCATE WHERE PERMANENT ROADS WILL EVENTUALLY BE CONSTRUCTED.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR PROPER DRAINAGE.
3. IF SLOPE TOWARD THE PUBLIC ROAD EXCEEDS 2%, CONSTRUCT A 6-TO 8-INCH HIGH RIBBON WITH 3/4-IN SIDE SLOPES ACROSS THE FOUNDATION APPROXIMATELY 10 FEET FROM THE EDGE OF THE PUBLIC ROAD TO DIVERT RUNOFF AWAY FROM IT.
4. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DETACHES ALONG PUBLIC ROADS.
5. PLACE STONE TO DIMENSIONS AND GRADE AS SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOTTED FOR DRAINAGE.
6. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEGMENT CONTROL DEVICE.
7. IF WET CONDITIONS ARE ANTICIPATED, PLACE GEOTEXTILE FABRIC ON THE GRADE FOUNDATION TO IMPROVE STABILITY.

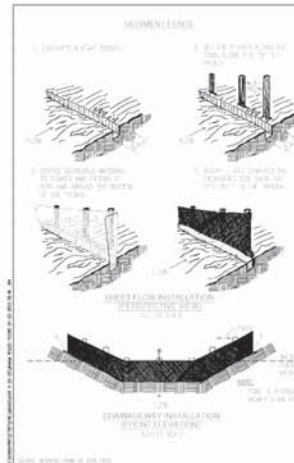
B) TROUBLESHOOTING:

1. CONSULT WITH A QUALIFIED DESIGN PROFESSIONAL IF ANY OF THE FOLLOWING OCCUR:

- a. INADEQUATE RUNOFF CONTROL TO THE EXTENT THAT SEDIMENT WASHES INTO PUBLIC ROAD -- INSTALL DIVERSIONS OR OTHER RUNOFF CONTROL MEASURES.
- b. SMALL STONE, THEN PAD, OR ABSENCE OF GEOTEXTILE FABRIC RESULTS IN RUTS AND MUDDY CONDITIONS AS STONE IS PUSHED INTO SOIL -- INCREASE STONE SIZE OR PAD THICKNESS OR ADD GEOTEXTILE FABRIC.
- c. PAD TOO SHORT FOR HEAVY CONSTRUCTION TRAFFIC -- EXTEND PAD BEYOND THE MINIMUM 30-FOOT LENGTH AS NECESSARY.

C) INSPECTION AND MAINTENANCE:

1. REMOVE STONE PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER 1/2-INCH OR GREATER STORM EVENTS.
2. REPAIR PAD AS NEEDED FOR PROPER DRAINAGE AND RUNOFF CONTROL.
3. TOPDRESS WITH CLEAN 3-AND 3-1/2-INCH STONE AS NEEDED.
4. IMMEDIATELY REMOVE RUTS OR SEDIMENT TRACKS OR WASHES INTO PUBLIC ROAD. REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.
5. REMOVE ALL TEMPORARY ROAD MATERIALS FROM AREAS WHERE PERMANENT VEGETATION WILL BE ESTABLISHED.



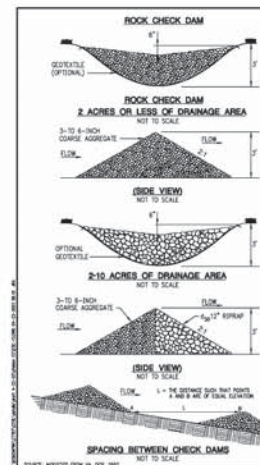
SEDIMENT FENCE NOTES:

A) INSTALLATION:

1. THE WIDTH OF SEDIMENT FENCE SHALL BE A MINIMUM OF 16 FEET ACROSS THE ORIGINAL GRADE SURFACE AND SHALL NOT EXCEED 16 FEET ACROSS THE ORIGINAL GRADE.
2. THE FENCE SHALL BE 12 INCHES HIGH AND 12 INCHES WIDE AT THE TOP. THE FENCE SHALL BE 12 INCHES HIGH AT THE TOP AND 12 INCHES WIDE AT THE BOTTOM. THE FENCE SHALL BE 12 INCHES HIGH AT THE TOP AND 12 INCHES WIDE AT THE BOTTOM. THE FENCE SHALL BE 12 INCHES HIGH AT THE TOP AND 12 INCHES WIDE AT THE BOTTOM.
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B) INSPECTION AND MAINTENANCE:

1. THE FENCE SHALL BE 12 INCHES HIGH AT THE TOP AND 12 INCHES WIDE AT THE BOTTOM. THE FENCE SHALL BE 12 INCHES HIGH AT THE TOP AND 12 INCHES WIDE AT THE BOTTOM. THE FENCE SHALL BE 12 INCHES HIGH AT THE TOP AND 12 INCHES WIDE AT THE BOTTOM.
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ROCK CHECK DAM NOTES:

A) CONSTRUCTION SPECIFICATIONS & INSTALLATION:

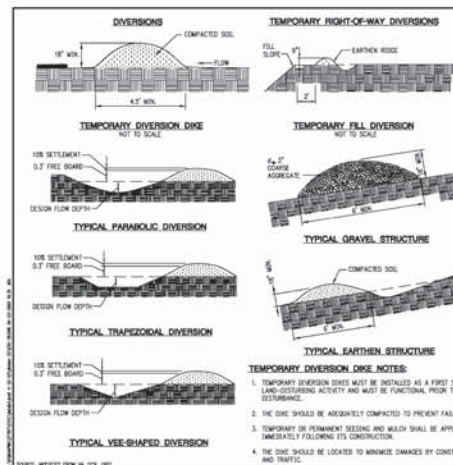
1. THE DRAINAGE AREA OF THE EDITION OR SMALL BEING PROTECTED SHALL NOT EXCEED 2 ACRES WHEN A COARSE AGGREGATE IS USED ALONG AND SHALL NOT EXCEED 10 ACRES WHEN A COMBINATION OF CLASS I RIPRAP AND COARSE AGGREGATE IS USED. AN EFFORT SHOULD BE MADE TO EXTEND THE STONE TO THE TOP OF CHANNEL BANKS.
2. THE MAXIMUM HEIGHT OF THE DAM SHALL BE 3 FEET. THE CENTER OF THE CHECK DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.
3. FOR ADDITIONAL STABILITY, THE BASE OF THE CHECK DAM CAN BE KEYED INTO THE SOIL APPROXIMATELY 6 INCHES.
4. THE MAXIMUM SPACING BETWEEN THE DAMS SHOULD BE SUCH THAT THE TOP OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.
5. STONE SHOULD BE PLACED ACCORDING TO THE CONFIGURATION TO THE LEFT. HAND OR MEDIANWAY PLACEMENT WILL BE NECESSARY TO PROVIDE COMPLETE COVERAGE OF THE EDITION OR SMALL AND TO INSURE THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES.
6. GEOTEXTILE MAY BE USED UNDER THE STONE TO PROVIDE A STABLE FOUNDATION AND TO FACILITATE REMOVAL OF THE STONE.

C) INSPECTION AND MAINTENANCE:

1. CHECK DAMS SHOULD BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH STORM EVENT OF 1/2-INCH OR GREATER. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES ONE HALF OF THE ORIGINAL HEIGHT OF THE DAM.
2. REGULAR INSPECTIONS SHOULD BE MADE TO INSURE THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES. EROSION CAUSED BY HIGH FLOODS AROUND THE EDGES OF THE DAM SHOULD BE CORRECTED.

D) REMOVAL OF PRACTICE:

1. UNLESS THEY ARE TO BE PERMANENT, CHECK DAMS MUST BE REMOVED WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED. IN TEMPORARY EDITIONS AND SMALLS, CHECK DAMS SHOULD BE REMOVED AND THE EDITION FILLED WHEN THEY ARE NO LONGER NEEDED. IN PERMANENT STRUCTURES, CHECK DAMS SHOULD BE REMOVED WHEN A PERMANENT LINDING CAN BE INSTALLED. IN THE CASE OF GRADE-USED EDITIONS, CHECK DAMS SHOULD BE REMOVED WHEN THE GRADE HAS MAINTAINED SUFFICIENTLY TO PROTECT THE EDITION OR SMALL. THE AREA BEHIND THE CHECK DAMS SHOULD BE SEEDS AND MULCHED IMMEDIATELY AFTER THEY ARE REMOVED. THE USE OF FILLER FILLED UNDERNEATH THE STONE WILL HAVE REMOVAL OF THE STONE CAUSE.



TEMPORARY RIGHT-OF-WAY DIVERSION NOTES:

1. THE DIVERSION SHALL BE CONSTRUCTED AT THE TOP OF THE FILL AT THE END OF EACH WORK DAY AS NEEDED.
2. THE DIVERSION SHALL BE LOCATED AT LEAST 2 FEET INSIDE THE RIGHT-OF-WAY EDGE OF THE FILL.
3. THE SUPPORTING RIDGE SHALL BE CONSTRUCTED WITH A UNIFORM HEIGHT ALONG ITS ENTIRE LENGTH. WITHOUT UNIFORM HEIGHTS, THE FILL DIVERSION MAY BE SUSCEPTIBLE TO BREACHING.

RIGHT-OF-WAY DIVERSION DETAIL NOTES:

1. THE DIVERSION SHALL BE INSTALLED AS SOON AS THE RIGHT-OF-WAY HAS BEEN CLEARED AND/OR GRADED.
2. ALL EARTH DIVERSIONS SHALL BE MAINTAINED OR HAND-COMPACTED IN 8-INCH LIFTS.
3. THE OUTLET OF THE DIVERSION SHALL BE LOCATED IN AN UNDISTURBED AND STABILIZED AREA WHEN AT ALL POSSIBLE. THE FILL DIVERSION SHOULD BE ADAPTED AS NEEDED TO UTILIZE A STABILIZED OUTLET.
4. EARTHEN DIVERSIONS WHICH WILL NOT BE SUBJECT TO CONSTRUCTION TRAFFIC SHOULD BE STABILIZED IN ACCORDANCE WITH TEMPORARY SETTING.

DIVERSION DETAIL NOTES:

1. ALL TREES, BRUSH, STAMPS, OBSTRUCTIONS, AND OTHER OBSTRUCTIVE MATERIAL SHALL BE REMOVED AND EXPOSED IF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
2. THE DIVERSION SHALL BE EXCAVATED OR SHOWN TO LINE, GRADE, AND CROSS-SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, FREE OF INTERFERENCES WHICH WILL IMPAIR FLOW.
3. FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNDESIRABLE SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETED DIVERSION. FILL SHALL BE COMPOSED OF SOIL WITHIN ITS FREE FLOW EXCESSIVE ORGANIC DEBRIS, ROCKS, OR OTHER OBSTRUCTIVE MATERIALS.
4. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR EXPOSED IF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
5. PERMANENT STABILIZATION OF DISTURBED AREAS SHALL BE DONE IN ACCORDANCE WITH SECTION 201.

TEMPORARY DIVERSION DIKE NOTES:

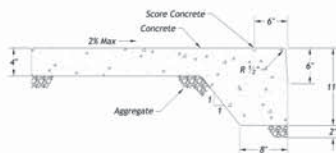
1. TEMPORARY DIVERSION DIAKS MUST BE INSTALLED AS A FIRST STEP IN THE LAND-RESTORING ACTIVITY AND MUST BE FUNCTIONAL PRIOR TO UPLIFTE LAND RESTORING.
2. THE DIKE SHOULD BE ADEQUATELY COMPACTED TO PREVENT FAILURE.
3. TEMPORARY OR PERMANENT SEEDS AND MULCH SHALL BE APPLIED TO THE DIKE IMMEDIATELY FOLLOWING ITS CONSTRUCTION.
4. THE DIKE SHOULD BE LOCATED TO MINIMIZE DAMAGES BY CONSTRUCTION OPERATIONS AND TRAFFIC.



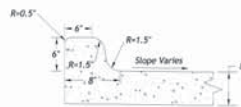
6" ASPHALTIC CONCRETE PAVEMENT



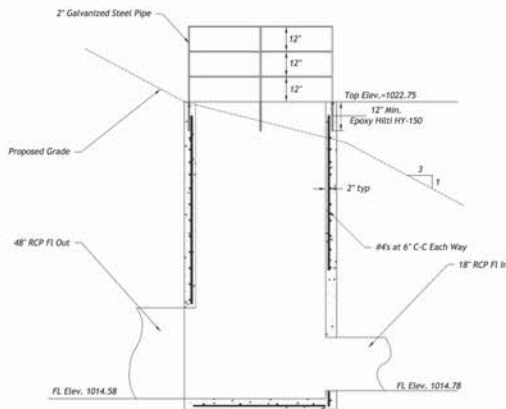
7" PORTLAND CONCRETE PAVEMENT



Cross-Section of Concrete Sidewalk with Integral Curb
SCALE: NOT TO SCALE

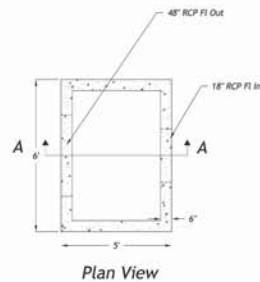


INTEGRAL CURB AT DRIVE IN RAMP
SCALE: NOT TO SCALE

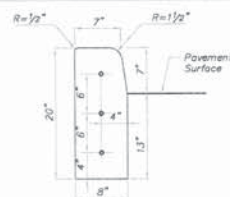


Section A-A

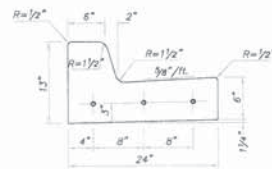
Outlet Control Structure
SCALE: NOT TO SCALE



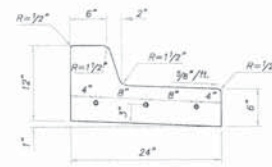
Plan View



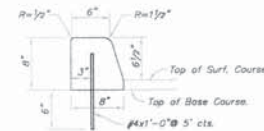
STRAIGHT CURB
(TYPE C-1)



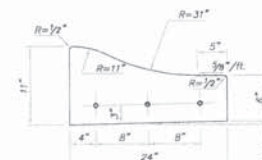
STRAIGHT BACK CURB & GUTTER
(TYPE CG-1)



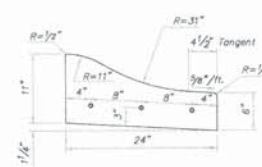
STRAIGHT BACK DRY CURB & GUTTER
(TYPE CG-1 DRY)



DOWELLED CURB
(TYPE DG)



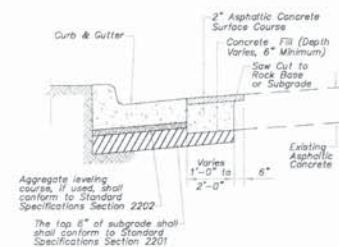
ROLL BACK CURB & GUTTER
(TYPE CG-2)



ROLL BACK DRY CURB & GUTTER
(TYPE CG-2 DRY)

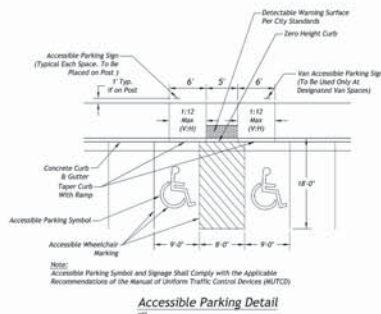
GENERAL NOTES:

1. 3/4" Isolation Joints with 5/8" dia. x 2' smooth dowels shall be placed at radius points and at 150' intervals. These dowels shall be greased and wrapped on one end with expansion tubes.
2. 1" deep Contraction Joints shall be installed at approximately 10' intervals. These joints shall pass across the entire curb section.
3. Fix dowel bars with bar supports.
4. Depth of curb shall be a minimum of 8" through the handicap access ramp.
5. Concrete shall conform to Standard Specifications Section 2208.2.B.
6. Asphaltic concrete surface course shall conform to Standard Specifications Section 2205.2.



CURB REPLACEMENT DETAIL

AMERICAN PUBLIC WORKS ASSOCIATION	
KANSAS CITY	
METROPOLITAN CHAPTER	
STANDARD DRAWING	
CURB DETAILS	
ADOPTED MAY 23, 2001	



Accessible Parking Detail

LANDSCAPE NOTES

CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allowed without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurserymen, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

All shrub beds within lawn areas to receive a manicured edge.

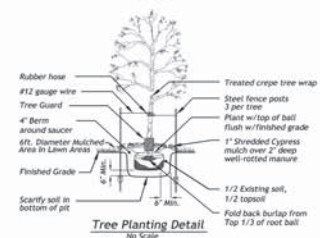
All shrub beds shall be mulched with 3" of shredded cedar mulch.

All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

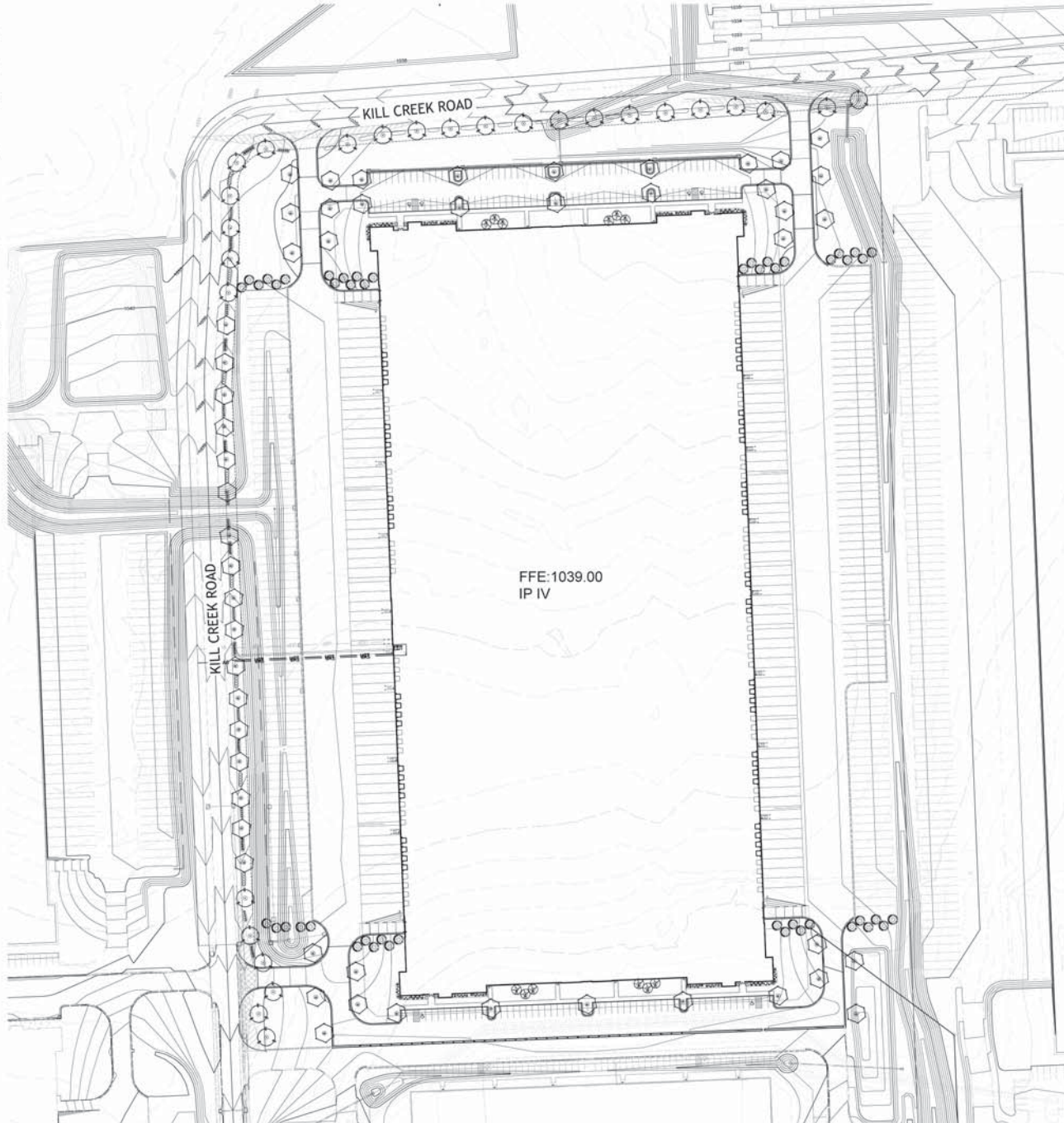
All seed areas shall be fertilized, broadcast-seeded and mulched with a Turf-Type-Tall Fescue seed blend.



Shrub Bed & Parking Setback Detail
No Scale



Tree Planting Detail
No Scale



RIGHT OF WAY BUFFER REQUIRED:

KILL CREEK ROAD = 2,226'

REQUIRED

BUFFER WIDTH 10'

TREES = 1/50' = 44

SHRUBS = 139 (25% SCREENING)

PROVIDED

BUFFER WIDTH 30' - 42'

SHADE TREES = 44

SHRUBS = 139



SIGHT TRIANGLE

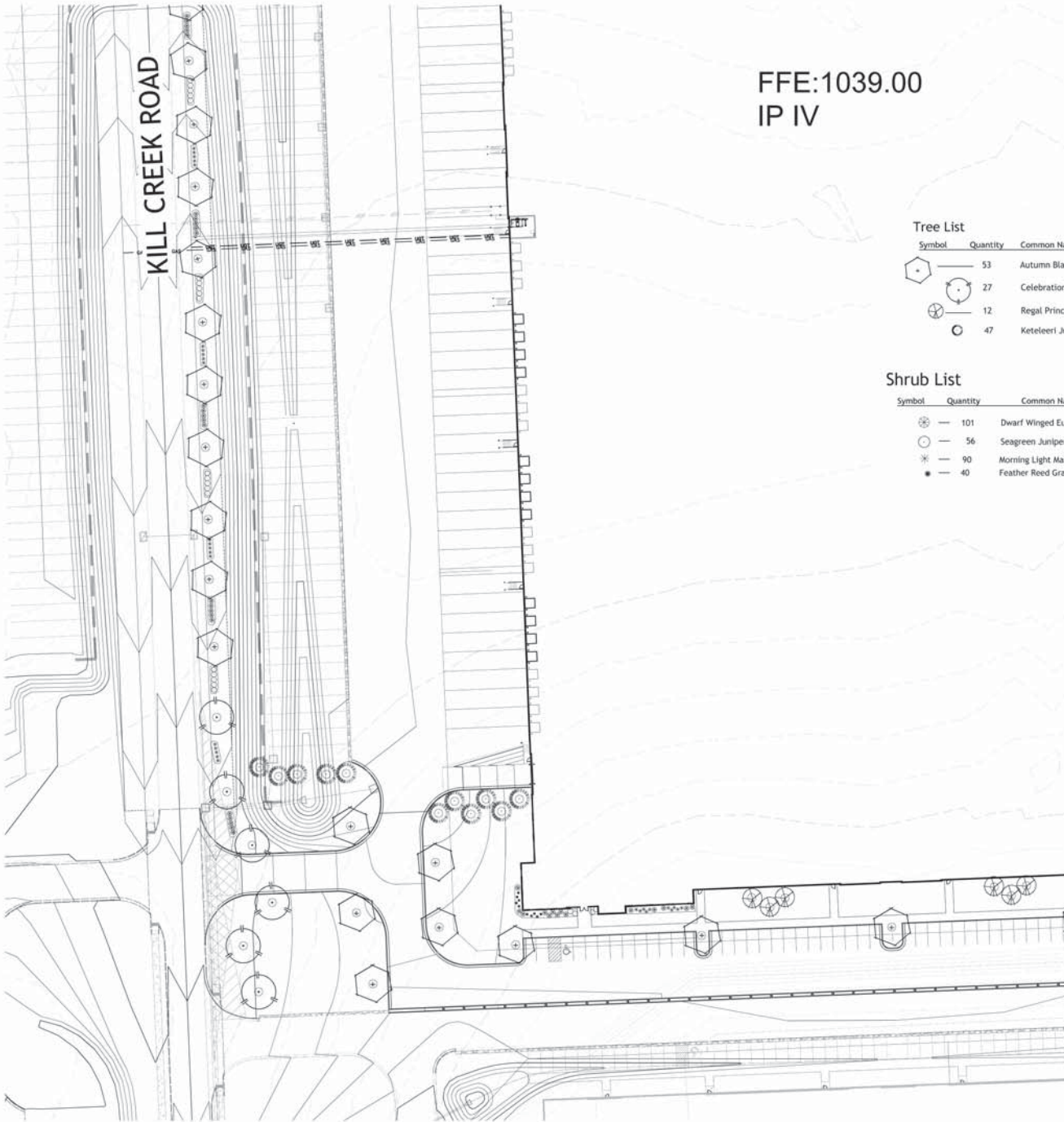


SHEET
L/I

FINAL DEVELOPMENT PLAN
13-0251
INLAND FORT IV
EDGERTON, KANSAS

LANDSCAPE PLAN
OVERALL

Renaissance
Infrastructure
Consulting
1000 West 10th Street, Suite 100
Lawrence, Kansas 66044
www.ri-consult.com



FFE:1039.00
IP IV

Tree List

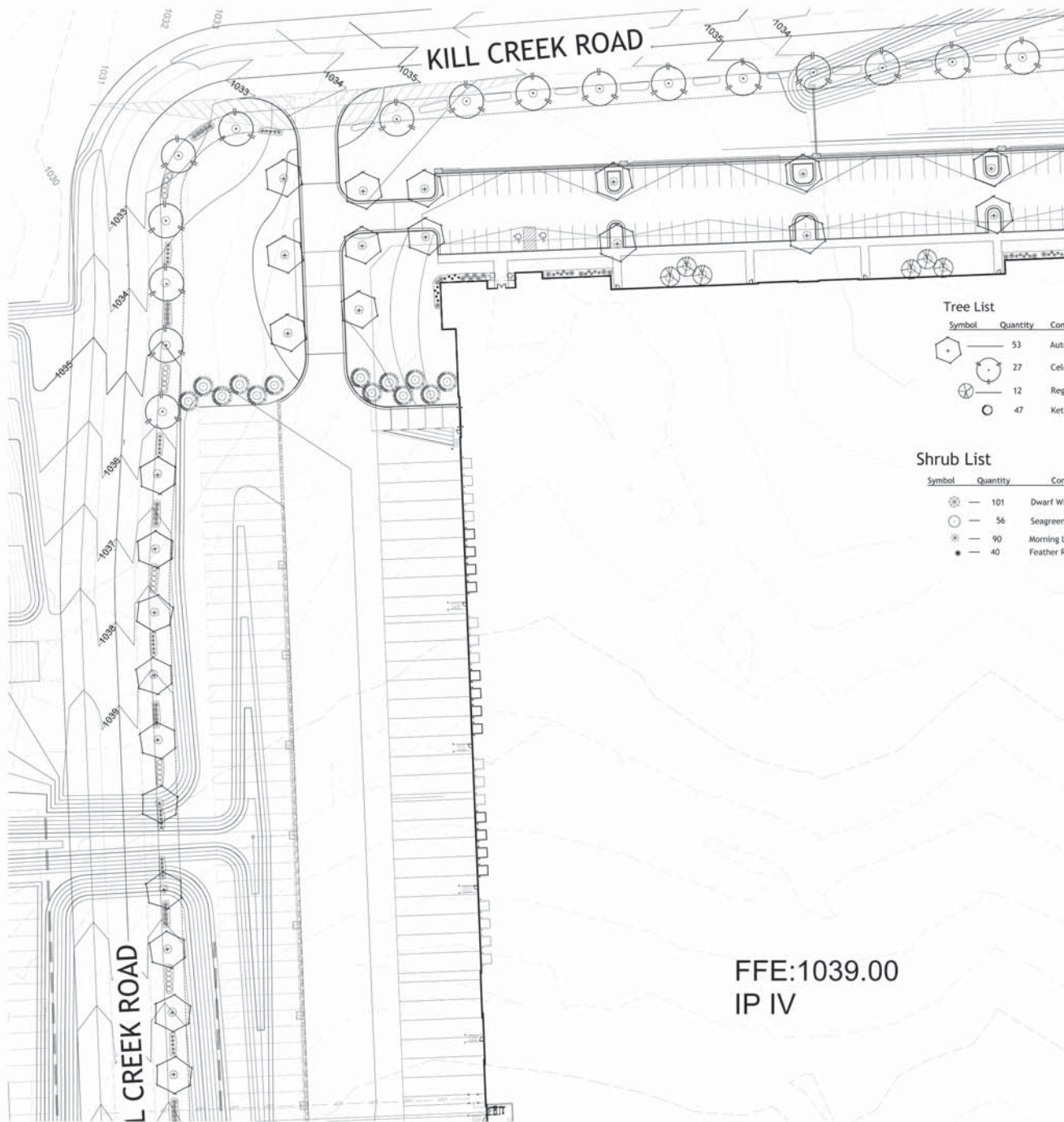
Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	53	Autumn Blaze Maple	Acer fremanii	2" cal	BB	As Shown
	27	Celebration Maple	Acer x fremanii Celebration	3" cal	BB	As Shown
	12	Regal Prince Columnar English Oak	Quercus x warei "Long"	2.5" cal	BB	As Shown
	47	Keteleeri Juniper	Juniperus chinensis Keteleeri	6' hgt	Cont.	3'o.c.

Shrub List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	101	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	18"-24" sp.	Cont.	4'o.c.
	56	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24" sp.	Cont.	4'o.c.
	90	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	3 gal.	Cont.	4'o.c.
	40	Feather Reed Grass	Calamagrostis Acutiflora 'Karl Foerster'	3 gal.	Cont.	4'o.c.

Mulch around shrub beds = 892 sy
Mulch around all trees 6' dia = 248 sy
Total 1,140sy





Tree List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
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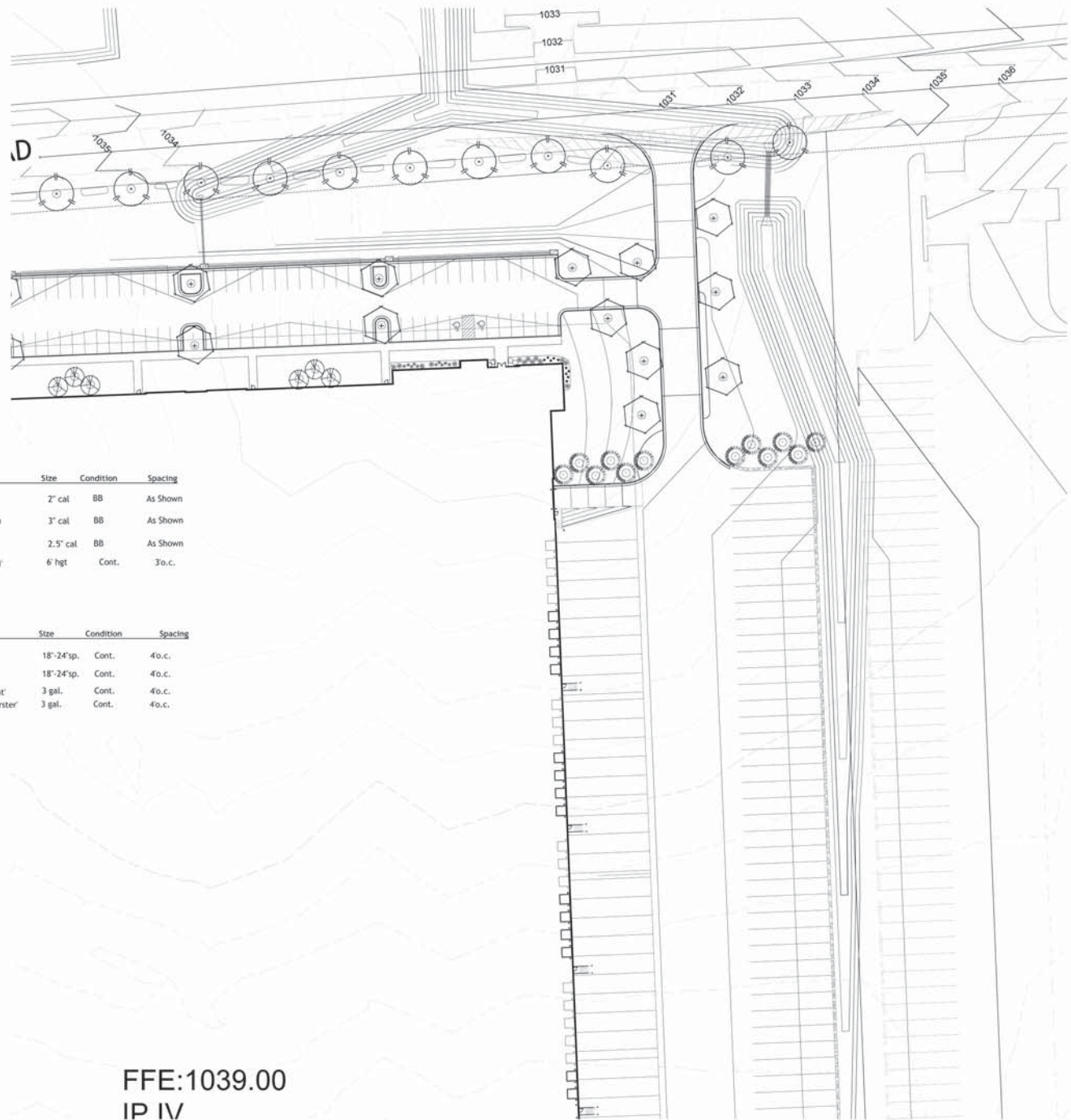


SHEET
L3

FINAL DEVELOPMENT PLAN
 13-0251
 INLAND FORT IV
 EDGERTON, KANSAS

LANDSCAPE PLAN
 NW CORNER

Renaissance
 Infrastructure
 Consulting
 1000 West 10th Street
 Suite 100
 Lincoln, Nebraska 68502
 www.ri-consult.com



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FFE:1039.00
IP IV

FFE:1039.00
IP IV

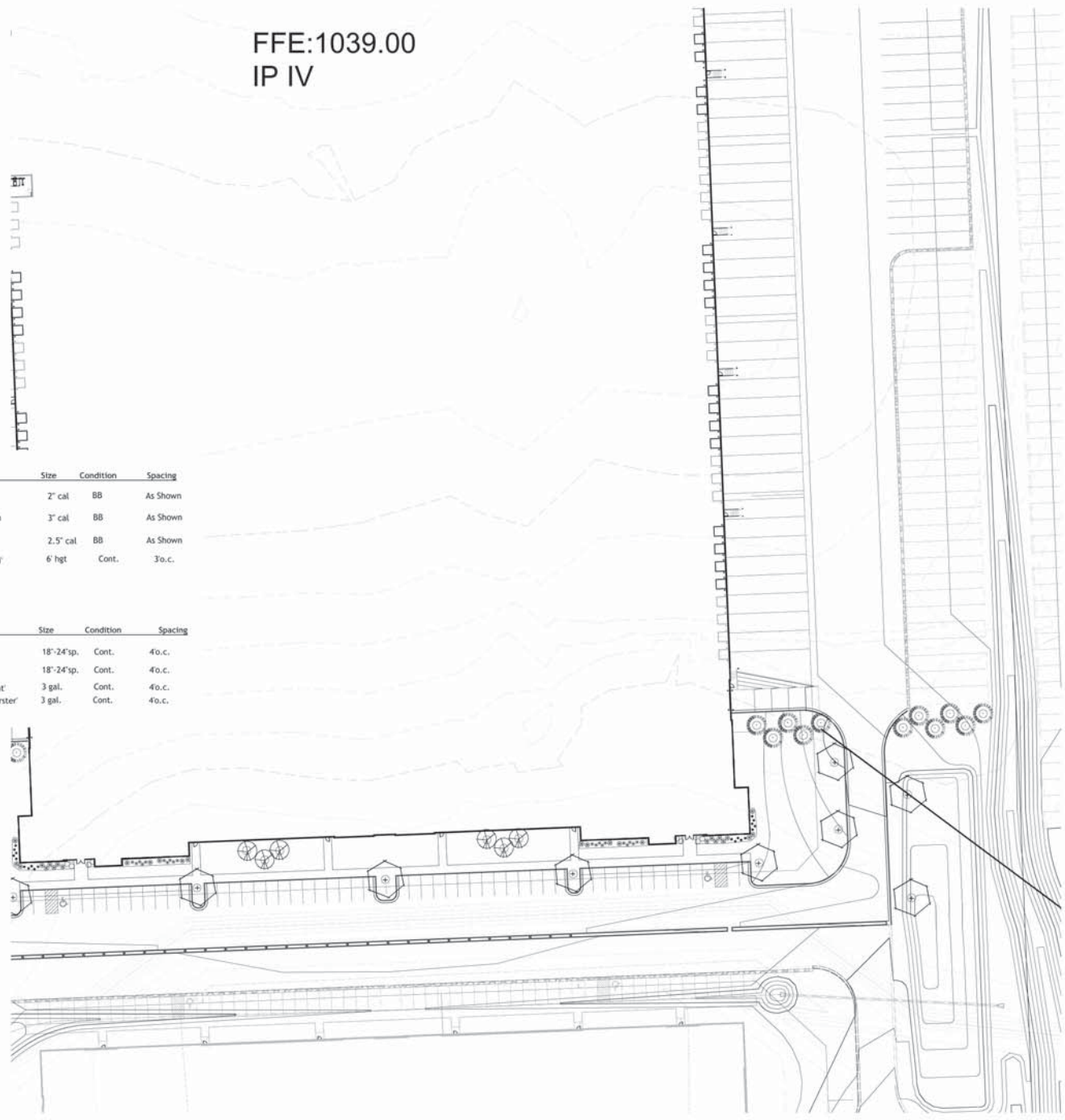
Tree List

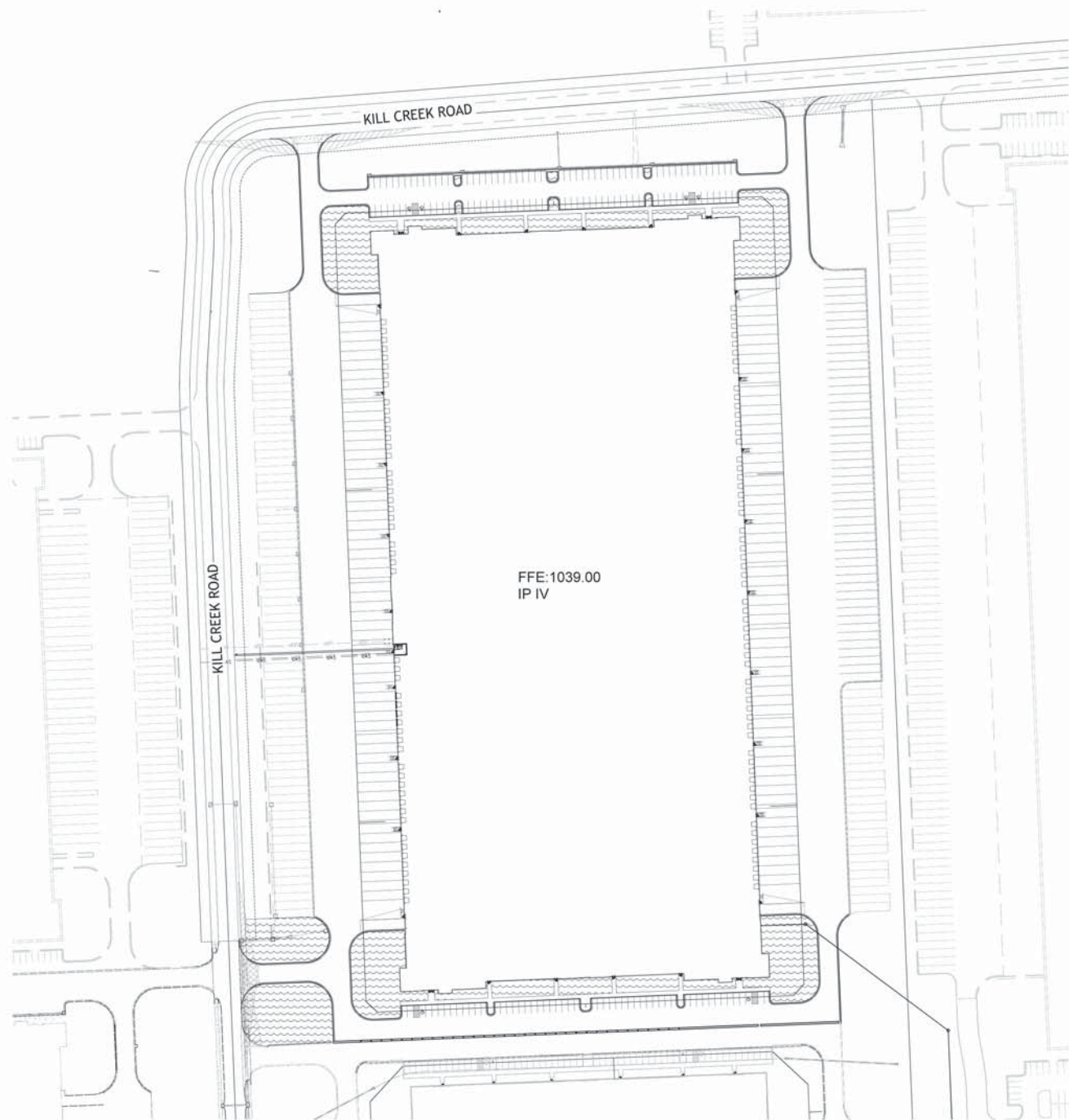
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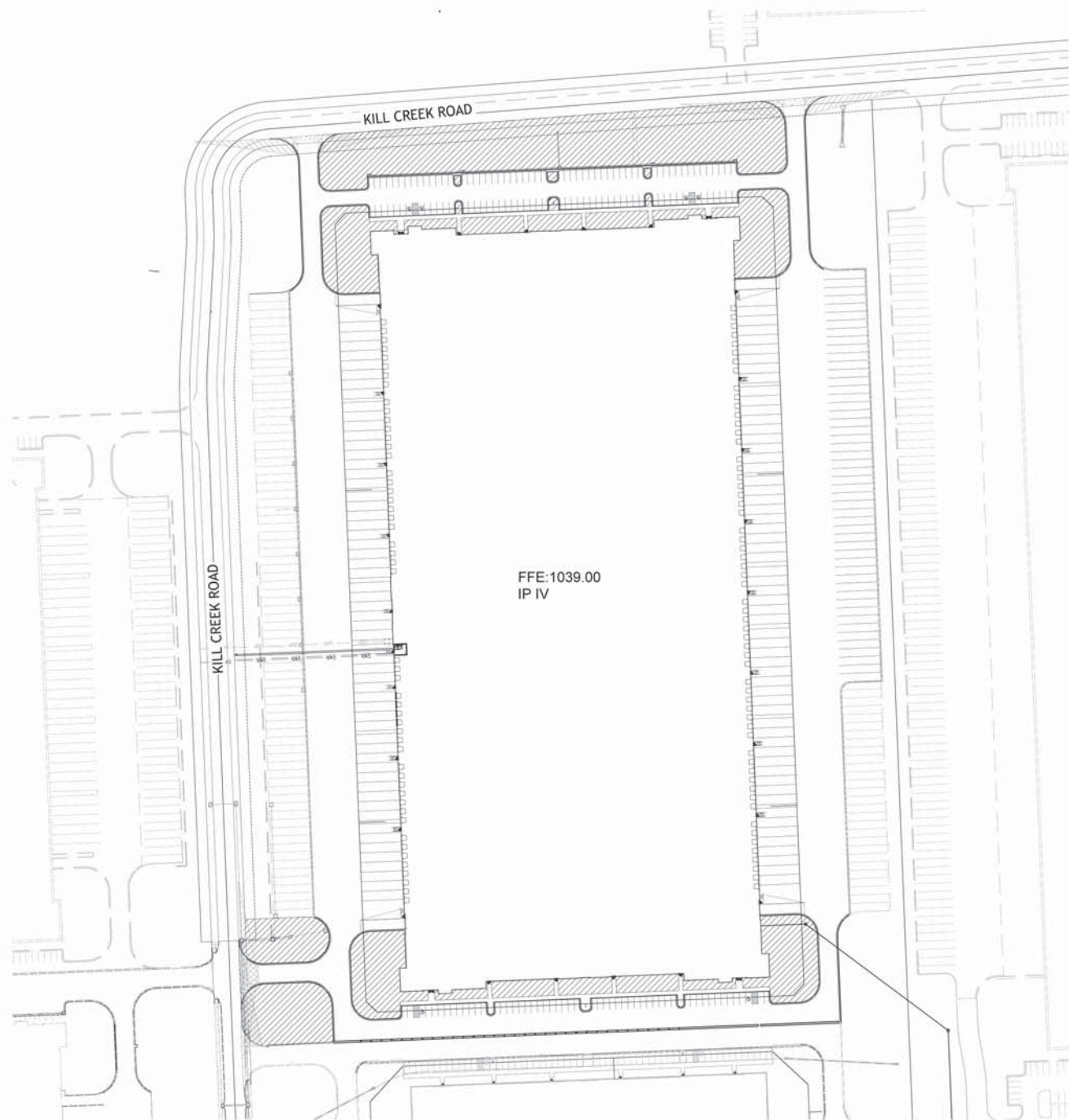




LEGEND

IRRIGATION AREAS





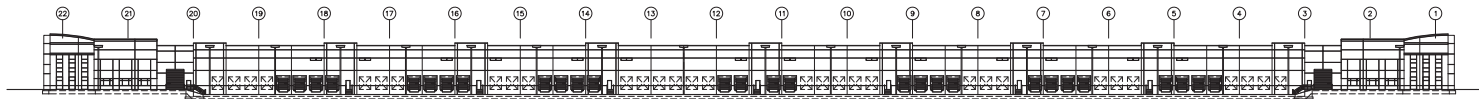
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IP IV

KILL CREEK ROAD

KILL CREEK ROAD

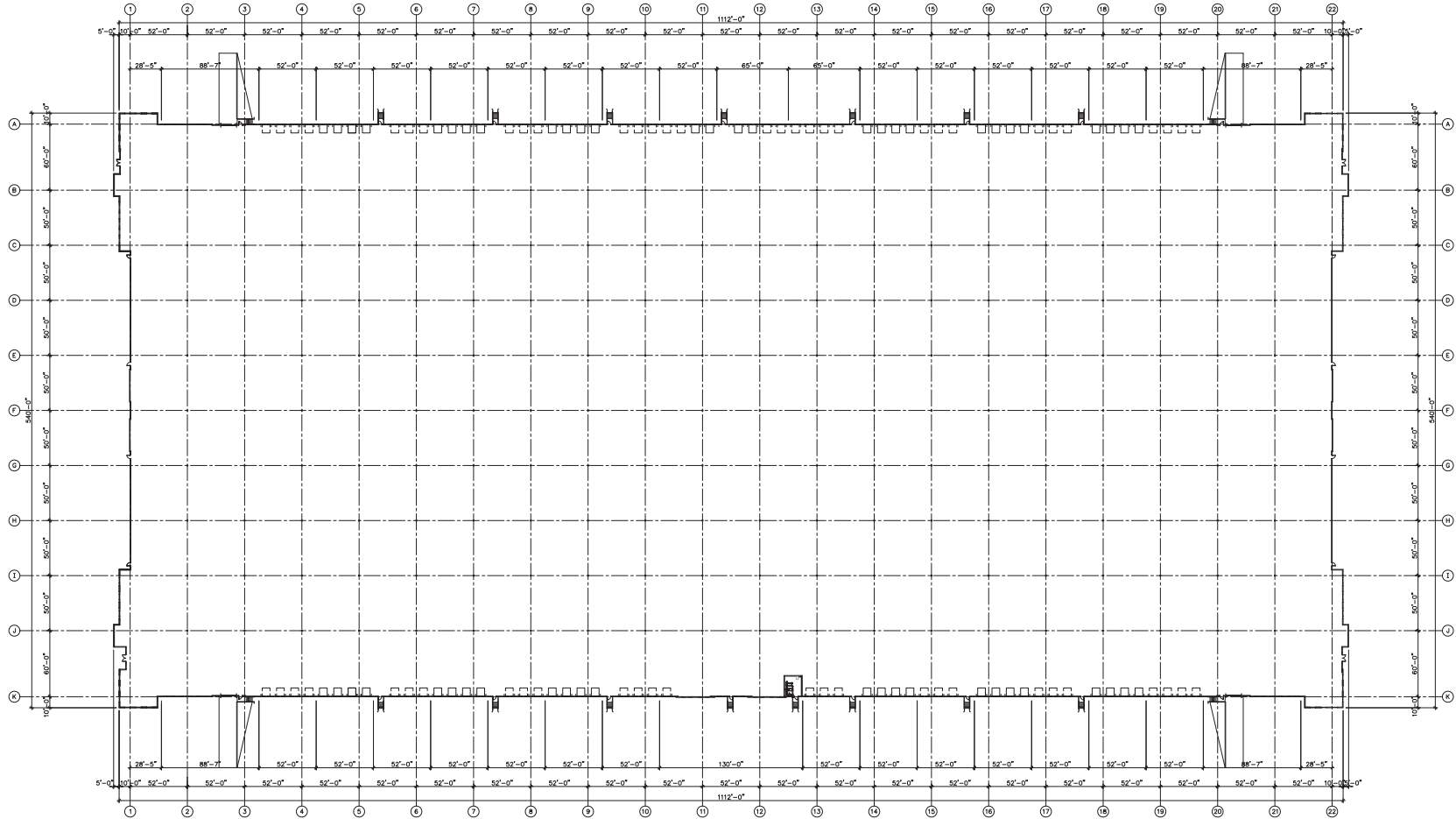
LEGEND
SEED AREAS





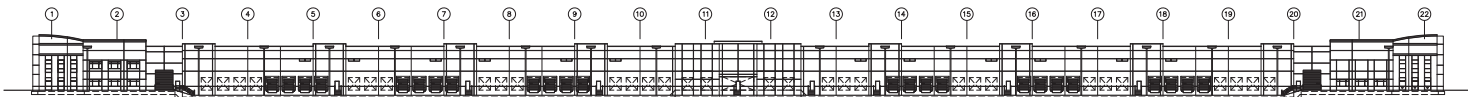
3 OVERALL EAST ELEVATION

A100 SCALE : 1"=40'



2 OVERALL FLOOR PLAN

A100 SCALE : 1"=40'



1 OVERALL WEST ELEVATION

A100 SCALE : 1"=40'



Inland Port IV
Edgerton, Kansas



Project No. 15010
Date 1/27/18
Issued For PARK DEVELOPMENT PLAN

REVISIONS

No. Date Description

REVISIONS

SHEET TITLE

OVERALL FLOOR
PLAN | ELEVATIONS

PROJECT TEAM

ARCHITECT FINKLE WILLIAMS

CAL. ARCHITECTURE

LANDSCAPE ARCHITECTURE

FOUNDATIONS

STRUCTURAL

PLUMBING

Mechanical

ELECTRICAL

FIRE PROTECTION

CONSTRUCTION

ARCHITECTURE

FW

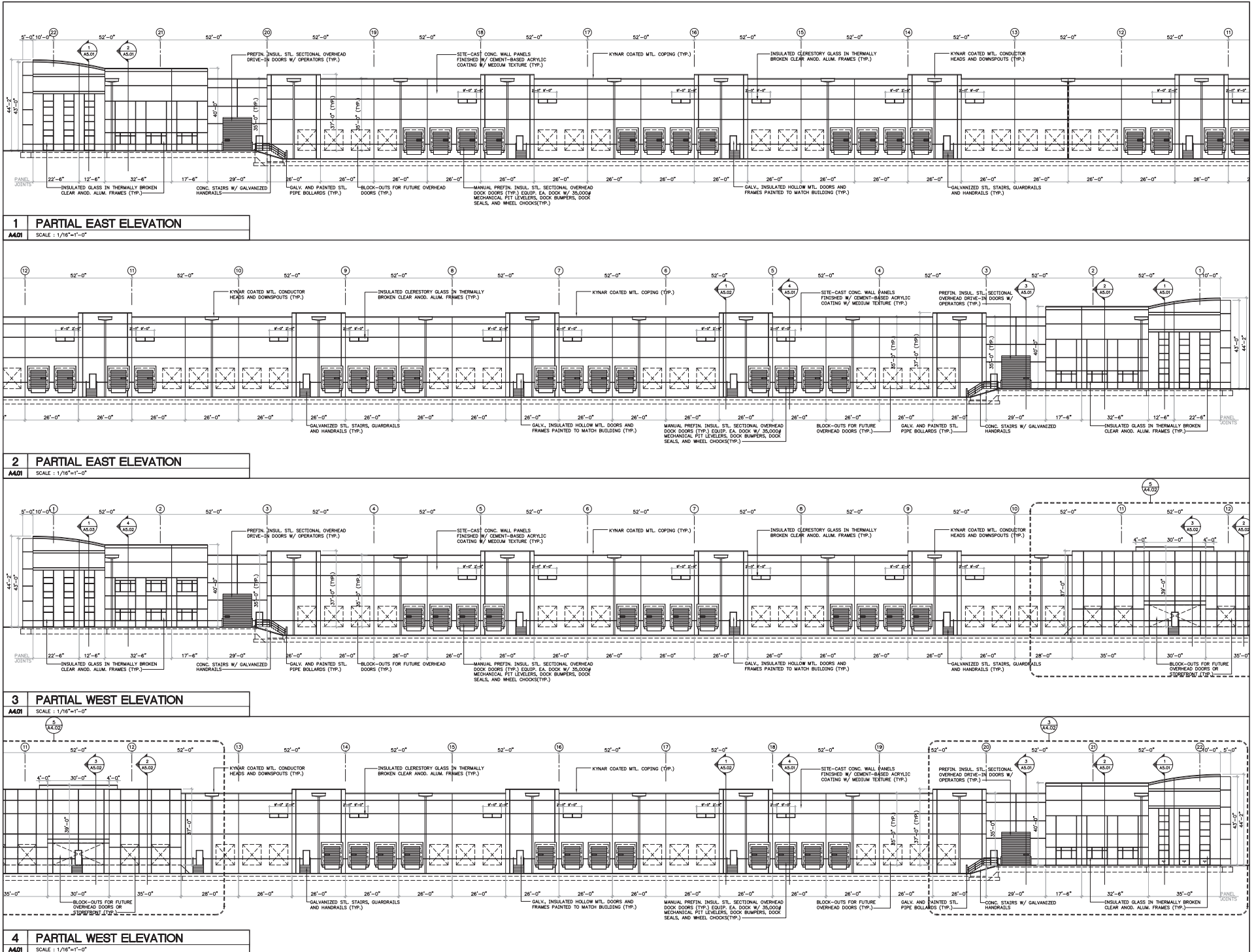
FINKLE WILLIAMS

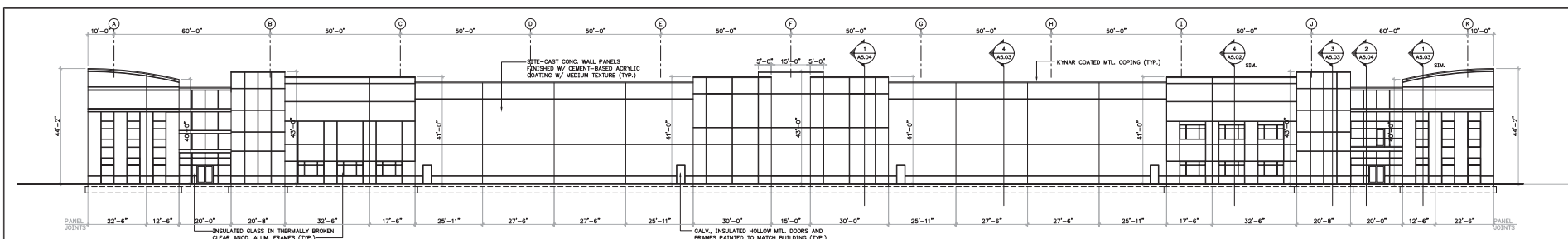
7007 College Boulevard, Suite 415
Overland Park, Kansas 66211
PH: 913.498.1350 F: 913.498.1042

SHEET NUMBER

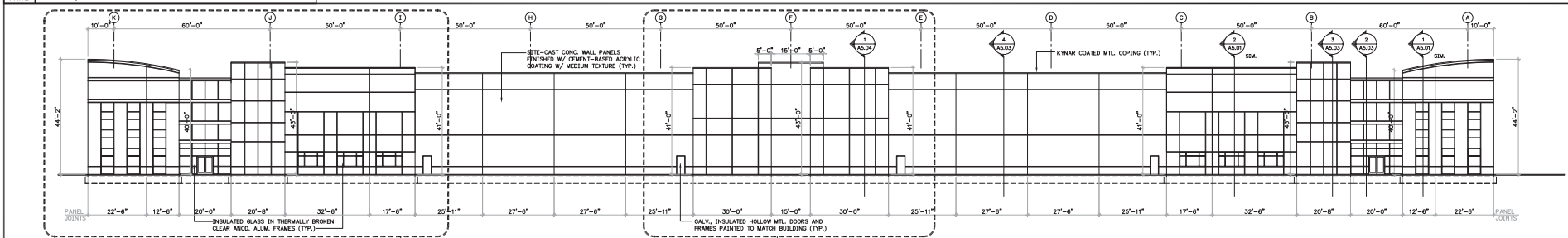
A1.00

No.	Date	Description

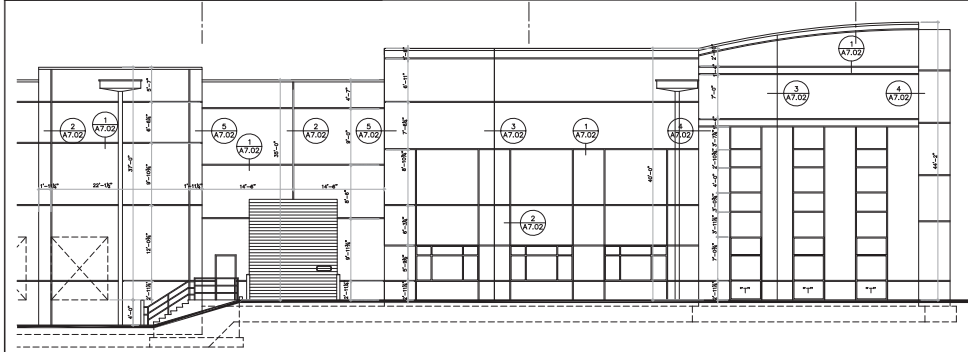




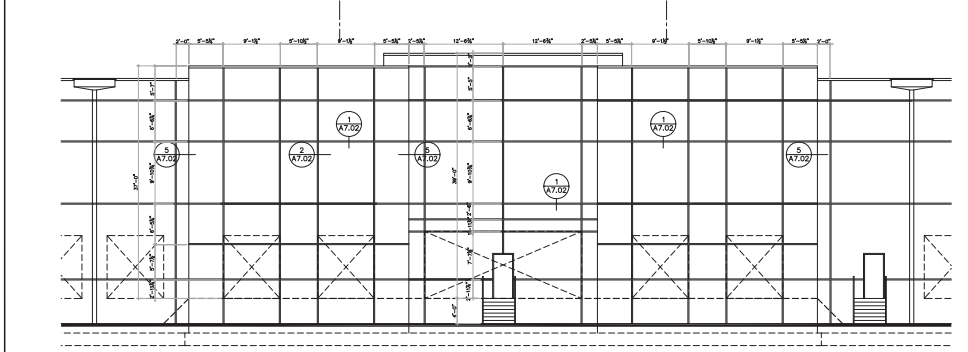
1	NORTH ELEVATION
A402	SCALE : 1/16"=1'-0"



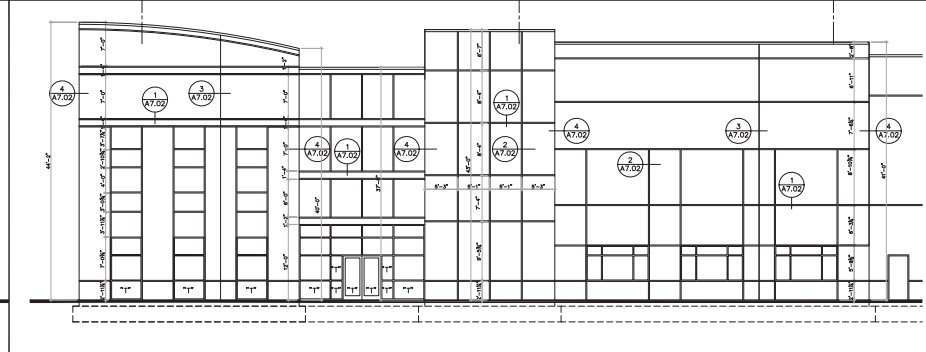
2	SOUTH ELEVATION
A402	SCALE : 1/16"=1'-0"



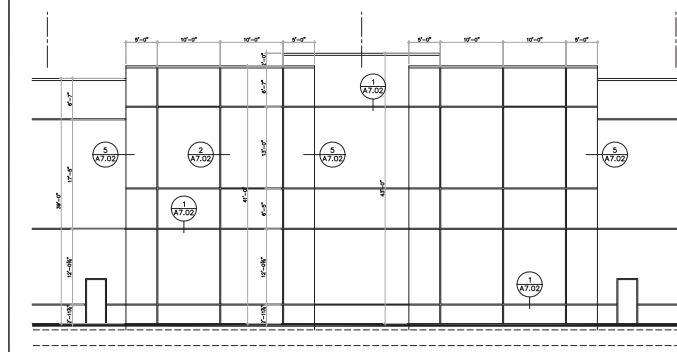
3	ENLARGED ENTRANCE ELEVATION - WEST
A402	SCALE: 1/8"=1'-0"



5	ENLARGED FUTURE ENTRANCE - WEST
A4.02	SCALE : 1/8"=1'-0"



4	ENLARGED ENTRANCE ELEVATION - SOUTH
A4.02	SCALE : 1/8"=1'-0"



6	ENLARGED ACCENT PANELS
A4.02	SCALE : 1/8"=1'-0"

COLOR COATING LEGEND

SHERWIN WILLIAMS: 1
SHERWIN WILLIAMS: 2
SHERWIN WILLIAMS: 3
SHERWIN WILLIAMS: 4
SHERWIN WILLIAMS: 5

☐ PRELIMINARY SITE PLAN

☒ FINAL SITE PLAN

NAME OF PROPOSED SUBDIVISION: INLAND PORT IV

LOCATION OR ADDRESS OF SUBJECT PROPERTY: 18905 KILL CREEK ROAD

LEGAL DESCRIPTION: LOT 3, LOGISTICS PARK KANSAS CITY, THIRD PLAT

CURRENT ZONING ON SUBJECT PROPERTY: L-P CURRENT LAND USE: L-P

TOTAL AREA: 32.0 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 1,394,978 Sq. Ft.

DEVELOPER'S NAME(S): _____ PHONE: 816.888.7380

COMPANY: ELHC IV, LLC FAX: 816.888.7399

MAILING ADDRESS: 6300 N. REVERE, STE 225 KANSAS CITY MO 64151
Street City State Zip

PROPERTY OWNER'S NAME(S): SAME PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State Zip

ENGINEER'S NAME(S): DAN COOK PHONE: 913.317.9500

COMPANY: R-I-C FAX: 913.317.9501

MAILING ADDRESS: 11490 STRANG LINE LENEXA KS 66215
Street City State Zip

SIGNATURE OF OWNER OR AGENT: [Signature]

If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

Case No.: S- _____ Amount of Fee Paid: \$ _____ Date Fee Paid: _____

Received By: _____ Date of Hearing: _____

SITE PLAN INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least thirty (30) working days prior to a scheduled meeting.

NOTICE REQUIREMENTS: The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.

vs. 9-9-11