

EDGERTON PLANNING COMMISSION AGENDA
REGULAR SESSION
Edgerton City Hall
December 9, 2014
7:00 PM

1. Call meeting to order

2. Pledge of Allegiance

3. Roll Call:

A. Members:

Chuck Davis, Chair	Present / Absent
Ron Conus, Vice-Chair	Present / Absent
Maria O'Neill, Secretary	Present / Absent
Missy Drinkard	Present / Absent
Bob O'Neill	Present/ Absent
Andrea Lucero	Present/ Absent
Cliff Withrow	Present/ Absent
Randal Gifford	Present/ Absent

4. Approval of Minutes:
A. September 9, 2014

5. Guests Present:
A.
B.

6. Communications from Staff:
A. Introduction of Community Development Director

7. Old Business

Preliminary Site Plan - Hearing

- A. Continuance of an opened public hearing in regards to Preliminary Site Plan Case No. PS-10-08-2014 requesting approval of a preliminary site plan on property located in the southwest corner of 191st and Waverly Road, within Section 3, Township 15 South, Range 22 East in Johnson County, Kansas containing approximately 141.38 acres, more or less. Owner/Applicant: Patrick Robinson, Edgerton Land Holding Co. Engineer: Dan Cook, Renaissance Infrastructure Consulting.

Action requested: Continue the public hearing, receive comments, consider motion to close hearing, and consider motion to close, deny or to table.

Final Site Plan – Extension of Time

- B. Consideration of request of time to complete installation of hard surface in regards to Final Site Plan, S-11-15-2013, located on a tract of land located in the southeast corner of 191st Street and Homestead Road, in the northwest ne-quarter of Section 3, Township 15, Range 22, and a part of Tract A and Tract B according to the survey recorded in Book 201207, Page 0007000 in the Register of Deeds Office, Johnson County, Kansas, containing approximately 31 acres, more or less. Owner/Applicant: ITL.

Action requested: Consider motion to approve, deny, or table.

8. New Business

Final Plat

- A. Consideration of Final Plat No. FP-11-20-2014, requesting approval of a final plat for Logistics Park Kansas City – Southeast, First Plat consisting of two (2) lots containing 88.5 acres more or less, located at the southeast corner of 191st Street, and also identified as 30801 W. 191st and 30901 W. 191st. Applicant: Patrick Robinson, Edgerton Land Holding Company Engineer: Dan Cook, Renaissance Infrastructure Consulting.

Action requested: Consider motion to approve, deny, or table.

Final Site Plan

- B. Consideration of Final Site Plan, FS-11-06-2014, requesting approval of a final site plan for Inland Port XII, located one-quarter mile east of Waverly Road on the South side of 191st Street containing one (1) lot on 31.6 acres, more or less. Applicant: Patrick Robinson Engineer: Dan Cook, Renaissance Infrastructure Consulting.

Action requested: Consider motion to approve, deny, or table.

9. Future Meeting – Regular meeting – January 13, 2014

10. Adjournment:

EDGERTON COMMUNITY BUILDING
PLANNING COMMISSION MEETING
September 9, 2014
Minutes

The Edgerton Planning Commission met in regular session with Chair Davis calling the meeting to order at 7:00 p.m.

All present participated in the Pledge of Allegiance.

The Roll Call was answered, indicating those present were: Commissioners Chuck Davis, Ron Conus, Maria O'Neill, Phyllis Harris, Missy Drinkard, Cliff Withrow, and Tina Graddy. Absent were: Andrea Lucero and Bob O'Neill. Also present were City Administrator Beth Linn and Recording Officer Debra Gragg.

The Recording Officer announced a quorum was present.

MINUTES

Minutes of August 12, 2014 were considered.

Motion by Graddy, seconded by Drinkard, to approve the minutes. Motion was approved, 7-0.

COMMUNICATIONS

Former Chair and Planning Commissioner Phyllis Harris was recognized for her service on the Planning Commission. Ms. Harris served for five consecutive terms, fulfilling the maximum time allowed under the Unified Development Code. The City Administrator offered a tremendous thank you to Ms. Harris for her service and time. She was presented with a plant, card and snacks in honor of her last meeting.

It was announced that Tina Graddy is moving out of town and she submitted her resignation effective on September 10, 2014. Ms. Graddy was thanked for her service on the Planning Commission.

The City Administrator announced there are two openings on the Commission and encouraged the members to recommend citizens who might be interested in applying.

OLD BUSINESS - REZONING

RZ-06-13-2014, requesting zoning change from City of Edgerton C-2 (Heavy Service Commercial) to City of Edgerton I-G (General Industrial District) for property located at 36450 Frontage Road, located within the southeast one-quarter of Section 18, Township 15, Range 22, containing approximately 16.06 acres, more or less, was considered. Owner: Robert Blachly, Mico, Inc. Agent: Rob Johnson, Shafer, Kline & Warren.

The City Administrator announced the City received official notification from the applicant's attorney that his client is withdrawing this zoning request. There was no action required.

The City Administrator informed the Commissioners the City is working with Johnson County officials in regards to the Frontage Road.

PRELIMINARY PLAT

Renewal of approved preliminary plat, PP-09-26-2013, (Edgerton Logistics Park Lot 2) for preliminarily platting property in the vicinity of 191st Street, east of Homestead, located within the Southwest Quarter of Section 34, Township 14, Range 22 East containing approximately 31 acres more or less, was considered. Applicant: George Schlagel, Schlagel Family LLC.

The City Administrator overviewed the history of the preliminary plat and displayed a depiction of the site. She indicated an extension is allowable under the Unified Development Code.

Ms. Linn noted staff supports the renewal, which would include the previous stipulations.

Mr. Conus asked if there is anything negative in allowing this for the City.

Ms. Linn stated no, adding this short period would allow the applicant to continue marketing the property.

Motion by Drinkard, seconded by Conus, to approve the renewal extension of the preliminary plat to November, 2015 with the following stipulations: 1) The Preliminary Plat shall be revised to address all requirements of the City listed above or addressed during final plat submittal; 2) Revised Preliminary Plat shall be submitted to the City prior to recording of final plat; 3) The preliminary plat shall be revised to show drainage easements, streamway buffers, floodplain restrictions, and NPDES (stormwater management) requirements, according to and as may be required by the City Engineer; 4) The preliminary and final plat shall be revised with a note indicating public water and sewer provision as required by Article 13.3 D 9; and 5) Preliminary plat be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission upon submittal and approval of a written request may grant a one-year extension on the approval of the preliminary plat. Motion was approved, 7-0.

PUBLIC HEARING - REZONING

A public hearing in regards to rezoning case no. RZ-08-12-2014, requesting change in zoning from Johnson County RUR (Rural Residential) to City of Edgerton Heavy

Service Commercial District (C-w) on property located at the northwest corner of Homestead and Interstate 35, within Section 9, Township 15 South, Range 22 East, in Johnson County, containing approximately 15.14 acres, more or less was opened. Applicant: Tim Gates. Owner: Larry S. Alsup Revocable Trust.

Tim Gates, agent for Larry Alsup, was present.

City Administrator Beth Linn informed the Commissioners the subject property contains 15.14 acres with no access to Homestead Lane.

It was noted the property owners desire commercial zoning, which is the zoning classification as the adjacent property to the north. It was also noted commercial zoning is the recommended zoning/use in the Edgerton's Comprehensive Growth Plan for area around the interchange which coincides with growth within the BNSF intermodal and adjacent logistics park.

Ms. Linn reviewed the infrastructure and services within the area and noted approximately five (5) acres is located within the floodplain/floodway of Bull Creek. She indicated Flood Plain Development Permits would be required to develop within the designated area.

The City Administrator overviewed the rezoning application in relationship to the Unified Development Code, Kansas laws, and the "Golden Criteria." Items highlighted include: C-2 zoning district as most compatible designation; property is vacant with one farm building; compatible with planned future uses of adjacent C-2 zoned property to the north; Homestead Lane, nearest road to property is paved and designed to support intermodal and logistics park traffic, developer will provide utilities for site with development of property; and is consistent with Comprehensive Plan, Capital Improvement Plan, ordinances, policies, and City Code of the City of Edgerton.

In addition, Ms. Linn cited the staff stipulations and noted staff supports request.

Commissioner Graddy asked about zoning classification of the zoning of the property to the north and questioned if it is common to allow C-2 zoning without an improved City roadway. The City Administrator stated it is not common, but this action allows for marketing opportunities.

Mr. Gates addressed actions of cooperation between the two properties.

Don Scaro, 19913 Peppertree Lane, stated concern with drainage to Bull Creek. He also spoke about berming issues, and the need for protection against the traffic noise, stormwater, etc.

Mr. Gates informed the audience he has not addressed these matters with Alsup's at this time, but noted there probably would be requirements imposed at the design phase.

The City Administrator stated the Unified Development Code has some regulations with commercial zoning adjacent to residential and noted these matters are usually addressed during the site plan process. She noted staff will review.

Motion by Harris, seconded by M. O'Neill, to close the hearing. Motion was approved, 7-0.

Motion by Conus, seconded by M. O'Neill, to approve the rezoning with the following stipulations: 1) All Site Plan application requirements of the City shall be met; 2) All infrastructure requirements of the City shall be met; 3) Prior to issuance of building permits, the property shall be developed in accordance with a site plan reviewed and approved by the City. Motion was approved, 7-0.

FINAL SITE PLAN

Final Site Plan, FS-08-21-2014 (Inland Port XI), requesting approval of a final site plan on property located at the southeast corner of 191st Street and Waverly Road, within Section 2, Township 15 South, Range 22 East, in Johnson County, Kansas, containing approximately 35 acres, more or less, was considered. Owner/Developer: Patrick Robinson, ELHC VI. Engineer: Dan Cook, Renaissance Infrastructure Consulting.

Patrick Robinson and Dan Cook were present.

The City Administrator overviewed the application process. Ms. Linn indicated there is an update from the preliminary site plan which includes the addition of a public street between buildings and the site now has public right-of-way on three (3) sides. She stated the need to address the dock doors adjacent to the public right-of-way; noting staff and applicant will work on plans to soften the exterior.

Ms. Linn reviewed the requirements of the L-P District at the site plan level. Items highlighted for this plan include: Provide pedestrian access within and to the development, as well as accessible routes to buildings; property owner to execute an agreement not to protest formation of a benefit district for or identify alternative funding source for 191st Street infrastructure; and provide plan for sanitary sewer service for LPKC II until wastewater lines are constructed within the area.

The City Administrator spoke about the architectural design of the building in regards to entrances facing a public street. She noted that if the City approves the current application, there would be a need to approve an exception to orient a side elevation (including dock doors) toward Waverly Road and other public road due to the configuration of the lot of with public streets on two sides of the proposed building.

She also addressed the elevations and façade guidelines with which the plan complies.

Ms. Linn noted the parking spaces are shown with smaller dimensions noting that matter will need to be addressed in order to conform. She also indicated a photometric plan shall be provided prior to the issuance of a building permit. In addition, the diesel emission requirements were briefly addressed.

The Commissioners were informed a stormwater study was provided, but noted the need for the existing and proposed sub-basins areaa should be equal; provide capacity of the existing pipes and identify any problems that might be expected with the proposed flows; and provide expected velocities for the outfall pipes, and provide erosion protection, if needed.

The City Administrator stated staff is in support with stipulations, which were noted.

Commissioner Harris asked if there is an applicant yet. Mr. Robinson stated this building is speculative, but thought there may be a tenant near the end of September. He stated the facility should be ready for occupancy by early 2015.

Motion by Drinkard, seconded by Graddy, to approve the final site plan with the following stipulations: 1) All Site Plan requirements of the City shall be met as noted, particularly including: a) Submittal of photometric lighting plan in conformance with UDC especially with regard to maximum foot-candles at property line; b) Submittal of a plan for pedestrian access to and within the development; c) Construction plans of future public infrastructure be submitted and approved by the City. Any necessary permits obtained; d) Resubmittal of revised landscaping plans including screening for adjacent public road and trash enclosures. All landscaping shall be maintained in good condition and plants shall be replaced when dead. 2) All infrastructure requirements of the City shall be met. 3) All building permit and sign permit requirements of the City shall be met. 4) The City will not require at time of site plan approval the construction of sidewalks for/on the subject property. Prior to obtaining a building a permit, the property owner will execute the necessary agreement to waive and relinquish any right he/she may have under K.S.A. 12-6a06 to protest the formation of a benefit district to pay for the construction of sidewalks for/on the above described property for a period of thirty (30) years, and that such agreement is intended to be a covenant running with the land for said period of time. and 5) Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein. Motion was approved, 7-0.

OTHER BUSINESS

Commissioner Conus asked if there was a date for the meeting about the Bettis asphalt application. The City Administrator indicated that at this time there is no date set, indicating Johnson County Planning will schedule. She spoke about the Council meeting scheduled for September 11, 2014 indicating the Council members will be listening to comments regarding this matter.

ADJOURNMENT

Motion by Harris, seconded by Graddy, to adjourn. Motion was approved, 7-0.

The meeting adjourned at 7:53 p.m.



EDGERTON
global routes. local roots.

404 East Nelson
Edgerton, KS 66021
P: 913.893.6231
EDGERTONKS.ORG

STAFF REPORT

October 30, 2014

To: Edgerton Planning Commission
Fr: Beth Linn, City Administrator
Mike Mabrey, City Superintendent/Zoning Administrator
Re: Application PS-10-08-2014 for Preliminary Site Plan for Logistics Park Kansas City
Phase IV, located approximately 1,700 feet to the south of the southwest corner of
191st Street and Waverly Road

APPLICATION INFORMATION

Applicant/Property Owner: Patrick Robinson, Edgerton Land Holding Company

Requested Action: Preliminary Site Plan – Logistics Park Phase IV

Legal Description: Part of Section 3, Township 15, Range 22

Site Address/Location: Approximately 138 acres located approximately 1,700 feet south of the southwest corner of 191st Street and Waverly Road

Existing Land Use: Vacant

Existing Zoning and Uses: County RUR, Rural District zoning

Existing Improvements: None

Site Size: Approximately 138 acres

Requested Action

Staff would request this item be tabled to the December 9, 2014 Planning Commission meeting to allow additional time for plan development.

UPDATE: Staff would request this item be tabled to the January 13, 2015 Planning Commission meeting to allow additional time for plan development.



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STAFF REPORT

December 3, 2014

To: Edgerton Planning Commission
Fr: Kenneth Cook, AICP, CFM, Community Development Director
Re: Application for Logistics Park Kansas City – Southeast, First Plat

APPLICATION INFORMATION

Applicant/Property Owner: Edgerton Land Holding Company

Requested Action: Final Plat – Logistics Park Kansas City – Southeast, First Plat

Legal Description: See Final Plat attached

Site Address/Location: 30801 W 191st Street & 30901 W 191st Street

Existing Zoning and Land Uses: City of Edgerton L-P Logistics Park on vacant land

Existing Improvements: None

Site Size: Approximately 88.488 Acres

PROJECT DESCRIPTION

This is additional development of the Logistics Park Kansas City by Edgerton Land Holding Company (ELHC), a subsidiary of NorthPoint Development. The property will serve the BNSF intermodal facility to the northwest of the subject site. The intermodal facility's purpose is to transfer loaded cargo containers from trains to trucks. LPKC is a 1500 acre master planned development. ELHC, the applicant for this project, is BNSF's partner for developing warehousing which is planned to eventually surround the intermodal facility.

The subject property is located to the Southeast of the intersection of Waverly Road and 191st Street. The property is zoned L-P, Logistics Park. The City's Unified Development Code (UDC) defines this district as a limited multimodal industrial zone created to support activities related to truck, rail and other transport services. The property has an approved preliminary plat and preliminary site plan and the applicants have also submitted a Final Site Plan for consideration. The proposed subdivision includes two lots, two tracts (stormwater detention) and the dedication of a proposed public street. Lot 1 includes a proposed 650,000 square foot warehouse and Lot 2 includes a proposed 650,000 square warehouse.

INFRASTRUCTURE AND SERVICES

Infrastructure was reviewed previously per the rezoning and preliminary plat. Some conditions continue to exist as noted below.

- a. Waverly Road is gravel surfaced adjacent to this property and dead-ends on the property adjacent to the south. 191st Street is 26 feet wide, paved, with no shoulders. Both streets are planned for future improvement to pavement that will support intermodal and logistic park traffic. Edgerton Land Holding Company is a party to the tri-party agreement regarding development of Logistics Park Kansas City. That agreement outlines the mechanism for construction and financing of Waverly Road. 191st Street will need to be upgraded in the future as development occurs in the area.
- b. The property is located within the Big Bull Creek watershed, which flows south from 167th Street to the southern edge of the county at Homestead Lane.
- c. A small portion of the southeast corner of the property is located within Zone X, 1% Future Conditions flood plain.
- d. The property does not currently have sanitary sewer service.
- e. The property is located within the service area of Rural Water District No. 7. A 12-inch water main is located along the Waverly Road property frontage. Though no water main currently exists on 191st Street east of Waverly Road, about 1,000 feet of main will be constructed to serve the JB Hunt Container Storage project on the north side of 191st. The property owner will need to extend the main further to the east, to serve the eastern portion of this development.
- f. Police protection is provided by the Johnson County Sheriff's Department under contract with the City of Edgerton. Fire protection is provided by Johnson County Rural Fire District No. 1. A fire station is located in the City of Edgerton, approximately 1.5 miles to the west.

FINAL PLAT REVIEW

Staff has reviewed the Final Plat submittal for compliance with the Approved Preliminary Plat and requirements in Section 13.3 of Article 13 of the Edgerton UDC. Review comments are listed below.

1. Scale, the same used for the preliminary plat; North point; vicinity map. ***Final Plat complies.***
2. The words "FINAL PLAT" followed by the name of the subdivision at the top of the sheet, and then followed by a metes and bounds description of the tract. ***The title is not followed by a metes and bounds description such as "Part of the Northwest Quarter of Section 2, Township 15 South, Range 22 West in the City of Edgerton, Johnson County, Kansas."***
3. The instrument of survey which shows the point of beginning, corners, bearings, courses, distances, exterior boundaries, interior lot boundaries, abandoned lot lines, pins, monuments found or set. All P.I.'s corners, boundaries must be monumented with a 2" x 24" metal bar. ***The basis of bearings should be labeled on the graphic part of the plat. The plat currently shows all monuments being ½" x 24" Rebar while the regulations require 2" x 24" metal bar. Staff believes that the 2" measurement is a typographical error and that it should be ½".***
4. A boundary survey of third order surveying accuracy (maximum closure error one in five thousand (1' in 5,000), with bearings and distances referenced to section or

fractional section corners or other base line shown on the plat and readily reproducible on the ground. ***Final Plat complies.***

5. Individual notations and a TABLE showing: lot area, setbacks, and building envelopes. ***Final Plat complies.***
6. A number for each lot, starting (if practical) in the northwest corner. ***Final Plat complies. (Lot 1 – Inland Port I Spec Building; Lot 2 – DEMDACO; Lot 3 – this application).***
7. All easements with widths, and roads with curve data. *Tract A and B are listed as remaining under the ownership of Edgerton Land Holding Company. Who is going to be responsible for maintaining landscaping on these properties and what happens if ELHC no longer exists at some point in the future. Should these properties be linked to the adjoining tracts? Additional utility easements may be necessary along East and South Property line (10'). Plat should be reviewed by Utility Companies. The 15' U/E adjacent to the 50' R/W should also be labeled as a pedestrian easement. A 15' U/E & P/E should be dedicated on the west side of Kill Creek Road and north side of 187th Street by separate instrument. The public street being dedicated by this plat is shown on the plat as Brome Street and should be Montrose Street. It is anticipated that the sidewalks on both sides of Montrose Street to the South of Lots 1 & 2 (including Tract B) will be constructed when these sites are developed.*
8. Ingress/egress limitations if required. ***Final Plat complies.***
9. The location of existing utility easements. ***Final Plat complies.***
10. A written legal description from the survey. ***Final Plat complies.***
11. An instrument of dedication for all roads and easements. ***Dedication should include Pedestrian Easement.***
12. Special notations required as a condition of platting by the Planning Commission. ***Final Plat complies.***
13. Approved phases – clearly delineated. ***Final Plat complies.***
14. Private travel easements. ***Final Plat complies.***
15. The Owner's Certificate with Notary Seal. ***Final Plat complies.***
16. Certificate of the Governing Body with City Clerk's attest and Seal. ***Place name under Mayor's & Clerks line?***
17. Edgerton City Planning Commission chair and secretary approval. ***This certificate needs to be updated to show Chuck Davis as the Chairperson.***
18. Certificate of the Register of Deeds. ***Not provided.***
19. Surveyor's Certificate and Seal and certificate for survey review by the County Surveyor or designated Land Surveyor. ***County Surveyor approval block has not been provided.***
20. Certificate of the Zoning Administrator. ***Final Plat complies. Place ZA's name under line?***

UPDATE

Staff held a meeting with the applicant to discuss these issues and the applicant is working on making the necessary changes to the Final Plat drawing.

RECOMMENDATION

City staff recommends approval of the Final Plat for Logistics Park Kansas City, Southeast, First Plat, subject to compliance with the following stipulations:

1. All Final Plat requirements of the City listed above shall be met or addressed prior to recording of the Plat.
2. The commencement of any improvements shall not occur prior to the approval and endorsement of the final plat and the submittal to and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the final plat by the Governing Body. Sanitary sewer drawings and specifications must be submitted to and approved by the City of Edgerton and Kansas Department of Health and Environment prior to the commencement of any improvements.
3. A Public Improvement Inspection Fee, established by the Fee Schedule for the Unified Development Code, shall be submitted with the document of financial assurance as defined in Section 13.7 prior to the commencement of any improvements.
4. The applicant shall meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton Unified Development Code, including payment of excise tax.
5. The applicant shall meet all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton Unified Development Code.

ATTACHMENTS

Final Plat for Logistics Park Kansas City, Southeast, First Plat

LOGISTICS PARK KANSAS CITY - SOUTHEAST, FIRST PLAT

1915T STREET



This list of the *Investment-Quartals* and *Southwest-Quartals* of Section 1000 is only 15 lines, Range 22 line 1, in City of Augsburg, Volume Curren, Karlsruhe, never particularly described as follows:

DISCLOSURE: The undersigned proprietor of the above described tract of land has earned the money to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as "TOOKIES PARK, KANSAS CITY, SOUTHWEST, FIRST PLAT."

incident to the collection of any such existing utility satisfaction within and prior to any

As statements or actions to raise hopes, incense, contrast, and instill optimism or ambivalence, the heartless, unfeeling, and unemotional nature of the statements, the cold and calculating nature of the actions, the integration system, and the public and judicial officials involved in the process, and the way the system was designed on this point as "Utility Enhancement" or "UTP," is clearly granted in the City of Singapore, Kansas with its resolution use of the same for other governmental entities and public utilities that may be authorized by state law to use such statement for said purposes. Utility statements shall be kept clear of observations that temper the strength or interfere with the use and/or maintenance of public utilities located within the

REMARKS:

Traces "A" & "B" are intended to be used for stormwater detention and open space, and shall be owned and maintained by Dayton Land Holding Company, LLC.

The undersigned proprietors of the above described tract of land hereby consent and agree that the Board of County Commissioners and the City of Emporia, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public use from the lien and effect of any special assessments, and that the amount of unpaid special assessments on such land dedicated, shall become and remain a lien on this land flowing and debiting on such dedicated public way or thoroughfare.

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this _____ day of _____, 20__.

STATE OF MISSOURI)
COUNTY OF PLATTE) ss:

On day of 20 before me a Notary Public in and for the County and State, said day of 20 , I, the undersigned, personally knew and saw, said Notarized Signatory, Managing Member of TLHC, LLC, who is personally known to me, the said person who executed the foregoing instrument of writing, on behalf of said limited liability company, and he duly acknowledged the execution of the same to be the act and deed of said limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year first written above.

My Appointment Expires _____

Binary Public _____

APPROVED by the Planning Commission of the City of Independence, Johnson County, Kansas, on this _____ day of _____, 20____.

Phyllis Harris, Chairperson	Maria O'Neill, Secretary
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APPROVED by the Governing Body of the City of Edmonton, Alberta County, Kansas.

Abstract

APPROVED by the Zoning Administrator, on this _____ day of _____, 20____.

Zoning Administrator

This is to certify on the 27th day of October, 2014 this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Karnan Minimum Standards" for boundary surveys pursuant to K.S.A. 24-2037.

Basins of Bounting, Kansas North Zone, U.S. State Plane, NAD 83 164R N 80°36'40" E, along the North line of the NW 1/4 of Section 03, T15S, R22E.

CLOSURE CALCULATIONS
 Pectolite, 1 part to 1,987.217/836°
 Iron distance: 0.0657°
 Iron direction: 509°47'00"
 Perimeter: 112NA37°

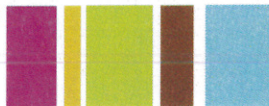
LOGISTICS PARK KANSAS CITY - SOUTHEAST, FIRST PLAT

Prepared For _____
 Date _____

9015 NW Canal Street, Suite 200
Melville, MD 21204

Infrastructure

Date of Preparation: _____
November 11, 2014
1158 W. Cambridge Circle Drive
Kansas City, Kansas 64107
913.317.9500
www.kc-council.org



Final Plat Application
(Fee: \$300 Plus \$10 Per Lot)

Public Works: 816.893.6801 • EDGERTONKS.ORG

That part of the Northwest Quarter and Southwest Quarter of Section 2, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas, more particularly described as follows:

Beginning at the northwest corner of said Northwest Quarter; thence North $88^{\circ}38'48''$ East, coincident with the north line of said Northwest Quarter, 1,981.93 feet; thence departing said north line, South $01^{\circ}21'12''$ East, 1,669.27 feet; thence South $88^{\circ}38'48''$ West, 932.49 feet; thence South $01^{\circ}21'12''$ East, 985.48 feet to the north line of the Southwest Quarter of said Section 2; thence North $87^{\circ}46'29''$ East, coincident with said north line, 564.92 feet; thence departing said north line South $02^{\circ}13'31''$ East, 455.25 feet; thence South $87^{\circ}46'29''$ West, 621.86 feet; thence North $01^{\circ}21'11''$ West, 1,230.30 feet; thence South $88^{\circ}50'13''$ West, 1,005.68 feet to a point on the west line of said Northwest Quarter; thence North $01^{\circ}09'47''$ West, coincident with said west line, 1,877.19 feet to the Point of Beginning, containing 3,854,516 square feet, or 88.488 acres, more or less.

STAFF REPORT

November 25, 2014

To: Edgerton Planning Commission
Fr: Kenneth A. Cook, Community Development Director
Re: Application FS-11-06-2014 for the Final Site Plan for Logistics Park Kansas City Southeast, Lot 2 (Inland Port XII)

APPLICATION INFORMATION

Applicant/Property Owner:	Patrick Robinson, Edgerton Land Holding Company (ELHC)
Requested Action:	Final Site Plan – Logistics Park Phase IV, Lot 2 (Inland Port XII)
Legal Description:	Part of Section 2, Township 15, Range 22
Site Address/Location:	30801 W 191 st Street, Approximately 1000' East of Waverly Road on the South side of 191 st Street
Existing Zoning and Land Uses:	City of Edgerton L-P Logistics Park on vacant land
Existing Improvements:	None
Site Size:	Approximately 31.59 acres

PROJECT DESCRIPTION

The applicant has prepared a final site plan based on the preliminary site plan and L-P, Logistics Park District zoning requirements. The Final Site Plan shows one (1) warehouse building on a 31.593 acre parcel, with the building containing 650,000 square feet with associated parking, stormwater detention facilities, and landscaping.

This property has an approved preliminary site plan and preliminary plat. This Final Site Plan deviates from that preliminary site plan with regards to the size of building. The final site plan reduces the original 57.07 acres (with one 1,273,807 square foot warehouse) into a smaller lot with a 650,000 square foot warehouse.

STAFF ANALYSIS

Staff has reviewed the Final Site Plan submittal. The Final Site Plan is reviewed for compliance with Section 10.1 of Article 10 for Site Plan requirements. It is also reviewed for compliance with Section 5.2 Logistics Park (L-P) District regulations. The combined details of that review are listed below.

Section 10.1 of Article 10 for Site Plan requirements

1. Front or cover sheet.
 - a) A scale vicinity map showing the relationship of the site to surrounding neighborhoods, roads and other physical features. *The road to the west of the site needs to be renamed Montrose Street. Make changes to name on the drawings.*
 - b) A project title, zoning designation and project sponsor. A street, lot or tract address of the project. *Final Site Plan complies.*
 - c) An index to contents, and a data table which, at a minimum, includes: Acreage of the site and number of units per acre (if applicable); gross square feet of the building(s) area; the proposed use of each building; number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load and, the total number of parking places. *Provide the number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load.*
 - d) The name of the architect, engineer, surveyor or draftsman. *Final Site Plan complies.*
 - e) The specified certificates and signature blocks. *Final Site Plan complies.*
2. Sheet #2
 - a) A landscape plan drawn to scale, showing the site, building location, planting and seeding schedules, refuse and outdoor storage screening and boundary screening. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives.
 - *Trash containers and screening have not been shown.*
 - *The Landscape Plan incorrectly labels the road to the North of the site as 199th Street on the drawing and in the right of way buffer table. This road is 191st Street.*
 - *The road to the west of the site should also be named Montrose Street.*
 - b) A table entitled "Planting Schedule" which lists the common name, size and condition of all planting materials, together with a timetable for planting. *No timeline for planting is included. This table should also be updated to include the quantities for only those materials which are located in this site.*
3. Sheet #3
 - a) A site map with the following features.
 - i) Topography at reasonable intervals. *Final Site Plan complies.*
 - ii) Exterior lot lines with any survey pins. *Final Site Plan does not show any survey pins.*
 - iii) Location of buildings. *Final Site Plan complies.*
 - iv) Parking areas, paths, walks with sizes and surfaces material specifications. *Pedestrian access needs to be provided from the sidewalk on the south*

side of the building to the sidewalk on Montrose Street. 191st Street infrastructure improvements governed by tri-party agreement with City of Edgerton, BNSF Railway and Edgerton Land Holding Company.

- v) Exterior lighting specifications. ***Details, locations and photometric plan have not been provided.***
- vi) Site entrance and connections to streets. *The site plan specifies that the northeast entrance to the site is to be a temporary asphalt entrance until Waverly is improved. Is this note correct? The site plan also shows an entrance in the southwest corner of the site connecting to Montrose Street. Previous plans have also shown a driveway/private road located to the south of this property which was shown to serve as the access point for the southwest corner of the site but to also extend to the east and provide access to the southwest corner of the property to the east of this property as well as access to the property to the south. The location of a separate access point on the proposed site may affect the ability to locate additional access points in this area. Staff will continue to work with the applicant and a final plan for access will be approved by the City Engineer.*
- vii) The location of easements. *The 15 foot easements shown along the road ROWs include the same area shown as the required ROW buffers. This creates a conflict with the location of the required landscaping with the utility lines and could require the removal of landscaping as part of the maintenance of utilities. Staff understands that the width of ROW was allowed to be reduced and utility easements placed outside of the ROW in order to reduce the setback of buildings from the actual roadway. It may be appropriate in these types of situations to allow the ROW buffers to be located behind the utility easements. This could include that the street trees and other landscaping be placed within 30 feet of the back of curb. If the ROW was a standard width, with utilities located in the ROW, the street trees and other landscaping would most likely be placed in this location. This could have an impact on how the site is developed, especially in regards to detention and other drainage improvements. Staff suggests that the ROW buffers be moved to be located outside of utility easements.*
- viii) Connection point for utilities. ***Plan currently shows Temporary Sanitary Holding Tank. Provide a plan for sanitary sewer service for LPKC Southeast.***
- b) A sketch of the entry sign, and all other free-standing, façade, and building signs to be used on the premises. ***No signage was submitted with the application. Signage proposed later shall receive separate approval according to the provisions of the UDC.***
- c) Features to facilitate handicapped access. ***The accessible parking spaces and access areas should not exceed 2% slope in any direction.***
- d) Profile and detail for roads (if required). ***Profiles have been submitted separately.***

4. Sheet #4

- a) Scale drawing of building floor plans. ***Will be reviewed at Building Permit Review.***
- b) Dimensions and use of rooms and areas. ***Will be reviewed at Building Permit Review.***
- c) Dimensions of entrances/exits and corridors. ***Will be reviewed at Building Permit***

Review.

- d) Interior specifications for handicapped accessibility as required by ANSI 117.1 and this ordinance. ***Will be reviewed at Building Permit Review.***
- 5. Sheet #5
 - a) Scale drawings of all building elevations. ***Final Site Plan complies.***
 - b) Roof pitch and materials. ***Will be reviewed at Building Permit Review.***
 - c) Siding type and materials, including fascia. ***Will be reviewed at Building Permit Review.***

Section 5.2 Logistics Park (L-P) District regulations

SETBACK, YARD, AND AREA REGULATIONS:

1. Building Coverage: The maximum building coverage in the L-P District is 50%. With a site size of 1,376,213 square feet and a building containing 656,965 square feet, building coverage is within the maximum at 47.7%. ***Final Site Plan complies.***
2. Setbacks from the street right-of-way or property line: ***Final Site Plan complies. The South (rear) property line and setback line need to be verified.***
 - a. Front. Choosing a building front can seem arbitrary with large warehouses and multiple street frontages, but with two street frontages, it's customary to choose either the narrower lot width or the side of the building without dock doors. For this plan, both criteria point to the north frontage along 191st Street. This plan has an even more unique issue in that Tract A, which is not technically considered as part of the lot, is located between 191st Street and the property for all but the Eastern 123.25 feet of the site. The proposed building front is 242 feet or more from the 191st Street right-of-way where a 50-foot minimum setback is required. Most of this area would actually be considered a side yard as it is directly adjacent to Tract A where a 25-foot minimum setback is required. The site plan and plat show a proposed 50-foot setback from Tract A, extending straight to the East, and which exceeds the requirements of the UDC.
 - b. Side (Typical). At 185 feet from the property line, the east side exceeds the minimum 25 feet required.
 - c. Side at Street (Typical). The proposed building is located 207 feet, or more, from the adjacent Montrose Street right-of-way, exceeding the 25 foot requirement.
 - d. Rear. Two lines are currently shown along the South property line. The Southern of these two lines is labeled as the property line but the 25-foot setback line appears to be 25 feet from the Northern line. The proposed final plat specifies that the dimension of the East property line as 1,669.27 feet, which appears to measure to the North line. The measurement to the South line appears to be near 1673 feet. While this discrepancy needs to be fixed, the nearly 89-93 feet exceeds the minimum rear setback of 25 feet.
Developer has been contact in regards to this issue and has specified that corrections have been made.
3. Maximum Building Height. Building height is less than 42 feet at all points, under the maximum height of 110 feet. ***Final Site Plan complies.***

4. Building Separation. A minimum building separation of twenty (20) feet is required. There is only a single building proposed with this final site plan. ***Future building separations will need to be evaluated when adjacent final site plans are submitted. Final Site Plan complies.***
5. Accessory Building and Structure Regulations. No accessory buildings are proposed with this application. ***Final Site Plan complies.***

DISTRICT REGULATIONS:

1. A minimum of three exterior walls shall be of materials other than metal. *All exterior walls of the proposed warehouse are tilt-up concrete, meeting this requirement. Final Site Plan complies.*
2. All operations other than limited storage of motorized machinery and equipment, materials, products or equipment, shall be conducted within a fully enclosed building. *The site plan shows future trailer parking areas along the entire east and west side of the property. This would appear to provide for more than just "limited storage". The Planning Commission may need to approve an alternative landscape plan in response to the unique characteristics of this site. This may need to include additional landscaping, fencing or berms, especially along the areas of ROW buffers or for loading docks.*
3. All storage of motorized machinery and equipment, materials, products or equipment shall be within a fully enclosed building, or in a storage area or yard. Said storage shall be limited to twenty percent (20%) of the ground floor area of the building or tenant space. All storage materials shall be one hundred (100) percent screened from public view, except when adjacent to another storage area, which is one hundred (100) percent screened from public view. For the purposes of this section, the phrase "screened from public view" means not visible at eye level from adjoining properties or any street right-of-way. Use of landscaping materials is encouraged in lieu of privacy fencing. All storage areas shall be paved or surfaced. ***The Planning Commission may need to approve an alternative landscape plan in response to the unique characteristics of this site. This may need to include additional landscaping, fencing or berms, especially along the areas of ROW buffers or for loading docks as the future trailer parking areas will not be able to be screened 100%.***

DESIGN GUIDELINES:

1. When more than one (1) building is planned for L-P district property, the development plan shall demonstrate integration and coordination of the architectural design for buildings, structures, and landscaping and open space. *The proposed building, landscaping, and open space design is generally consistent with previously approved projects in the Logistics Park. Final Site Plan complies.*
2. Buildings should be oriented so that the front or side of the building faces the public street frontage of the property. The City may consider an exception to orient a rear elevation towards a public street for unique situations due to the configuration of the lot. *To interpret this regulation, criteria must be provided that allow a building wall to be evaluated as front, side or rear. Typically, the side of a building with the greatest architectural interest such as windows, ornamentation, and design elements helps determine the building front. The rear side would typically be where activities such as loading (dock doors) and storage activities take place, and where building facades have few or no interesting elements.*

*All sides of the proposed building have tilt-up concrete walls, adding to architectural interest. The parts of the building with the most prominent architectural features are the office/entrance areas located at the four corners of the proposed building. The north side of the building faces 191st Street and has architectural interest with the entrances at the east and west corners of the façade, with vertical articulation between the corners to break up the façade between the corners. The south side is proposed to match the look of the north side will face a future warehouse located to the South. While dock doors are typically features associated with the rear of a building the west side will face Montrose Street with dock doors along most of its length. Inland Port XI, which is located on the opposite (west) side of Montrose Street, has a similar layout in that the sides of both buildings that front onto Montrose Street will have dock doors along most of the length. The nearly identical east side will face a proposed future warehouse. **Thus, if the City approves the current application, it will thereby approve an exception to orient a side elevation (including dock doors) toward a public street (Montrose Street) due to the configuration of a lot with public streets on two sides of the proposed building.***

3. The City may require that loading and service areas are screened from public view with landscaping, berming, facade walls, or fencing. *The orientation of the building primarily exposes the west side containing dock doors to visibility from public right-of-way. While the east side is proposed to eventually be adjacent to another warehouse, the dock doors will be visible from the right-of-way and also from a nearby dwelling on the north side of 191st Street. Therefore staff recommends several methods to screen that exposure.*
 - ***ROW buffers are required along 191st Street and Montrose Street. These buffers require 1 tree per 50 LF of ROW within a 10 foot buffer width. The ROW buffer shown along Montrose Street has been upgraded to provide additional screening. The screening proposed should be varied more, clusters of trees are "encouraged to create a more natural appearing environment" (Section 5.2.O.4) and the use of berms or other elements can also assist in making a design less monotonous.***
 - ***Perimeter Landscape Buffer: Type 1 buffer is required on the south and east property lines to the front face of the building. The type 1 buffer requires a 5' buffer width and trees at 50' spacing (all within the 5' buffer) and hedge/shrub at 48" spacing (with 25% within the 5' buffer). Evergreen trees (Keteleeri Juniper) shall be a minimum 12' height. Deciduous trees shall be a minimum 2.5" caliper. Hedge/shrub shall be a minimum 24" high. Current plans do not include the required hedge/shrub plantings along the Northeast and Southwest portion of the site. Staff also suggests that additional screening be provided along the east property line to provide screening of the loading docks from the ROW and residential properties on the North side of 191st Street.***
 - ***Consideration of additional landscaping at entrances.***
4. When development is proposed adjacent to any existing residential development, site plan approval, including building elevations, landscaping, and screening shall be approved by the City. ***Consideration of additional landscaping along north property line and in Tract A.***

5. Pedestrian access within a development and adjacent public and private property shall be considered as a component to the design of an employment center. *Sidewalks should also be provided to connect the sidewalk along the south side of the building to the proposed sidewalk along Montrose Street. Final Site Plan complies.*

ARCHITECTURAL DESIGN STANDARDS

1. Building Massing and Scale. A building's massing is defined as its exterior volume. The height, width and depth of a structure create the overall massing of a building. A building's scale is the relationship of its overall size and its component parts with its adjoining spaces and buildings. *Final Site Plan complies.*
2. Large expanses of blank walls of any material or metal siding are not allowed. Building facades over one hundred feet (100') long facing public right of way or residential property shall break up massing of buildings by dividing building façade into smaller components with a minimum of three (3) of the following elements:
 - a. articulating details around doors, windows, balconies, plate lines, providing details such as "belly-bands," recessed design elements, interesting cornice treatment details, exposed expansion joints, reveals, change in texture, or other such methods of visual relief;
 - b. Avoiding long, repetitive, monotonous facades – particularly those that repeat the same design element several times along the same elevation
 - c. Use of darker building color and varied wall treatments
 - d. Varying roof lines (see Vertical Articulation section)
 - e. Change of wall plane (see Horizontal Articulation section)

The proposed elevations appear to be consistent with buildings approved and constructed in earlier LPKC phases. The north and west sides of the building face public rights-of-way. The north and south elevations use vertical and horizontal articulation, windows, and color blocking to effectively break up building massing. The west and east façades again use vertical articulation, color blocking, and windows effectively, though the great lengths on these sides provide more opportunities for varying techniques than are taken advantage of in the design. Final Site Plan complies.

3. Building Materials. One hundred percent (100%) of the surface of each exterior wall (excluding doors and windows) facing a public street, residential use or public open space shall consist of materials including but not limited to stone, brick, glass block, tile, cast metal, cast or cultured stone, concrete (tilt-up walls), glass, or a combination of these materials. *All walls are concrete tilt-up, which meets this requirement. Final Site Plan complies.*
4. Façade Guidelines
 - a. Horizontal Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the wall's height without having an off-set of ten percent (10%) of the wall's height (maximum of five (5) feet); the new plane shall extend for a distance equal to a minimum of twenty percent (20%) of the maximum length of the first plane. The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. *Walls not facing a public right-of-way or a residentially zoned property and walls with loading dock doors are exempt from the horizontal articulation requirement. The middle of the north wall measures approximately 265*

feet. With the maximum height of the wall being 42 feet the maximum length of this wall without additional horizontal articulation should be 168 feet. The minimum off-set is 4.2 feet. Additional articulation could be provided in this area or the articulation provided at the north and south portions of this wall could be extended to shortened this distance. ***The north wall does not meet this requirement. All other walls appear to meet this requirement.***

- b. Vertical Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the height of the wall without changing height by a minimum of ten percent (10%) of the wall's height (maximum of five (5) feet). The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. *Like the horizontal articulation requirement, walls not facing a public right-of-way or a residentially zoned property are exempt from this requirement. However, walls with loading dock doors are still required to meet this standard. The minimum height change is 4.2 feet. The maximum change in height shown on the plans is 4.5 feet but a number of portions of the north and west walls extend beyond the 168 feet while having height changes of less than 4.2 feet. The north and west walls do not meet this requirement. All other walls appear to meet this requirement.*
- c. Screening of Rooftop Equipment. For buildings within the L-P District, all rooftop mounted mechanical, air conditioning, electrical, and satellite dish equipment shall not be visible. Rooftop equipment shall be screened from ground and street level view with parapets or other architectural design features constructed of the same materials used on the exterior walls. ***Rooftop equipment is not shown on the proposed building elevations. If rooftop equipment visible from the ground and street level is planned, parapets to conceal it from the ground and the streets shall be required prior to building permit approval.***
- d. Color Palette. Earth tones, muted hues, and natural tones are permitted as structures' basic colors. Brighter hues are permitted only as an accent color on building elements such as awnings, doors, and trim. A mixed color palette on a single building should be carefully selected so all colors harmonize with each other. ***Color blocking is used effectively in the elevations provided. Though staff has not done percentage calculations to evaluate strict compliance with the above chart, staff believes the uses of color on the building follow the pattern of previously approved buildings and are otherwise consistent with the identity of LPKC.***

Accent colors should be applied using the following guidelines:

	Required	Allowed
1 st Accent Color	10%	20%
2 nd Accent Color	0%	10%
3 rd Accent Color	0%	10%

*Percentage calculations shall utilize the entire façade area.

PARKING AND LOADING

1. General. The plan addresses the general parking and loading requirements as follows:

- a. Parking space dimensions of at least 9 by 20 feet per space are required. *The Final Site Plan shows 228 regular car parking spaces with 8 ADA spaces.*
 - b. Adequate loading spaces off the public right-of-way are shown.
 - c. Parking is all on asphalt or concrete.
 - d. Off-street space for loading and unloading of goods is provided. *131 truck spaces and 157 future truck stalls.*
 - e. Shipping, loading, maneuvering, and parking areas meet the setback requirements. ***Final Site Plan complies.***
2. Warehouse/Distribution Center and Large Building Parking Space Exceptions. Parking shall be required per City standard based upon individual land use, except Warehouse or Distribution Center land uses, which shall require one (1) space per two thousand (2,000) square feet of building area. Buildings in excess of one hundred thousand (100,000) square feet or users with specific parking needs may provide an independent parking study to the City for approval. *The proposed structure is 650,000 square feet which would calculate to a minimum of 325 spaces. The Final Site Plan shows 228 regular car parking spaces with 8 ADA spaces. Staff understands that the extra off-street loading spaces have been allowed to be considered as part of the spaces required for parking. Final Site Plan complies.*

OFF-STREET PARKING STANDARDS

1. Maneuvering. It appears that adequate space is provided on the plan for vehicle maneuvering off the public right of way. ***Final Site Plan complies.***
2. Parking Spaces and Aisle Surfaces. All parking spaces, aisles and maneuvering areas are all-weather surfaced and are connected by all-weather surfaced driveways to the street, as required. ***Final Site Plan complies.***
3. Parking Space and Aisle Dimensions. Parking space dimensions of at least 9 by 20 feet per space are required. ***Passenger vehicle parking spaces are shown at only 9 by 18 feet. Other parking spaces and aisle dimensions conform to Article 10.2, Parking and Loading Standards, as required.***
4. Wheel Stops. Wheel stops or curbs are required for parking spaces around the perimeter of the parking lot and adjacent to sidewalks. *Parking spaces are not adjacent to required landscaped areas, public ROW or public sidewalks and Curbs are also indicated on the site plan around parking areas. Final Site Plan complies.*
5. Parking layout with 90 degree spaces and two-way traffic. The parking area proposed conforms to the requirements shown in Figure 8 of the L-P District parking requirements. ***Final Site Plan complies.***

OFF-STREET LOADING STANDARDS

1. Access. Loading facilities shall be located adjacent to a public access-way or private service drive. ***Final Site Plan complies.***
2. Minimum Loading Space Dimensions. Loading spaces shall be a minimum of twelve (12) feet in width, sixty-five (65) feet in length, and fourteen (14) in height except as may otherwise be approved by the City. *The loading spaces shown on the site plan are dimensioned as 13 feet by 60 feet. These spaces all front onto a 70 foot wide driveway area. Staff understands that the normal minimum design turning radius for semi-trucks is 45 feet. The future trailer parking spaces are dimensioned as 12 feet by 55 feet. Final Site Plan complies.*

3. Use of Loading Spaces. Off-street loadings spaces shall be used only for temporary loading/unloading operations and shall not be used for storage or display of boats, trailers, campers, motor vehicles or other goods, materials or products. *The main loading spaces appear to be designed to operate as loading docks for the facility and not for the storage of other goods, materials and products. **Final Site Plan complies***
4. Number of Loading Spaces Required. A use which receives or distributes material, supplies or merchandise by motor vehicle is required to provide spaces based upon the following requirement: (a) 0-9,999 square feet – None; (b) 10,000-100,000 square feet – 1 spaces; 50,000-100,000 – 2 spaces; and, 100,001+ - 1 additional space per 100,000 square feet. *Based upon this standard the property is required to provide 8 loading spaces. **Final Site Plan complies***
5. Temporary Outdoor Storage Regulations for Cargo Containers, Operational Trailers, and Tractors. The L-P District requires that outdoor parking or storage spaces for cargo containers, operational trailers and tractors must be screened from view by either a masonry wall of a type and style complementary to the primary materials of the building, wrought iron, decorative metal, living plant material or a combination of these. The height of the screening must be sufficient to block view of the equipment or vehicles from a public right-of-way. Where a masonry wall is used to satisfy this requirement, foundation planting must be provided on the exterior face of the wall. These spaces must be clearly demarcated solely for tractor and trailer storage. *The site plan shows a total of 76 "Future Trailer Parking" along the Montrose Street property frontage. These spaces are located approximately 35 feet from the edge right-of-way and would be clearly visible from Montrose Street. An additional 81 spaces are also shown along the east property line and which will be visible from 191st Street. **Additional screening may need to be provided in order to screen these future spaces.***

PHOTOMETRICS

1. General. All lighting shall be designed in accordance with applicable Illuminating Engineering Society of North America (IESNA) practices as applied to specified applications within the L-P District. Cut-off design is specified within the development. ***A photometric plan has not been provided. The applicant shall provide a photometric lighting plan, including cut-off design specifications for all proposed lighting fixtures prior to issuance of a building permit.***

LANDSCAPE STANDARDS

1. Right-of-way Buffer Width Requirements. ROW buffer requirements for a 2 lane or 4 lane undivided road includes 1 tree per 50 LF of ROW within a 10 foot buffer width. 18 trees are shown along 191st Street while 19 would be required ($932.49 / 50 = 18.65$). 33 trees are shown along Montrose Street as are required ($1609' / 50 = 32.19$). Staff suggests that these buffers should be located outside of the utility easements but within 30 feet of the back of curb. Staff also suggests that additional screening be provided along Montrose Street in order to screen the future trailer parking and loading dock areas from the ROW. The landscaping plan should also be adjusted to provide more variation into the type and placement of material. This could include the use of berms, fencing or other elements to make a design less monotonous. ***The Landscape Plan needs to be adjusted.***
2. Perimeter Landscape Buffer Requirements. The perimeter landscape requirements are based upon the use of the adjacent property. While the adjoining properties to the east and south are currently being used for agricultural purposes, they have been rezoned to

*the I-P District and the city considers them to be part of the industrial use which is occurring on the subject property. With the city considering them as part of this industrial use a Type 1 buffer is required. The type 1 buffers require a 5' buffer width and trees at 50' spacing (all within the 5' buffer) and bushes at 48" spacing (with 25% within the 5' buffer). If these areas were considered as an agricultural use they would require a Type 2 Buffer. A Type 2 Buffer requires a 10' buffer width and trees at 50' spacing (all within the 10' buffer) and bushes at 48" spacing (with 35% within the 10' buffer). Such screening is only required to the front face of the building. Staff does suggest that additional screening be provided especially to deal with screening storage areas. **The Landscape Plan needs to be adjusted.***

3. Buffer Composition Requirements. *Deciduous trees shall be a minimum 2.5" caliper. Evergreen trees (Keteleeri Juniper) shall be a minimum 12' height. Bushes shall be a minimum 24" high. **All plant material need to comply with these minimum requirements.***
4. Screening from Residential Uses. *Property adjacent to or across from residential uses shall be landscaped in accordance with the standards set forth in this Section. No specific standards are listed for residential uses which are separated from an L-P District use by a road. Section 5.2.1.c does specify that "the city may require that loading and service areas are screened from public view with landscaping, berming, façade walls, or fencing." Additional screening would be appropriate to screen the loading docks and future trailer parking from the existing dwelling to the north. **Provide additional screening in northeast portion of site.***
5. Dumpster screening: *Trash enclosures or screening are not shown. Plans shall be updated to satisfy the dumpster screening requirements in Article 5.2 K 8. **Provide dumpster screening.***

SIGNAGE

No signage plan has been made available for review. ***The applicant shall provide a signage plan according to the requirements in Article 5(K) prior to the issuance of a building permit.***

DIESEL EMISSION REQUIREMENTS

The following diesel emission requirements shall apply:

1. Except for loading and unloading operations, heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds shall be restricted from idling on-site for no more than 5 minutes in any 60 minute period. For loading and unloading operations, idling shall be restricted to no more than 30 minutes in any 60 minute period.
2. One electrical hook-up shall be provided for "trucker plug-ins" equal to a minimum of one-third (1/3) of the total number of truck bays at the facility to eliminate excessive idling by heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds. Approval to use alternative technologies to eliminate excessive idling may be requested, but shall not be approved unless the applicant demonstrates that they are at least as effective as electrical hook-ups. ***Will be reviewed at Building Permit.***
3. Signs shall be posted by owner(s) of the facility at each vehicle entrance to the facility notifying drivers of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds to turn off engines when not in use. ***Will be reviewed at Building Permit.***

4. The operation and idling of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds, including circulation, shall be restricted within 300 feet of any property zoned for or committed to residential use, or the owner/developer shall provide alternative measures including the possible installation of a wall or other mitigating measures to assure buffering of residences from heavy-duty truck operations, unless the owners of property located adjacent to said heavy duty diesel truck operations consent and agree, in writing to:
 - a. Allow the location of heavy-duty diesel truck operations within 300 feet of their property zoned for and committed to residential use, and
 - b. Restrict areas of their property located within 300 feet of adjacent trucking operations to only non-residential uses;
5. Warehouse managers and employees shall be trained by the employer(s) or operator(s) of the facility to use efficient scheduling and load management to eliminate unnecessary operation, queuing, or idling of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds.
6. Warehouse managers and employees shall be provided by the employer(s) or operator(s) of the facility with information about the possible effects of diesel emissions on their own health and the importance of being a good neighbor by minimizing idling and avoiding other potentially adverse impacts on adjacent or nearby residences;
7. On-site services shall be made available to vehicle drivers to reduce idling. These services may include restroom facilities, seating for drivers waiting for their cargo to be loaded or unloaded, and/or food/beverage vending machines. ***Will be reviewed at Building Permit.***
8. Any motorized equipment used within the proposed development should utilize clean technology propulsion and/or alternative fuels such as biodiesel, electricity, or propane;
9. If fuel dispensing facilities are provided on-site, alternative clean fuels such as (but not limited to) bio-diesel blended fuel should be provided at these dispensing facilities.

Other Comments

A storm water study has been provided. The following comments should be addressed prior to approval:

- The area for the existing sub-basins totals 161.46 acres (Table 1) while the area for the proposed sub-basins totals 163.33 acres (Table 2). The existing and proposed areas should be equal.
- The areas for existing sub-basins Northwest and West vary between the text, Table 1 and the existing drainage map.
- Provide expected velocities for the outfall pipes. Provide erosion protection if needed.
- Provide a sealed copy of the study once revisions have been made and approved.

UPDATE

Staff held a meeting with the applicant to discuss these issues and the applicant is working on making the necessary changes to the Final Plat drawing. Staff recommends that the final location of landscaping be approved by staff in order to reduce conflicts with the placement of utilities.

RECOMMENDATION

City staff recommends **approval** of FS-11-06-2014 for the Final Site Plan Logistics Park Kansas City - Southeast, First Plat, Lot 2 (Inland Port XII) subject to the suggested stipulations, below.

1. All Site Plan requirements of the City shall be met as listed above, particularly including:
 - a. Submittal of photometric lighting plan in conformance with UDC especially with regard to maximum foot-candles at property line.
 - b. Construction plans for future public infrastructure be submitted and approved by the City. Any necessary permits obtained.
 - c. Resubmittal of revised landscaping plans including screening for adjacent public roads and trash enclosures. All landscaping shall be maintained in good condition and plants shall be replaced when dead.
2. All infrastructure requirements of the City shall be met.
3. All building permit and sign permit requirements of the City shall be met.
4. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

ATTACHMENT

Final Site Plan Application No. FS-11-06-2014

Final Site Plans Logistics Park Kansas City – Southeast, First Plat, Lot 2 (Inland Port XII)

☐ PRELIMINARY SITE PLAN ☒ FINAL SITE PLAN

NAME OF PROPOSED SUBDIVISION: Inland Port XII

LOCATION OR ADDRESS OF SUBJECT PROPERTY: 1/4 mile east of Waverly on the South side of 191st Street.

LEGAL DESCRIPTION: _____

CURRENT ZONING ON SUBJECT PROPERTY: RUR CURRENT LAND USE: Agricultural

TOTAL AREA: 31.6 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 33,600 Sq. Ft.

DEVELOPER'S NAME(S): Patrick Robinson PHONE: 816-888-7380

COMPANY: Northpoint Development FAX: 816-888-7399

MAILING ADDRESS: 5015 NW Canal St., Suite 200 Riverside Mo 64150
Street City State Zip

PROPERTY OWNER'S NAME(S): Patrick Robinson PHONE: 816-888-7380

COMPANY: Northpoint Development FAX: 816-888-7399

MAILING ADDRESS: 5015 NW Canal St., Suite 200 Riverside Mo 64150
Street City State Zip

ENGINEER'S NAME(S): Dan Cook PHONE: 816-800-0950

COMPANY: Renaissance Infrastructure Consulting FAX: 816-800-0951

MAILING ADDRESS: 5015 NW Canal St., Suite 100 Riverside Mo 64150
Street City State Zip

SIGNATURE OF OWNER OR AGENT:  _____
If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

Case No. FS-11-06-2014 Amount of Fee Paid: \$ _____ Date Fee Paid: _____

Received By:  _____ Date of Hearing: 12-9-2014

Meeting

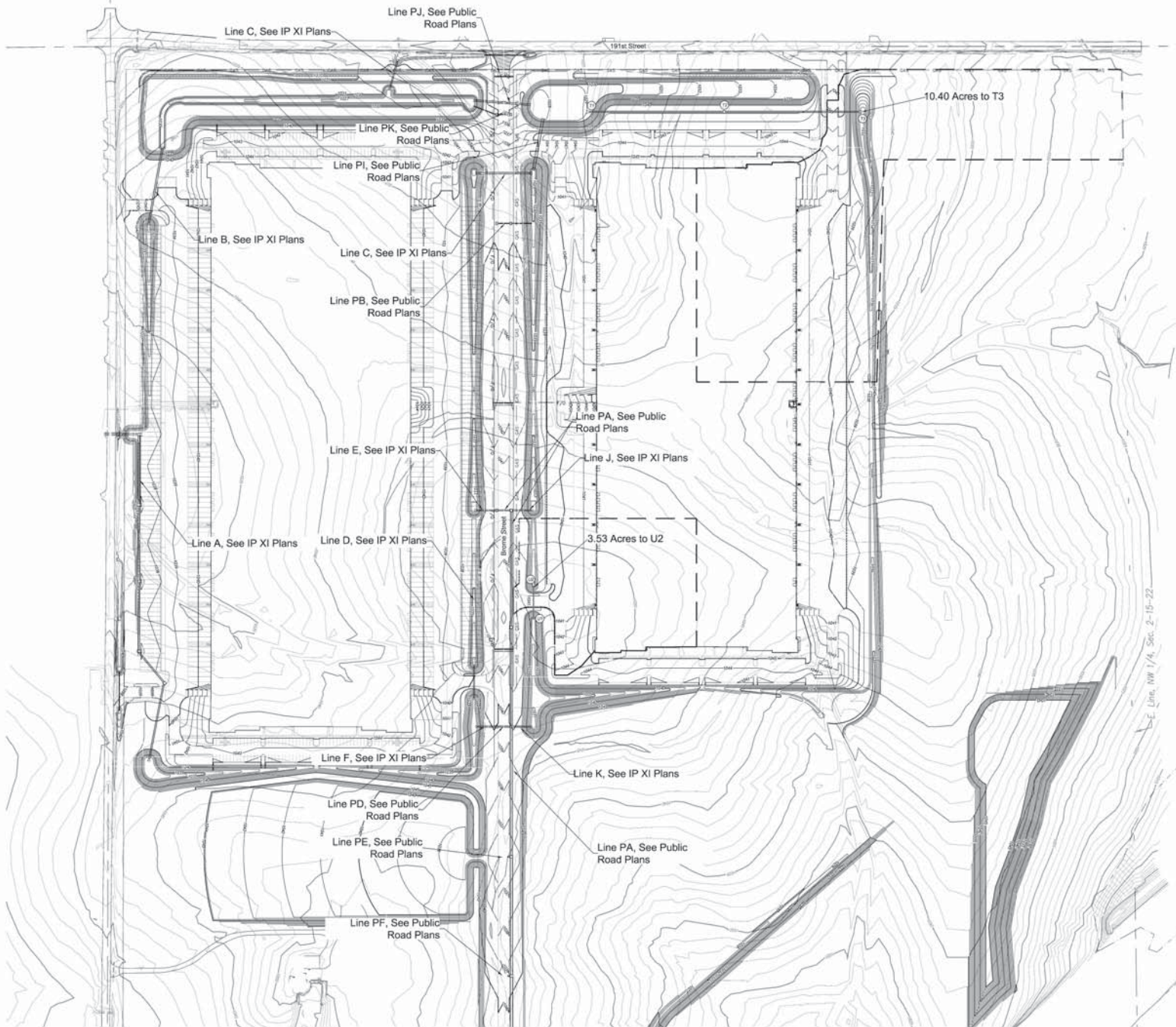
SITE PLAN INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least thirty (30) working days prior to a scheduled meeting.

NOTICE REQUIREMENTS: The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.

vs. 9-9-11

IP XII, 650,000 SF
Lot 2, 31.59 Acres
Logistics Park Kansas City Southeast, 1st Plat
FFE=1045.50



Overland Flow										System Flow						Pipe Design										Structure Design				Comments										
Line	Point	Tot. Area (Ac.)	"C" Value	Design Storm	"Q" Value	Time of Conc. (min.)	Intensity I (in/hr.)	Tot. Runoff (cfs)	Exposed Area (Sq.)	Total Runoff (cfs)	Total Area (Ac.)	Total (K/A/C)	Time of Conc. (min.)	Intensity I (in/hr.)	System Discharge (cfs)	US Note	DS Note	Pipe Type	Pipe Shape	Pipe Diameter (in.)	Pipe Length (ft.)	Manning "n" value	Pipe Slope (%)	Depth of Flow (ft.)	Design Flow (cfs)	Pipe Capacity (cfs)	Full Flow Velocity (ft/s)	Flow Time (min.)	US Invert E.		US Crown E.	DS Invert E.	DS Crown E.	US Depth of Cover (ft.)	DS Depth of Cover (ft.)	Headwater Inlet Elev. (EGL)	Structure Inlet Elev. (EGL)	Flow Elevation		
T	T1	19.40	0.87	10	1	5.00	7.35	66.53	0.00	66.53	10.40	9.05	5.00	7.35	66.53	T1	T2	HDPE	Round	48	388.76	0.013	0.20	4.00	66.53	90.87	7.23	7.23	0.83	1030.10	1034.90	1029.76	1033.78	5.90	7.02	1034.92	1034.88	O	1040.00	Pipe Capacity with 1.27' Head
T	T2	0.00	0.87	10	1	5.00	7.35	0.00	0.00	0.00	10.40	9.05	5.00	7.35	66.53	T2	T1	HDPE	Round	48	257.71	0.013	0.18	4.00	66.53	90.87	7.23	7.23	0.82	1029.88	1033.68	1029.30	1033.00	7.12	7.00	1033.70	1033.81	O	1040.80	Pipe Capacity with 1.27' Head
T	T1																																						1040.00	
U	U2	3.53	0.87	10	1	5.00	7.35	32.58	0.00	32.58	3.53	3.07	5.00	7.35	32.58	U2	U1	HDPE	Round	24	84.86	0.013	1.30	4.35	22.58	25.71	8.24	8.18	0.16	1029.74	1031.74	1029.64	1030.64	3.28	4.36	1031.18	1031.32	O	1035.00	
U	U1																																						1035.00	



NO.	DATE	DESCRIPTION
1	11.24.19	ISSUED FOR FINAL 30% CONSTRUCTION PLANS
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3		
4		
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7		
8		
9		
10		

REVISIONS

NO. DATE DESCRIPTION

1 11.24.19 ISSUED FOR FINAL 30% CONSTRUCTION PLANS

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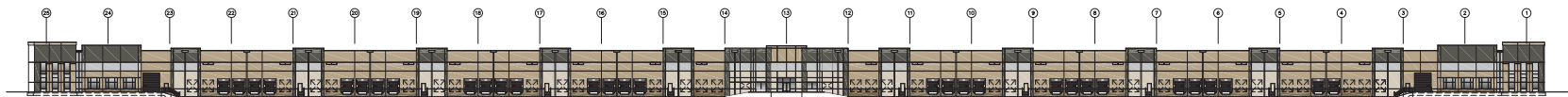
294

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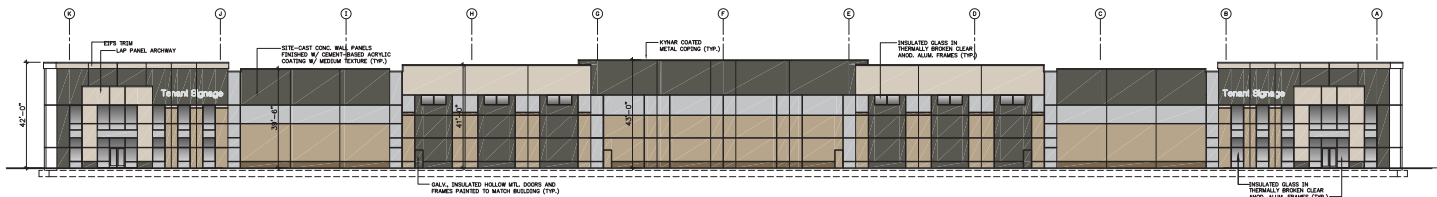
5 RENDERING OF TYPICAL ENTRANCE

A102 SCALE : NOT TO SCALE



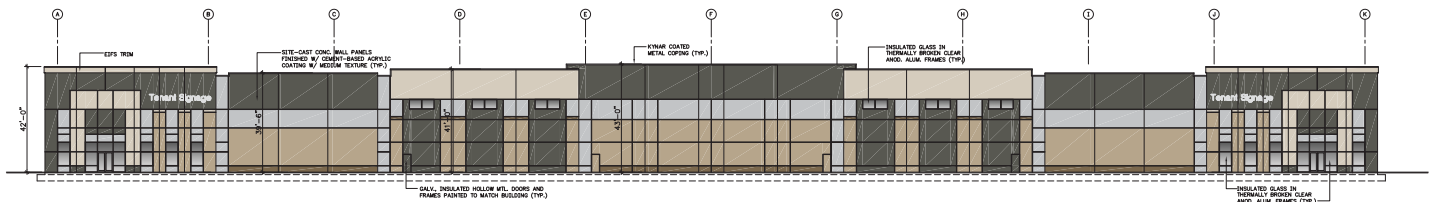
4 WEST ELEVATION

A102 SCALE : 1" = 40'



3 NORTH ELEVATION

A401 SCALE : 1" = 20'



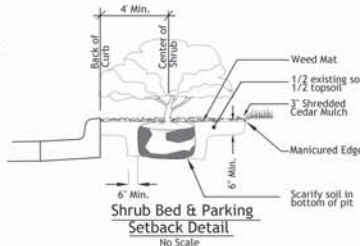
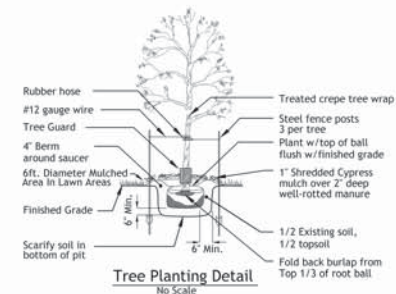
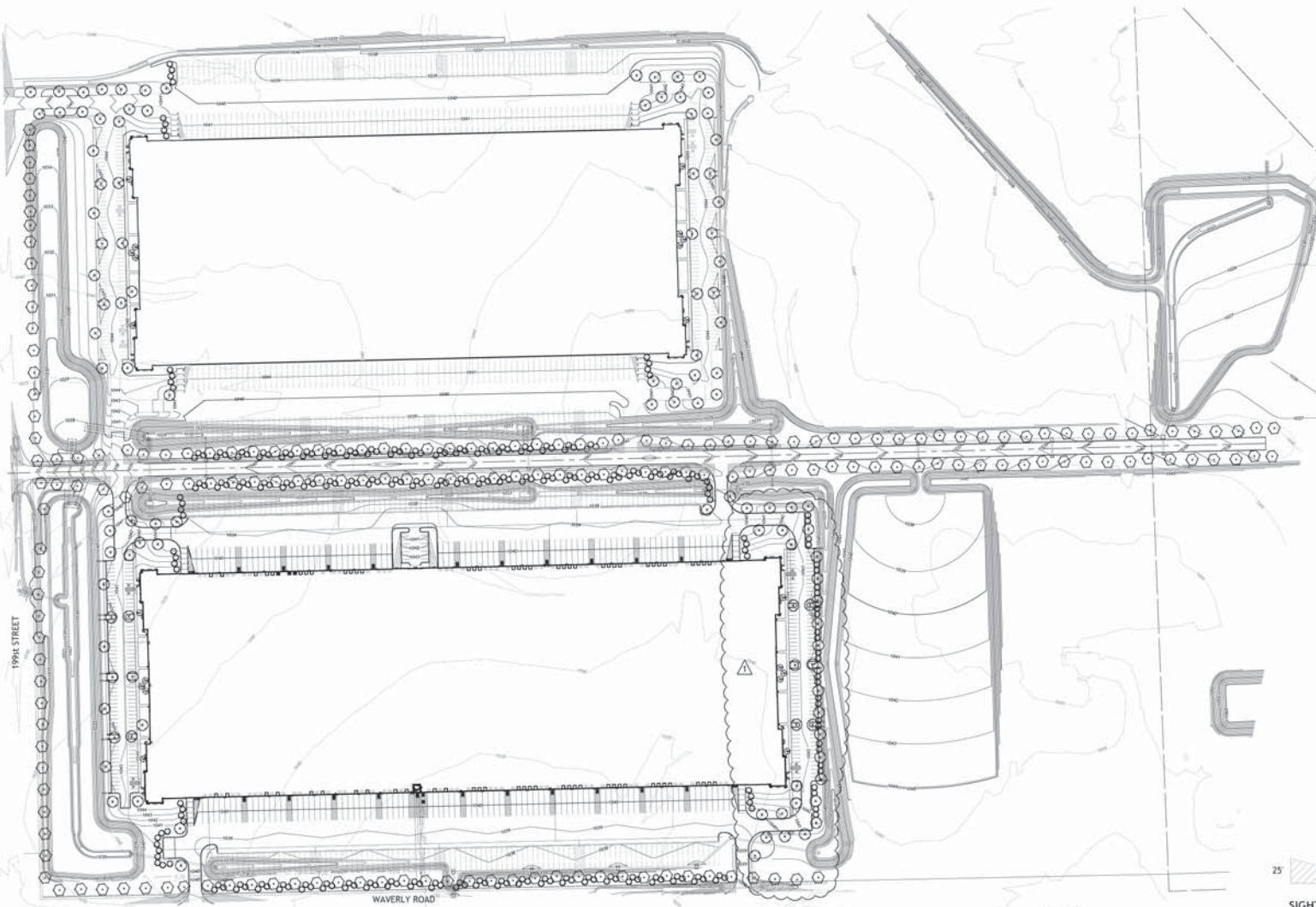
2 SOUTH ELEVATION

A401 SCALE : 1" = 20'



1 EAST ELEVATION

A102 SCALE : 1" = 40'



RIGHT OF WAY BUFFER REQUIRED:

WAVERLY = 1,824' REQUIRED	SOUTH PROPERTY = 964' REQUIRED
REQUIRED BUFFER WIDTH 10' TREES = 1/50 = 36 PROVIDED BUFFER WIDTH 10' SHADE TREES = 36	REQUIRED BUFFER WIDTH 5' TREES = 1/50 = 19 SHRUBS = 25% OF LENGTH = 241 PROVIDED BUFFER WIDTH 10' SHADE TREES = 15 EVERGREENS = 28
199th STREET FRONTAGE = 1,799' REQUIRED	
REQUIRED BUFFER WIDTH 10' TREES = 1/50 = 36 PROVIDED BUFFER WIDTH 10' SHADE TREES = 36	
MID ROAD = 2,870' REQUIRED	
REQUIRED BUFFER WIDTH 10' TREES = 1/50 = 57 PROVIDED BUFFER WIDTH 10' SHADE TREES = 57	

LANDSCAPE NOTES

CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allow without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for designs that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with 3" of shredded cedar mulch.

All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

All seed areas shall be hydro-seeded with a Turf-Type-Tall Fescue seed blend.

Typical Utility Box Screening Details



100 0 100

1"=100'

25'
150'

SIGHT TRIANGLE

Tree List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	188	Autumn Blaze Maple	Acer fremanii	2.5' cal	BB	As Shown
	118	Celebration Maple	Acer x freemanii Celebration	2.5' cal	BB	As Shown
	20	Regal Prince Columnar English Oak	Quercus x warei 'Long'	1.5' cal	BB	As Shown
	278	Keteleeri Juniper	Juniperus chinensis 'Keteleeri'	6' hgt	Cont.	3'o.c.

Shrub List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	96	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	24"	Cont.	40.c.
	96	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	24"	Cont.	40.c.
	88	Morning Light Maiden Grass	Miscanthus Sinensis 'Morning Light'	3 gal.	Cont.	40.c.
	32	Anthony Waterer Spirea	Spirea Bumalda 'Anthony Waterer'	24"	Cont.	40.c.

Renaissance Infrastructure Consulting

500 CANAL STREET, SUITE 100
RIVERSIDE, MISSOURI 65403

913.317.9500
WWW.RIC-CONSULT.COM

MISSOURI CERTIFICATE OF AUTHORITY NO. 2000053630

10-21-14

Inland Port XI

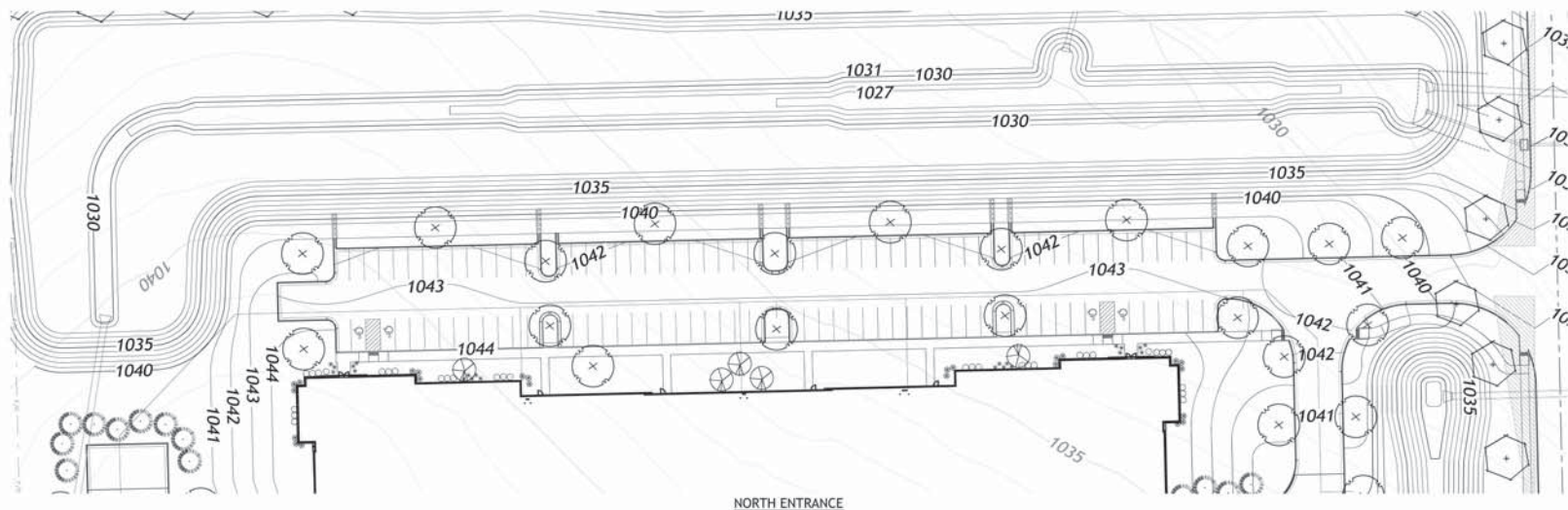
1917 & Waverly Road
Edgerton, Kansas

Project No.	22445.00
Date	09.29.14
Issued For	CONSTRUCTION DOCUMENTS
Revision	
By	
Date	
By	
Date	
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Date	
By	
Date	

LANDSCAPE PLAN

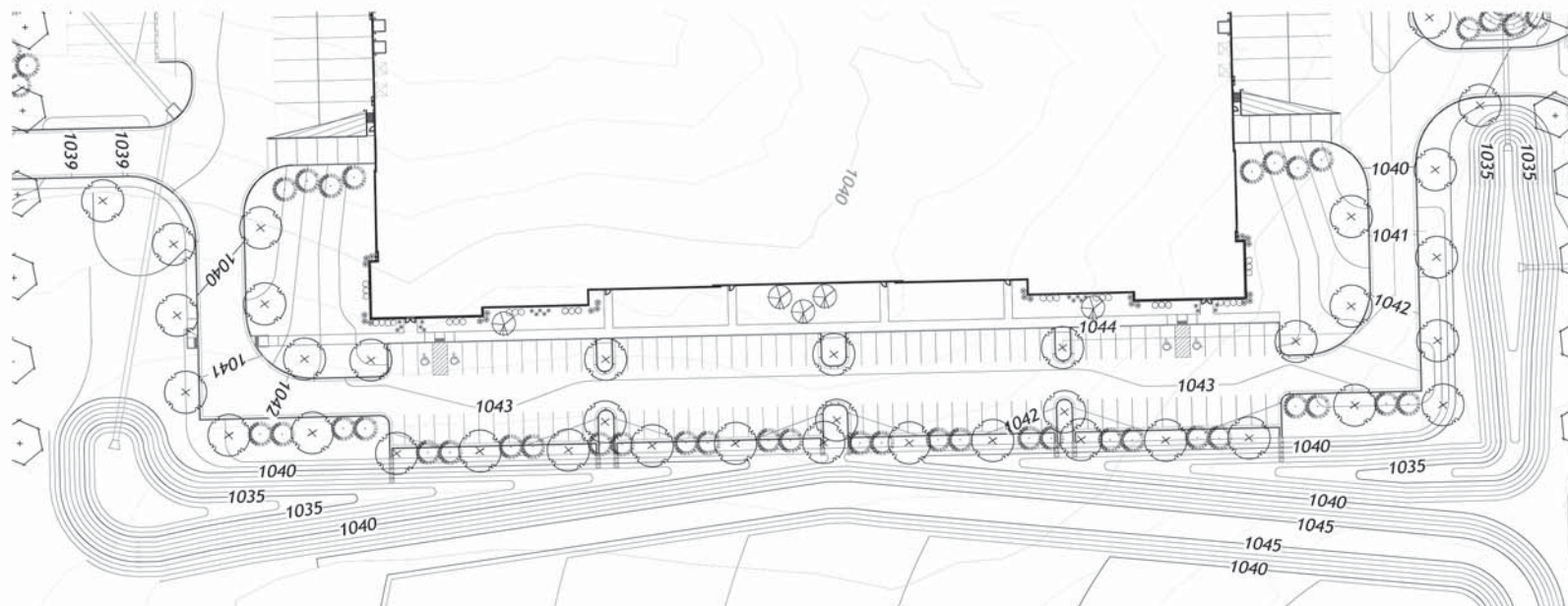
PROJECT TEAM	
ARCHITECT	EMERSON/LEO AICHA ARCHITECTS
CIVIL	EMERSON/LEO AICHA ARCHITECTS
LANDSCAPE	RENAISSANCE INFRASTRUCTURE CONSULTING
FOUNDATIONS	ALTER AUST
STRUCTURAL	ALTER AUST
PLUMBING	CENTRAL PLUMBING
MECHANICAL	NATHANIEL DESIGN BUILD
ELECTRICAL	HERITAGE ELECTRIC
PAINT	DE WORKS
CONTRACTOR	GLAYCO





NORTH ENTRANCE

BOTH BUILDINGS ARE SAME SHRUB LAYOUT



SOUTH ENTRANCE



Inland Port XI 1917 & Waverly Road Edmonton, Alberta

Project No: 20055363
Date: 09/26/14
Issued For: CONSTRUCTION DOCUMENTS

Rev	Date	Description

REVISION

SHEET TITLE

LANDSCAPE PLAN

PROJECT TEAM

ARCHITECT	ENVIRONMENTAL ARCHITECTURE
DRG	ENVIRONMENTAL ARCHITECTURE
LANDSCAPE	ENVIRONMENTAL ARCHITECTURE
FOUNDATIONS	ALTER ADD
STRUCTURAL	ALTER ADD
PLUMBING	CENTRAL PLUMBING
MECHANICAL	NATURAL DESIGN BLDG
ELECTRICAL	HERITAGE ELECTRIC
FIRE PROTECTION	EE WORKS
CONTRACTOR	GLAYCO