

EDGERTON PLANNING COMMISSION AGENDA  
REGULAR SESSION  
Edgerton City Hall  
April 14, 2015  
7:00 PM

1. Call meeting to order
2. Pledge of Allegiance
3. Roll Call

A. Members:

|                          |                  |
|--------------------------|------------------|
| Chuck Davis, Chair       | Present / Absent |
| Ron Conus, Vice-Chair    | Present / Absent |
| Maria O'Neill, Secretary | Present / Absent |
| Missy Drinkard           | Present / Absent |
| Bob O'Neill              | Present/ Absent  |
| Andrea Lucero            | Present/ Absent  |
| Cliff Withrow            | Present/ Absent  |
| Randal Gifford           | Present/ Absent  |
| Bill Braun               | Present/ Absent  |

4. Approval of Minutes  
A. March 10, 2015

5. Guests Present  
A.  
B.

6. Communications from Staff

8. Discussion

**SITE PLAN – FENCING MATERIAL**

- A. Discussion of request from Flexsteel in regards to installation of fencing material for project site located at Kill Creek Road and 191<sup>st</sup> Street, 31608 W. 191<sup>st</sup>.

Action requested: Discuss request to determine consensus or options.

7. New Business

**TEMPORARY CONSTRUCTION ACTIVITIES**

- A. Consideration of Temporary Construction Activities at the proposed TSL property located at the Southwest Corner of 191<sup>st</sup> Street and Waverly Road for the placement of a Concrete Batch Plant. Applicant: Tom Hastings, TSL.

Action requested: Receive comments and consider motion to approve or deny request.



### **PUBLIC HEARING - REZONING**

- B. Consideration of a public hearing in regards to Rezoning Case No. ZA-2015-01, requesting a change in zoning from Johnson County Rural Residential (RUR) to City of Edgerton Logistics Park District (L-P) on property located a portion of land within the northwest quarter and a portion of land located in the southwest quarter of Section 2, Township 15 South, Range 22 East, Johnson County, Kansas, with a general location of 19645 Waverly Road, containing approximately 206 acres, more or less. Applicant: Patrick Robinson, ELHC. Engineer: R-I-C.

Action requested: Open the public hearing, receive comments, consider motion to close or table the hearing. Consider motion to recommend approval or denial of rezoning.

### **PUBLIC HEARING –PRELIMINARY PLAT**

- C. Consideration of opening a public hearing in regards to Preliminary Plat Case No. PP-2015-01 requesting approval of a preliminary plat for Logistics Park Kansas City Phase II consisting of five (5) lots containing 206.13 acres more or less located on a portion of land located in the Northwest and Southwest Quarters of Section 2, Township 15 South, Range 22 East, Johnson County, Kansas (East side of Waverly Road, North of Interstate 35). Applicant: Patrick Robinson, Edgerton Land Holding Company. Engineer: R-I-C.

Action requested: Open the public hearing, receive comments, and consider motion to close or table the hearing. Consider motion to approve or deny.

### **PUBLIC HEARING – FINAL SITE PLAN**

- D. Consideration of opening a public hearing in regards to Final Site Plan Case No. FS-2015-01 requesting approval of Final Site Plan for Inland Port IV consisting of one (1) lot containing 56.013 acres, more or less, located on a portion of land located in the Northwest and Southwest Quarters of Section 2, Township 15 South, Range 22 East, Johnson County, Kansas, in an area along the east side of Waverly Road and north of Interstate 35. Applicant: Patrick Robinson, Edgerton Land Holding Company. Engineer: R-I-C.

Action requested: Open the public hearing, receive comments, and consider motion to close or table the hearing. Consider motion to approve or deny.

### **FINAL PLAT**

- E. Consideration of Final Plat Case No. FP2015-01 requesting approval of a Final Plat for Logistics Park Kansas City – Southeast 2<sup>nd</sup> Plat consisting of one (1) lot containing 56.013 acres, more or less, located at 19645 Waverly Road. Applicant: Patrick Robinson, Edgerton Land Holding Company. Engineer: R-I-C.

Action requested: Receive comments and consider motion to recommend approval



or denial.

**PUBLIC HEARING - UNIFIED DEVELOPMENT CODE AMENDMENTS**

- F. Consideration of opening the tabled public hearing in regards to receiving input from the public on the proposed adoption of a new Unified Development Code (UDC).  
Applicant: City of Edgerton, Kenneth A. Cook, Community Development Director.

Action requested: Open the public hearing, receive comments, and consider motion to close or table the hearing. Consider motion to recommend approval or denial.

9. Future Meeting – Regular meeting – May 12, 2015
10. Adjournment:



EDGERTON COMMUNITY BUILDING  
PLANNING COMMISSION MEETING

Regular Session

March 10, 2015

Minutes

The Edgerton Planning Commission met in regular session with Vice-Chair Conus calling the meeting to order at 7:00 p.m.

All present participated in the Pledge of Allegiance.

The Roll Call was answered, indicating those present were: Commissioners Ron Conus, Maria O'Neill, Cliff Withrow, Randal Gifford, Bob O'Neill, Missy Drinkard, and Andrea Lucero. Absent were: Commissioners Chuck Davis and Bill Braun. Also present were Community Development Director Kenneth Cook and Recording Officer Debra Gragg.

The Recording Officer announced a quorum was present.

**MINUTES**

Minutes of January 13, 2015 were considered.

Motion by M. O'Neill, seconded by Lucero, to approve the minutes as presented. Motion was approved, 7-0.

**GUESTS:**

No guests were introduced.

**COMMUNICATIONS FROM STAFF**

The Community Development Director informed the Commissioners of the upcoming training for Planning Commissioners from Mid-America Regional Council. He also spoke of the May 18 Workshop training for effective meetings. Commissioners were encouraged to look at the training offers and contact staff if there are any questions or assistance needed.

The Planning Commission roster was distributed for review.

**PUBLIC HEARING – PRELIMINARY SITE PLAN**

A public hearing in regards to Preliminary Site Plan Case No. PS-10-08-2014, requesting approval of a preliminary site plan on a tract of property located in the southwest corner of 191<sup>st</sup> and Waverly Road, within Section 3, Township 15 South, Range 22 East, containing 141.38 acres, more or less, was considered. Applicant: Patrick Robinson, ELHC. Engineer: Dan Cook, R-I-C.

Mr. Cook reviewed the past actions for this request and noted this location is adjacent to the Water District 7 water tower, currently under construction. It was noted the current plan shows three (3) warehouse buildings on three (3) lots in addition to the water tower lot (which has a final site plan approval), with all associated parking, stormwater detention facilities, and landscaping. He spoke about the flood plain area (approximately five acres) in the northern part of the site. Safety services are provided by Johnson County Sheriff and Johnson County Rural Fire District.



Mr. Cook discussed Waverly Road and noted the roadway project is currently under a design/build contract for construction which should commence late spring to early summer. He also noted the property will need temporary holding tanks until connection to the wastewater system is available.

Other items discussed were: needed pedestrian access from sidewalks adjacent to buildings and public roadways; access points – with no concerns noted from Fire Department. It was noted due to the security of the area (due to international shipping), fewer access points are better. He also spoke about potential access points on the future Waverly Road, which will be two lanes with turning lanes.

Mr. Cook talked about items on Sheet #4, indicating he would review for conformance with the final plan.

He spoke in regards to district regulations and focused on potential need to approve an alternative landscape plan due to the unique characteristics, which may include additional landscaping, fencing or berms along the right-of-way buffers or loading docks. He noted additional information should be submitted with final site plan. Mr. Cook spoke about the east side of the building on Lot 4 in regards to the dock doors, typically associated with rear or side elevation, which will face Waverly Road. He noted if the City approves the current application, it will need an exception to orient a side elevation toward the public street due to the lot configuration. He spoke about right-of-way buffers along 197<sup>th</sup> and Waverly Road to include variation of screening of clusters of trees to appear more natural, berms and other elements to appear less monotonous. He also noted a right-of-way buffer may be required on the west side of Lot 1, if it is determined that a right-of-way should be developed along the half-mile line. He noted since the area has a flood plain, the road will probably not extend.

The Community Development Director noted the architectural design standards will be reviewed with the final site plan.

Mr. Cook spoke about the exceptions to the UDC in regards to warehouse/distribution center and large building parking space exceptions and addressed various scenarios. He also noted spaces required for loading spaces and temporary outdoor storage regulations for cargo containers, operational trailers, and tractors.

Mr. Cook informed the Commissioners that Water District No. 7 made the following comments: 1 )Water Service is not currently available to any of the lots off of future 197<sup>th</sup> Street. Water service is available to Lot 3 from the 12-inch water main on Waverly Road; 2) The water main on 197<sup>th</sup> Street from Waverly Road to the tank site will be constructed with the tank project and is already planned; 3) The water main on 197<sup>th</sup> Street west of the tank site is not planned yet and the district may require the developer to pay for all or a portion of the water main to serve Lots 1 and 2; and 4) The preparation of Landscape plans needs to recognize the existing water main location on Waverly Road and the proposed water main location along 197<sup>th</sup> Street to avoid conflicts with landscaping and the water mains.

Mr. Cook recommended staff approval of the Preliminary Site Plan with stipulations.

Mr. Conus opened the public hearing.



Patrick Robinson, applicant, apologized to the Commissioners for their concern at the last meeting. He spoke to the members regarding the definition of landscaping/screening, suggesting UDC changes. He questioned a review of how this can be accomplished and overviewed different phases of projects.

Mr. Robinson indicated elevations for buildings may be increasing to 36', adding this is about the highest elevation which accommodates sprinkler systems. He spoke about the dock doors, screening, primary roads, primary approach to 191<sup>st</sup> Street, and controlled access. He stated tonight's action is to be pro-active and desires to remain a step ahead. Mr. Robinson informed the Commissioners ELHC acquired the Earl Allen property and indicated the annexation would be forthcoming soon. He also informed the Commission that LPKC is financially covering infrastructure costs not under grants or other financial arrangements. He also noted right-of-way would be donated where needed.

Mr. Conus asked about the concern with landscaping. Mr. Robinson noted the UDC is under consideration, but indicated streetscapes/screening uniformity between phases and determination of view should be addressed. He stated overall the installed landscaping has exceeded the requirements.

Mr. Withrow asked about the emphasis with uniformity. He asked as the projects progress, will they appear similar or chopped? Mr. Robinson stated all will be in consistency, with some different accent colors.

Ms. Lucero asked about addressing parking changes in the future should the current use change. Mr. Robinson indicated looking at projects with distribution centers fewer parking spaces are required. He noted some with changed use, such as e-commerce, more spaces would be required, but would use less dock space and trailer parking, which would open the area to more parking spaces.

Mr. O'Neill spoke about buffering along I-35. He asked if the buffering would be similar to the other roadways. Mr. Robinson stated there is some sufficient space, if that is a concern, but indicated elevations cause concerns. Mr. O'Neill indicated the area can have berms, but noted a bad year makes the landscape worse. He stated buildings along the interstate do not bother him and cited several areas along I-35 which have buildings, junk yards, etc. along the right-of-way.

Mr. Robinson asked for approval of the site plan with staff's stipulations.

Motion by Withrow, seconded by M. O'Neill, to close the public hearing. Motion was approved, 7-0.

Motion by B. O'Neill, seconded by Drinkard, to approve the preliminary site plan with the following stipulations: 1) The recommendations noted need to be incorporated into a Final Site Plan; 2) A Final Site Plan must be submitted and approved prior to commencement of uses and the property shall be developed in accordance with a Site Plan, Landscaping Plan, and Photometric Plan as required by City approval of the submitted preliminary site plan, as amended by these stipulations, and approved by the City; 3) All Preliminary Site Plan requirements of the City shall be met or addressed during Final Site Plan submittal as identified; 4) No signage is proposed with this application. Signage proposed later shall receive separate



approval according to the provisions of the UDC; and 5) All construction plans for any public infrastructures shall be prepared to City standards and approved by the City. Motion was approved, 7-0.

### **PUBLIC HEARING - REZONING**

A public hearing in regards to Rezoning Case No. RZ-09-24-2014A, requesting a change in zoning from Johnson County Rural Residential (RUR) to City of Edgerton Heavy Service Commercial District (C-2) on property located at 20081 Homestead Lane was considered. Owner/Applicant: Paul V. Middleton and Marie E. Middleton. Engineer: Edward A. Schlagel, Schlagel & Associates, P.A.

The Community Development Director informed the Commissioners the next two projects are interrelated and he would make the presentation for both. He indicated this particular rezoning request is in the southern part of the two parcels. He overviewed the location and surrounding area. He spoke about the Zoning Map and Comprehensive Plan (as a guideline) and noted commercial zoning is a good use/fit for this property.

Mr. Cook indicated this property is located just north of the I-35/Homestead Lane Interchange. He informed the Commissioners the property on the west side of Homestead Lane is currently zoned C-2 and the Future Land Use Map shows subject property as commercial (retail/office).

Mr. Cook noted the subject properties were annexed into the City of January 8, 2015. He stated the property has two agricultural structures and the property is currently used for agricultural purposes. He further stated the KDOT has retained access control along the entire western side of this property and extending along the adjoining property to the north up to 199<sup>th</sup> Street, with one access point being permitted at the shared boundary line, with right-in and right-out on Homestead Lane.

Mr. Cook overviewed types of businesses allowed under the C-2 Heavy Service Commercial District and those which could be allowed with the approval of a conditional use permit.

Mr. Cook highlighted the area's infrastructure and services in regards to location by reiterating the KDOT restriction of one driveway located on the northwest corner of the property, limited to right-in and right-out movements. He noted the property is within the Big Bull Creek watershed, but does not include any areas designated as Special Flood Hazard Areas. The property does not have direct access to sanitary sewer service, but noted a gravity line is located approximately 750' west of Homestead Lane. Mr. Cook stated the property resides within Rural Water District No. 7 service area and public safety is supplied by Johnson County Sheriff and Fire District No. Mr. Cook informed the Commissioners Rural Water District No. 7 made the following comments: 1) Water Service is not currently available to any of the lots off of future 197<sup>th</sup> Street. Water service is available to Lot 3 from the 12-inch water main on Waverly Road; 2) The water main on 197<sup>th</sup> Street from Waverly Road to the tank site will be constructed with the tank project and is already planned; 3) The water main on 197<sup>th</sup> Street west of the tank site is not planned yet and the district may require the developer to pay for all or a portion of the water main to serve Lots 1 and 2; and 4) The preparation of Landscape plans needs to recognize the existing water main location on Waverly Road and the proposed water main location along 197<sup>th</sup> Street to avoid conflicts with landscaping and the water mains. Mr. Cook indicated the construction and operation of the Water Tower should address future water issues.



Mr. Conus opened the public hearing.

Don Foster appeared in behalf of the applicants, and introduced Judy White, realtor for project. Mr. Foster spoke about the location, driving patterns and compatible uses with LPKC. He indicated this is a good location off the interstate, with frontage and visibility for commercial services.

Mr. Withrow questioned the driving patterns from I-35 both exiting and entering. Discussion about the driving movements ensued.

Mr. Cook reminded the Commissioners the purpose for tonight's action is for zoning. He indicated more actions/discussion of the area would be addressed with the preliminary/final site plan action.

Ms. Lucero stated concern with traffic problems at 199<sup>th</sup> and Homestead Lane.

Mr. Foster reiterated tonight's action is for the zoning. He added more finessing would occur at the preliminary/final site plan stage.

Mr. Cook stated from a staff perspective, this zoning request is acceptable. He noted access issues/concerns occur during the site planning stage.

Mr. Foster stated KDOT designed the interchange and location of entrance and turning moves for trucking actions.

The Community Development Director overviewed the "Golden Criteria" in regards to this request. No questions were voiced. Mr. Cook indicated staff recommends approval with stipulations.

Motion by M. O'Neill, seconded by Gifford, to close the hearing. Motion approved, 7-0.

No further comments were made.

Motion by B. O'Neill, seconded by M. O'Neill, to approve the rezoning subject the following stipulations: 1) All Site Plan application requirements of the City shall be met; 2) All infrastructure requirements of the City shall be met; and 3) Prior to issuance of building permits, the property shall be developed in accordance with a Site Plan reviewed and approved by the City. Vote on the motion – YEA: Conus, M. O'Neill, Drinkard, B. O'Neill, Withrow, and Gifford. NAY: Lucero. Motion was approved, 6-1.

### **PUBLIC HEARING – REZONING**

A public hearing in regards to Rezoning Case No. RZ-09-24-2014B, requesting a change in zoning from Johnson County Rural Residential (RUR) to City of Edgerton Heavy Service Commercial District (C-2) and City of Edgerton Logistics Park (L-P) District on property located at the northeast corner of Homestead Lane and 199<sup>th</sup> Street was considered. Owner/Applicant: Vivian L. Plank/Paul Middleton and Naomi Middleton Co-Grantor Trust. Engineer: Edward A. Schlagel, Schlagel & Associates, P.A.



The Community Development Director stated the property for this request is on the northern side and stated the primary difference is adding the L-P zoning in a section. He also noted the "Golden Criteria" is basically the same as for the previous action.

Mr. Cook noted staff recommends approval with stipulations.

Mr. Conus opened the public hearing.

No comments were voiced.

Motion by M. O'Neill, seconded by B. O'Neill, to close the hearing. Motion was approved, 7-0.

Motion by Drinkard, seconded by M. O'Neill, to approve the rezoning request with the following stipulations: 1) All Site Plan application requirements of the City shall be met; 2) All infrastructure requirements of the City shall be met; and 3) Prior to issuance of building permits, the property shall be developed in accordance with a Site Plan reviewed and approved by the City. Vote on the motion – YEA: Conus, M. O'Neill, Drinkard, B. O'Neill, Withrow, and Gifford. NAY: Lucero. Motion was approved, 6-1.

#### **PUBLIC HEARING – UNIFIED DEVELOPMENT CODE**

A public hearing in regards to receiving input from the public on the proposed adoption of a new Unified Development Code was considered. Applicant: City of Edgerton, Kenneth A. Cook, Community Development Director.

Mr. Cook informed the Commissioners that he was unable to complete as much toward this as he had hoped. He indicated that after more review, the districts should be reviewed to address conflicts from /verses other uses. He noted the L-P District, as written was more specific.

Mr. Cook noted staff would look at organizing uses (such as parking, lighting, landscaping, etc) to avoid conflict, duplication, and format consistency.

Mr. Withrow questioned if this matter could be placed first on the future agendas.

Mr. Cook addressed the process.

Mr. Conus opened the hearing.

No comments were made.

Motion by Conus, seconded by Drinkard, to table the public hearing to April 14, 2015 at 7:00 p.m. Motion was approved, 7-0.

#### **FUTURE MEETING**

The next scheduled meeting is April 14, 2015.

#### **ADJOURNMENT**

Motion by M. O'Neill, seconded by B.O'Neill, to adjourn. Motion was approved, 7-0.

The meeting adjourned at 9:33 p.m.



Edgerton Planning Commission

March 10, 2015

Page 7

Submitted by:

Debra S. Gragg  
Recording Officer





# EDGERTON

global routes. local roots.

404 East Nelson  
Edgerton, KS 66021  
P: 913.893.6231  
EDGERTONKS.ORG

Date: April 10, 2015  
To: Edgerton Planning Commission  
From: Kenneth Cook, AICP, CFM, Community Development Director

Re: Inland Port I (FlexSteel) Site Plan – Fence Request

Staff has received a request from FlexSteel for the installation of fencing on the site and which was not included on the original site plan. They are proposing for the installation of wrought iron fence to the West and East of the South end of their building. All fencing would be 8-foot tall. They are also requesting to use a vinyl coated chain link at all other locations, including adjacent to Kill Creek Road. The primary concern from staff is that the L-P District typically requires fencing visible from a public ROW to be either "masonry of a type and style complementary to the primary materials of the building, wrought iron, decorative metal, living plant material or a combination of these." The regulations go on to specify that "fencing containing barbed wire, razor wire, or an equivalent shall be prohibited where... visible from a public right-of-way."

These restrictions create a couple of issues. First, is the substantial cost for the installation of wrought iron fence (or of the other options specifically listed) that would be located along Kill Creek and which would primarily be seen by employees and truck drivers. Second is the issue in regards to federal regulations in order to be considered C-TPAT compliant, which it is anticipated that numerous business that will be located at LPKC will desire to achieve. C-TPAT compliant companies agree to implement "specific security measures and best practices" to protect the supply chain. It has been discussed that some facilities have been required to install barbed wire fencing and other measures in order to be compliant. This creates difficulty in that the L-P District specifically excludes the use of barbed wire or similar materials visible from a public ROW. It has been discussed that in certain cases, the use of the tight pattern chain link fence, which is difficult to climb, has been considered sufficient to not require the installation of barbed wire. It is staff's understanding that there are no official guidelines which specify what is required and a business must install their security measures, submit a request for an inspection, and then will find out if they pass or fail.

The applicant has submitted two examples of vinyl coated chain link and are requesting that the Planning Commission allow them to use a black vinyl coated chain link with a tight pattern in all location except adjacent to 191<sup>st</sup> Street. The vinyl coated chain link will be placed on the building side of the street trees and landscaping (approximately 70' from the road). It is staff's opinion that the fence will actually provide additional screening of the loading dock area due to its tight pattern. Staff will have examples of the proposed fencing material at the meeting for consideration by the Planning Commission.



Date: April 10, 2015  
To: Edgerton Planning Commission  
From: Kenneth Cook, AICP, CFM, Community Development Director

Re: Consider Approval of Temporary Construction Activities at TSL property located to Southwest of 191<sup>st</sup> Street and Waverly Road.

## **BACKGROUND INFORMATION**

Chapter I, Article 9, Section 6.E of the Unified Development Code of the City of Edgerton, Kansas states that the Planning Commission is authorized to review and approve the use of property during times of construction, reconstruction, or adaptation to permit temporary living quarters for construction personnel, offices, buildings for storage, outdoor storage, machinery yards, portable concrete or asphalt mixing plants, sanitary facilities, and similar uses.

On previous occasions, the Edgerton Planning Commission has approved the use of certain property for construction-related activities associated with the BNSF Intermodal Facility and LPKC developments subject to the approval of staff and the following conditions:

1. Temporary living quarters are not permitted on-site unless prior authorization has been provided by the Planning Commission;
2. All occupied buildings shall have access to potable water from an approved water source;
3. All signage shall be placed pursuant to applicable sign regulations in Chapter 1, Article 12 of the Unified Development Code of the City of Edgerton;
4. All buildings, outdoor storage, machinery yards, and similar uses shall be able to be fully secured when not in use;
5. All vertical structures shall require a building permit pursuant to the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton prior to being occupied;
6. Contractors shall obtain all required permits pursuant to the Code of Regulations for Buildings and Construction, 2010 Edition or other applicable chapter of City Code;
7. Off-site impacts from on-site construction-related activities shall be minimized to the extent possible;
8. On-site Stormwater Management Plan shall be approved by City prior to the disturbance of land;
9. Land disturbance activities shall be done pursuant to Article 12 of the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton;
10. Contractors agree to address any issues that affect off-site properties or public rights-of-way or easements in a reasonable time period;
11. All blasting shall be done according to Article 13 of the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton;
12. Hours of operation shall be limited to from 7:00 am to 7:00 pm unless otherwise approved by staff;
13. Holding tanks shall be used in lieu of sanitary sewer service, and shall be permitted and inspected pursuant to the Johnson County Environmental Sanitary Code;
14. Portable concrete and asphalt plants shall be approved by staff prior to use on-site, and staff shall have the ability to establish reasonable requirements for their operation;
15. Property owner and/or general contractors shall provide City and emergency response agencies a copy of a site-specific Safety Action Plan; and



16. Property owner and/or general contractors shall provide a Construction Management Plan to the City.
17. Maintain a valid City of Edgerton Business License
18. Permission for temporary construction activities is granted for a period of three (3) years from date of approval by Edgerton Planning Commission

#### **MATTERS TO BE CONSIDERED**

The property located at the Southwest corner of 191<sup>st</sup> Street and Waverly is owned by Transpec Leasing Incorporated (TSL). This property has received approval of a Final Plat and Final Site Plan for the operation of a Cargo Container Storage Facility. These documents have not yet been updated and resubmitted for review by staff or been signed and filed at Johnson County. The property is also operating under a special approval to operate without the required permanent dust free surface. TSL has agreed to lease their property to Quicksilver Readymix LLC for the installation of a temporary concrete plant to serve the construction needs of the site and the LPKC area. The operation being requested will be used to pave the site in compliance with the previously approved site plan and the extensions of time for the paving of the site that have also been approved. The City of Edgerton Planning Commission previously granted authority for the use of other property in the area for similar temporary construction activities.

Because this property is privately owned, staff required the property owner/concrete supplier to appear before the Edgerton Planning Commission to request permission to use the property for temporary construction activities as allowed in Chapter I, Article 9, Section 6.E of the Unified Development Code of the City of Edgerton, Kansas. A vicinity map is enclosed with the staff report for your reference and the applicant is supposed to update their site plan to include the proposed temporary use.

Because this request is on property outside the Intermodal Facility and the intensity of the proposed use, staff would recommend, if approved by the Planning Commission, that two additional conditions be added. First, that Quicksilver Readymix LLC be required to maintain a valid City of Edgerton business license. It is possible that the concrete plant would supply concrete to other construction projects in the area supplemental to the concrete supplied to the property owner. Second, staff would recommend a time limit of three (3) years from time of approval be added as a condition of approval. This time limit would allow for the projected completion of the paving for the site as well as use of the facility for other possible projects in the area.

#### **STAFF RECOMMENDATION**

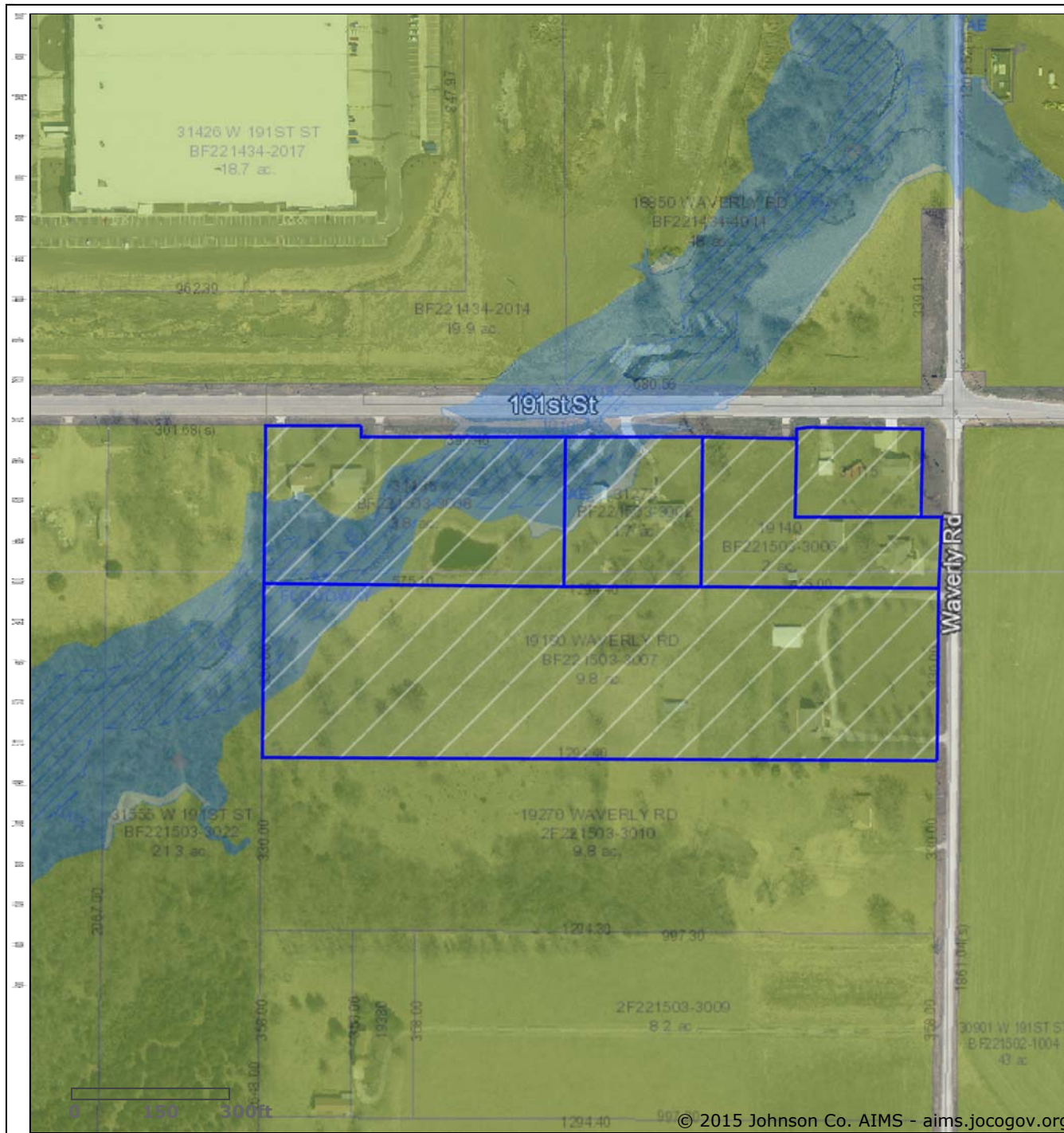
Staff recommends approval of the use of property located at the Southwest corner of 191<sup>st</sup> Street and Waverly Road for construction-related activities pursuant to Chapter I, Article 9, Section 6.E of the Unified Development Code of the City of Edgerton, Kansas, by Quicksilver Readymix, LLC. for construction-related activities associated with the TSL and other LPKC projects subject to the approval of staff and the following conditions:

1. Temporary living quarters are not permitted on-site unless prior authorization has been provided by the Planning Commission;
2. All occupied buildings shall have access to potable water from an approved water source;
3. All signage shall be placed pursuant to applicable sign regulations in Chapter 1, Article 12 of the Unified Development Code of the City of Edgerton;
4. All buildings, outdoor storage, machinery yards, and similar uses shall be able to be fully secured when not in use;



5. All vertical structures shall require a building permit pursuant to the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton prior to being occupied;
6. Contractors shall obtain all required permits pursuant to the Code of Regulations for Buildings and Construction, 2010 Edition or other applicable chapter of City Code;
7. Off-site impacts from on-site construction-related activities shall be minimized to the extent possible;
8. On-site Stormwater Management Plan shall be approved by City prior to the disturbance of land;
9. Land disturbance activities shall be done pursuant to Article 12 of the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton;
10. Contractors agree to address any issues that affect off-site properties or public rights-of-way or easements in a reasonable time period;
11. All blasting shall be done according to Article 13 of the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton;
12. Hours of operation shall be limited to from 7:00 am to 7:00 pm unless otherwise approved by staff;
13. Holding tanks shall be used in lieu of sanitary sewer service, and shall be permitted and inspected pursuant to the Johnson County Environmental Sanitary Code;
14. Portable concrete and asphalt plants shall be approved by staff prior to use on-site, and staff shall have the ability to establish reasonable requirements for their operation;
15. Property owner and/or general contractors shall provide City and emergency response agencies a copy of a site-specific Safety Action Plan; and
16. Property owner and/or general contractors shall provide a Construction Management Plan to the City.
17. Maintain a valid City of Edgerton Business License
18. Permission for temporary construction activities is granted for a period of three (3) years from date of approval by Edgerton Planning Commission





## Johnson Co AIMS Map

### LEGEND

AIMS Imagery: Current Imagery (2014)

Floodway - NFHL

Special Flood Hazard Areas (SFHAs) - NFHL

Zone A Zones AE

Zone AO

Other Flood Areas - NFHL

Zone X Zone X - Future

Area Not Included

Flood Panel - NFHL

Address Point

Building/Structure

Property

Untaxed

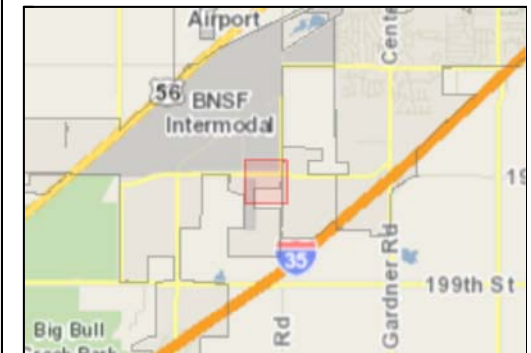
Common Interest

Vertical

Platted

Unplatted

Right-of-way



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**AIMS**

4/10/2015



## STAFF REPORT

March 25, 2015

To: Edgerton Planning Commission  
Fr: Kenneth Cook, AICP, CFM, Community Development Director/Zoning Administrator  
Re: Application ZA2015-01 for rezoning of approximately 63 acres located East of Waverly Road, North of Interstate 35 from RUR, County Rural Zoning District, to L-P, Logistics Park District

### APPLICATION INFORMATION

**Applicant/Property Owner:** Patrick Robinson, Edgerton Land Holding Company

**Requested Action:** Rezoning from RUR, County Rural Zoning District, to L-P, Logistics Park Zoning District

**Legal Description:** Part of Section 2, Township 15, Range 22

**Site Address/Location:** 19645 Waverly Road. East of Waverly Road & North of I-35

**Existing Land Use:** Residential/Agriculture

**Existing Zoning and Uses:** County RUR, Rural District zoning

**Existing Improvements:** Dwelling & Agricultural Structures

**Site Size:** Approximately 26.6 acres

**Reason for Rezoning Request:** The subject property is proposed to be an addition to Phase Two of Logistics Park Kansas City, a warehouse development. The request to rezone the original portion of this property which is located to the North was heard by the Planning Commission at their August 12, 2014 meeting and was approved by the City Council on August 28, 2014. The addition of this tract would increase the size of Phase II to approximately 206 acres. The requested zoning is L-P, Logistics Park. The L-P District is described as:

*The purpose of the Logistics Park, L-P District is to create a limited multimodal industrial zone that provides for a modern type of industrial uses or industrial park created to support activities related to trade and rail and other transport service. Limitations are placed on the uses in this district to significantly restrict the outside activities and outside storage of materials, noise, vibration, smoke, pollution, fire and explosive hazard, glare and other potentially adverse influences.*

*This zone is intended for industrial parks and larger, cleaner types of industries. The manufacturing uses should be conducted within a totally enclosed building. Any activities conducted outside should be screened and buffered, and external effects such as excessive noise or odor should not extend beyond the property lines. Residential uses should be*



*discouraged from locating near the L-P District to protect the industries from residential complaints.*

*Areas should not be zoned to the L-P District unless they are located adjacent or near to arterial thoroughfares capable of carrying commercial and truck traffic, as well as being located close to major truck routes. It is the general intent of this District to provide for a mutually beneficial, economically viable, well-planned development poised for long-term success including:*

- 1. To provide for the distribution of and appropriate relationships between various land uses and to minimize conflict between land uses;*
- 2. To describe desired future physical conditions within the L-P District;*
- 3. To manage growth in an orderly manner; and*
- 4. To serve as a basis for future development recommendations within the L-P District and set the precedent for sound planning and sustainable development practices throughout the L-P District area of influence.*

The applicant has submitted additional applications which involve the subject property and some of the adjoining ground. These applications include: (1) Preliminary Plat (PP2015-01) which proposes to add the subject parcel to the property of Phase II; (2) Final Plat (FP2015-01) includes the parcel currently shown as Lot 3 of Phase II and Tract D; and, (3) Final Site Plan for Lot 3 of Phase II.

The requested rezoning to the L-P District can be considered as a small expansion of the existing L-P District which is located to the West and North of the subject property and which would be part of the 1,500 acre master planned logistics park and intermodal facility. The Future Land Use Map for the City of Edgerton shows the use of the properties on the East side of Waverly Road and North of I-35 as Business Park/Industrial. The Preferred Land Use Plan of the Southwest Area Plan, while not adopted by the City, shows the subject property being as Warehousing and Distribution with some areas to the Northeast transitioning into Business Park uses.

### **Background Information**

The applicant for this project is BNSF's partner for developing warehousing. The property is located directly South and East of other properties which are currently zoned L-P District. The subject property is located about 1,900 feet to the south of 191<sup>st</sup> Street on the East side of Waverly Road. The property is entirely within the City of Edgerton (Annexed on March 12, 2015) but still retains the County's RUR District. The site has been used for agricultural purposes and currently includes a dwelling and other agricultural structures. Plans which have been submitted with the other requests associated with this property show one large structure being built on the area proposed to be rezoned. This structure would extend to the North to include property which is already zoned as part of the L-P District.

The uses listed for the L-P, Logistics Park District (Section 5.2) in the City of Edgerton's Unified Development Code are as follows:

#### **L-P District – Permitted Uses.**

1. Building and construction contractor offices, including display areas.
2. Business and trade schools.
3. Commercial pick-up and delivery services.
4. Display or catalog showrooms.
5. Laboratories and research facilities.
6. Manufacturing, processing, fabrication or assembly of commodity - limited.
7. Motion picture production studios and stations.
8. Photographic processing facilities.
9. Printing and publishing.
10. Radio and television broadcasting stations.



11. Research establishments of industrial, medical or scientific nature.
12. Restaurants, including drive-up or drive-thru services.
13. Warehousing/Distribution centers, including trucking and courier services; public warehousing and storage; and motor freight transportation terminals and maintenance facilities.
14. Mailing, packaging, parcel service and storage.
15. Printing, communications, mail orders.
16. Sales outlets and wholesale trade.
17. Retail sales in conjunction with a manufacturing or fabrication use.
18. Health and hospital supplies; office supplies.
19. Copy, printing and duplication services.
20. Internet service providers.
21. Sale, servicing, and repair of electrical and other electronic devices.
22. Government facilities.
23. Retail and wholesale of furniture and home furnishings, carpet, paint and wallpaper, and plumbing and lighting fixtures.
24. Sales and installation of cellular phones, stereos, radios and similar electronic equipment for vehicles.
25. Veterinary hospitals and clinics.
26. Accessory uses.
27. Agricultural.
28. Auto and truck motor fuel facilities and repair.
29. Auto and truck washing.
30. Recreational vehicle sales and service.
31. Towing and impound yard.
32. Trailer or truck sales and rental.
33. Building materials yard and lumber yard.
34. Mini-Warehouse and self storage.
35. Recycling collection center.
36. Similar uses.

**L-P Districted – Conditional Uses.**

1. Communication transmission towers over sixty (60) feet, subject to the provisions in Article 7.
2. Truck stops with fuel and accessory services;
3. Private or public owned playgrounds, playfields, and recreational facilities (e.g. public or private golf courses, tennis or other courts, and swimming pools) open for public or commercial use;
4. Auditoriums, convention centers, and conference facilities
5. Colleges and universities.
6. Transportation storage and trucking yards.
7. Cargo container storage, repair or maintenance.

**Infrastructure and Services:**

1. Waverly Road is gravel surfaced adjacent to this property and dead-ends to the south. Though Waverly Road is currently graveled, it is planned for future improvement to support intermodal and logistics park traffic. The City of Edgerton is currently in the process of working with a design/build firm for the construction of improvements of Waverly Road. As part of this Waverly Road project it is also planned for the construction of a road that will extend to the West of Waverly near the Southern portion of this property. This proposed road is proposed to extend East across the Southern portion of the subject property and then to turn North at the interstate to intersect with Montrose Street.
2. The property is located within the Big Bull Creek watershed, which flows south from 167th Street to the southern edge of the county at Homestead Lane. A stormwater plan should be submitted to the City Engineer prior to development of the property.
3. The property is located outside of the Special Flood Hazard Area
4. The property does not currently have sanitary sewer service.
5. The property is located within the service area of Rural Water District No. 7. A 12-inch water main is located along Waverly Road. A water tower, needed to provide adequate fire flow in the surrounding area, is being constructed to the West.

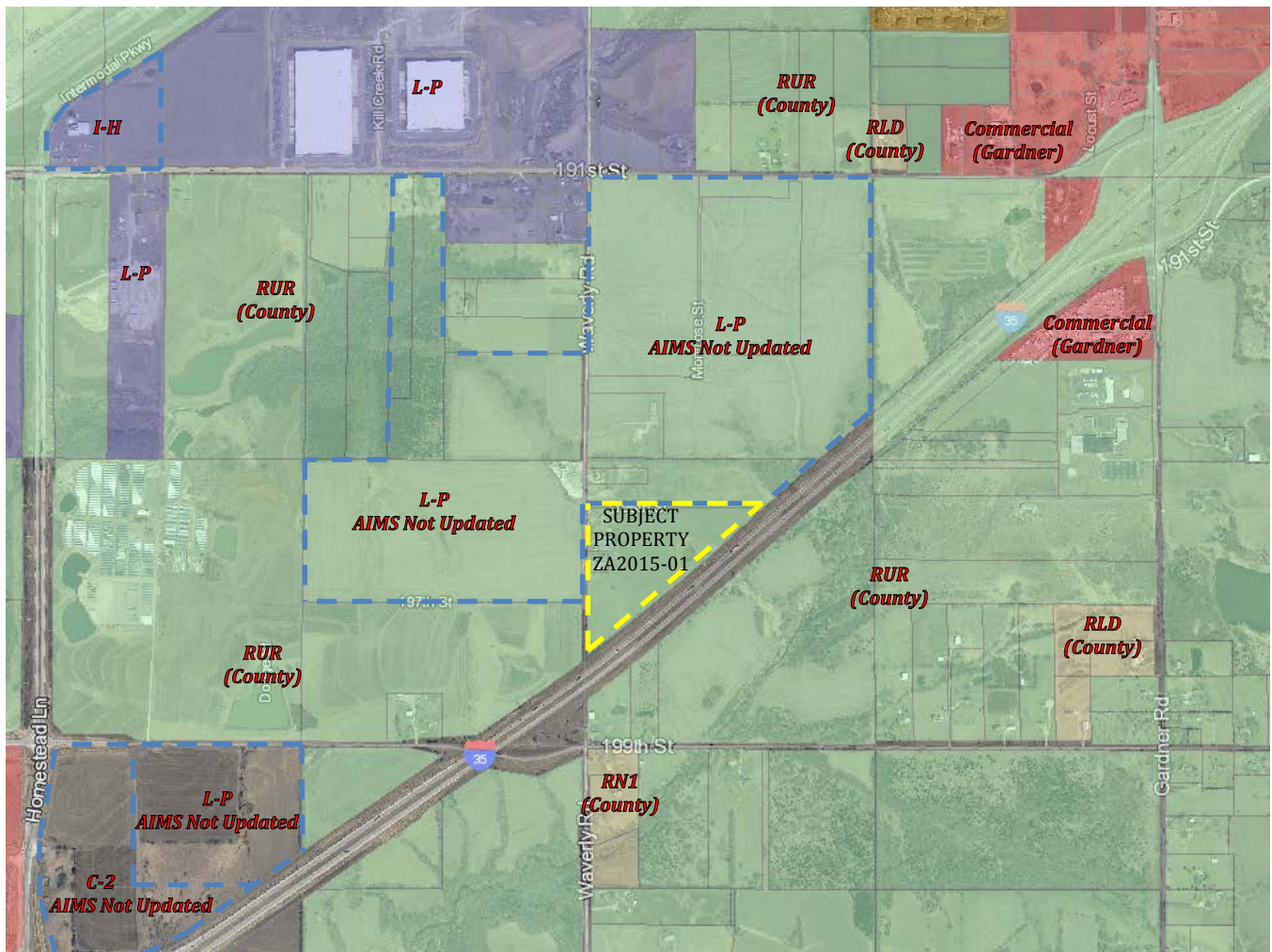


6. Police protection is provided by the Johnson County Sheriff's Department under contract with the City of Edgerton. Fire protection is provided by Johnson County Rural Fire District No. 1. A fire station is located in the City of Edgerton, approximately 1.5 miles to the west.

### Property Zoning History

The subject property was recently annexed into the City of Edgerton on March 12, 2015, in anticipation of industrial development. The property was previously located in unincorporated Johnson County, and zoned RUR, Rural District. The following map shows the Zoning of the surrounding area. Please note that the Zoning District boundaries have not yet been updated by Johnson County and staff has highlighted additional area in the L-P District that still shows as being in the RUR District. Some properties that are located within the City of Gardner are also located in the Northeast portion of the map.

### *Zoning on Subject and Adjacent Property*



### Staff Analysis

Staff has reviewed this rezoning application with respect to the Edgerton Unified Development Code, the laws in Kansas, and the "Golden Criteria" as established by the Supreme Court of Kansas in 1978. The following is staff's review.



1. Need for the Proposed Change. The subject property has County RUR, Rural Zoning, which allows only agricultural, residential, and residential accessory uses. The anticipated use of the property is industrial. The L-P Zoning District is compatible with these uses.
2. Magnitude of the Change. The existing County zoning is considered a holding designation due to the property's location near other planned L-P development. The property is currently being used for agricultural purposes. The magnitude of change is not considered extreme or rare when property is being developed for its planned end use.
3. Whether or not the change will bring harm to established property rights. It is not anticipated that any harm will occur to any established property rights as the is adjacent to other properties currently zoned L-P and also adjacent to Interstate 35. Separate Site Plan review and approval will be required before building permits can be issued. Part of a Site Plan review will include attention to buffering and setbacks, stormwater management and possibly transition of uses between adjoining uses and any proposed commercial use. This Site Plan review will help mitigate impact that might occur to adjacent properties.
4. Effective use of Land. Industrial development at this location is an effective and efficient use of the property, which is adjacent to other L-P zoned properties, the BNSF Intermodal Facility, LPKC and the I-35 interchange.
5. The extent to which there is a need in the community for the uses allowed in the proposed zoning. The L-P District will provide additional area for the development of warehouse or other types of uses allowed in this district that desire to be located in the vicinity of the BNSF Intermodal Facility.
6. The character of the neighborhood, including but not limited to: zoning, existing and approved land use, platting, density (residential), natural features, and open space. The immediate area is in transition from rural to industrial, with I-35 and county RUR District to the South and East and the L-P District to the North and West. While the area could still be considered primarily rural but with the construction of two warehouses (Inland Port XI & XII) occurring directly to the North and the new water tower to the West the character of the area is changing significantly.
7. Compatibility of the proposed zoning and uses permitted therein with the zoning and uses of nearby properties. The proposed zoning is compatible with the planned future uses of adjacent L-P zoned properties to the North and West. The Site Plan also submitted for this property includes a building that will extend onto the property located to the North of the area being rezoned by this request and will be similar to the warehouse buildings under construction to the North and as those that have been shown on the Preliminary Site Plan approved to the West. Prior to the issuance of any building permit the property will be required to go through the Site Plan review process. This process will allow the Planning Commission to take into consideration possible impacts to adjacent properties and ways that these can be mitigated.
8. Suitability of the uses to which the property has been restricted under its existing zoning. While the property is suitable to the uses allowed under its existing zoning, the



comprehensive plan shows that this property is anticipated for industrial uses. The continued use of the property for agricultural or residential uses, as currently restricted, could be negatively affected by uses which can be permitted on the adjacent industrial properties. With the construction the I-35 and Homestead Lane interchange, BNSF's intermodal facility and other logistics park uses in the area, the existing County zoning is no longer appropriate for this property. The best use of this property is for business park or industrial uses.

9. Length of time the subject property has remained vacant under the current zoning designation. The property has only been used for agricultural purposes and has never been developed for other uses.
10. The extent to which the zoning amendment may detrimentally affect nearby property. While it is anticipated that the development of this site for industrial purposes will cause additional traffic and noise, it is not anticipated that there will be any significant detrimental effects to nearby properties as this area will continue to transition to industrial uses. The Site Plan review process will allow the Planning Commission to look at any possible impacts and place requirements (such as buffering, setbacks and stormwater management) on how the site may be developed in order to mitigate any detrimental effects.
11. Consideration of rezoning applications requesting Planned Development Districts (PUD) for multifamily and non-residential uses should include architectural style, building materials, height, structural mass, siting, and lot coverage. This is not a request for a PUD.
12. The availability and adequacy of required utilities and services to serve the uses allowed in the proposed zoning. These utilities and services include, but are not limited to, sanitary and storm sewers, water, electrical and gas service, police and fire protection, schools, parks and recreation facilities and services, and other similar public facilities and services. The city is currently working with a design-build team for the improvement of Waverly Road and it is anticipated that construction will start in the coming months. Utilities will be provided by the developer in conjunction with development of the property. Among other improvements, this will require the extension of sewer to the site. The city is currently working on a plan to extend sewer service. The property will be required to connect to city sewer when the service becomes available.
13. The extent to which the uses allowed in the proposed zoning would adversely affect the capacity or safety of that portion of the road network influenced by the uses, or present parking problems in the vicinity of the property. The City is currently working on the Waverly Road project to improve the road to a standard that can accommodate industrial traffic anticipated. The City is currently working on a Waverly Road upgrade project in which Waverly Road, currently a gravel road, will be upgraded to a concrete heavy-haul road and will also include a road that will extend to the West. It is anticipated that Montrose Road will be extended down the East side of this property to just North of I-35 before turning West and connecting with the future road running to the West. The developer will be required to comply with the City's UDC off-street parking requirements as part of the Site Plan review process.
14. The environmental impacts that the uses allowed in the proposed zoning would create (if any) including, but not limited to, excessive storm water runoff, water pollution, air pollution,



noise pollution, excessive nighttime lighting or other environmental harm. The City will follow NPDES (stormwater management requirements) guidelines that require the developer to address runoff and water pollution mitigation measures as part of the development of the property. Mitigation of pollution in the form of water, air, noise, light, etc, will be addressed as part of the Site Plan review process.

15. The economic impact on the community from the uses allowed in the proposed zoning. Uses allowed in L-P district, if built, have the potential to benefit City residents and the community in a positive way by providing needed services, jobs, and tax revenues. The Waverly Road project also allows the City to leverage KDOT funds to extend roads which can serve this site and helps to reduce the costs to the City or the developer that could be anticipated as part of the development of the site.
16. The relative gain (if any) to the public health, safety, and welfare from a denial of the rezoning application as compared to the hardship imposed upon the rezoning applicant from such denial. There would be little gain to the public health, safety and welfare of the City of Edgerton if the zoning is denied. The City would be adversely impacted due to lost opportunity for jobs and tax revenue.
17. Consistency with the Comprehensive Plan, Capital Improvement Plan, ordinances, policies, and applicable City Code of the City of Edgerton. The Future Land Use Map (Attached) from the Comprehensive Plan for the City of Edgerton shows the subject property primarily as Business Park/Industrial. The plan does show areas which are located directly Northeast of the site as being anticipated as 'Mixed Use Retail and Medium Density Residential' and a very small area as 'Mixed Use Office and Medium Density.' The Preferred Land Use Plan in the Southwest Johnson County Area Plan also shows this area as being Warehousing and Distribution with some areas to the Northeast of the site also being anticipated for Business Park Uses. The request appears to be consistent with the Comprehensive Plan.
18. The recommendation of professional staff. See Recommendation below

### **Recommendation**

City staff recommends **approval** of the proposed rezoning of the subject property from County RUR, Rural District to L-P, Logistics Park District based upon the attached Zoning Exhibit, with the following stipulations:

1. All Site Plan application requirements of the City shall be met.
2. All infrastructure requirements of the City shall be met.
3. Prior to issuance of building permits, the property shall be developed in accordance with a Site Plan reviewed and approved by the City.

### **Attachments**

City of Edgerton Future Land Use Map  
Southwest Area Plan – The Preferred Land Use Plan  
Application for Rezoning No. ZA2015-01



LOCATION OR ADDRESS OF SUBJECT PROPERTY: 19645 WAVERLY ROADPURPOSE FOR REZONING: INDUSTRIAL DEVELOPMENTREQUESTED REZONING CHANGE: FROM RUR TO L-P  
(Current Zoning) (Proposed Zoning)LEGAL DESCRIPTION: ATTACHEDCURRENT LAND USE: RESIDENTIAL / AGRICULTUREPROPERTY OWNER'S NAME(S): PATRICK ROBINSON PHONE: 816.888.7380COMPANY: EDGERTON LAND HOLDING COMPANY FAX: 816.888.7399MAILING ADDRESS: 5015 NW CANAL ST. RIVERSIDE MO 64150  
Street City State ZipAPPLICANT/AGENTS NAME(S): SAME PHONE: \_\_\_\_\_

COMPANY: \_\_\_\_\_ FAX: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_  
Street City State ZipENGINEER/ARCHITECT'S NAME(S): DAN COOK PHONE: 913.317.9500COMPANY: R-I-C FAX: 816.800.0951MAILING ADDRESS: 5015 NW CANAL ST. RIVERSIDE MO 64150  
Street City State ZipSIGNATURE OF OWNER OR AGENT: 

If not signed by owner, authorization of agent must accompany this application.

**FOR OFFICE USE ONLY**Case No.: RZ-2015-01 Amount of Fee Paid: \$ 250<sup>00</sup> Date Fee Paid: 3-17-15Received By:  Date of Hearing: 4/14/15**REZONING INSTRUCTIONS****CERTIFIED LETTERS:** The applicant will be responsible for mailing notices (see attached Property Owner Notification Letter) of the public hearing for the requested rezoning by certified mail, return receipt requested, to all owners of land within the notification area: two hundred (200) feet within the city limit, one thousand (1,000) feet in the unincorporated area of the subject property. These notices must be sent a minimum of twenty (20) days prior to the public hearing. Information regarding ownership

vs. 9-9-11



All that part of the Southwest Quarter of Section 2, Township 15, Range 22, Johnson County, Kansas more particularly described as follows:

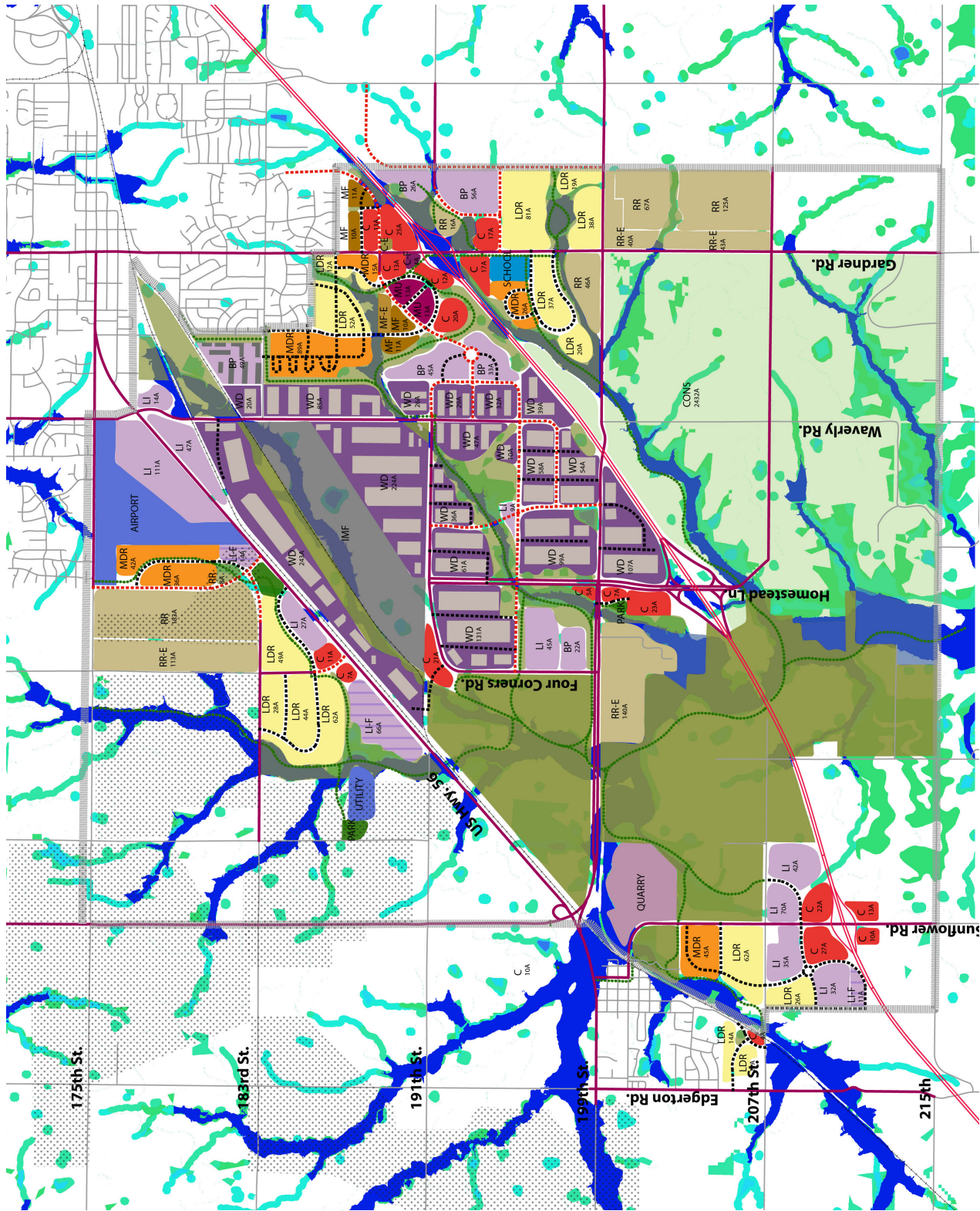
Commencing at the Northwest corner of the Southwest Quarter of said Section 2; thence South  $02^{\circ}00'19''$  East, along the West line of the Southwest Quarter of said Section 2, a distance of 455.20 feet, to the Point of Beginning; thence continuing South  $02^{\circ}00'19''$  East, along the West line of the Southwest Quarter of said Section 2, a distance of 1386.15 feet, to a point on the Northerly right-of-way line of 1-35 Highway, said point being 791.69 feet North of the Southwest corner of the Southwest Quarter of said Section 2; thence Northeasterly along said northerly right-of-way line, along a curve to the left having a radius of 11,309.16 feet and a chord bearing of North  $49^{\circ}19'45''$  East, a chord length of 782.39, for a distance of 782.55 feet, to a point 1284.2 feet north and 610.9 feet east of the Southwest corner of the Southwest Quarter of said Section 2; thence continuing along said northerly right of way line, North  $47^{\circ}00'23''$  East, a distance of 1377.74 feet; thence South  $87^{\circ}46'29''$  West parallel to the North line of the Southwest Quarter of said Section 2, a distance of 1650.89 feet to the point of beginning.





## THE PREFERRED LAND USE PLAN

Figure 5.1: Preferred Land Use Concept



### Preferred Land Use Concept

- Rural Residential (RR)
- Conservation Development (CONS)
- Low Density Urban Residential (LDR)
- Medium Density Urban Residential (MDR)
- High Density Urban Residential (HDR)
- Commercial (C)
- Mixed Use (MU)
- Business Park or Limited Industry (BP and LI)
- Warehousing and Distribution (WD)
- Civic
- Parks and Open Space
- Areas with Concentrations of Oil Wells







## STAFF REPORT

March 31, 2015

To: Edgerton Planning Commission  
Fr: Kenneth Cook, AICP, CFM, Community Development Director  
Re: PP2015-01 Preliminary Plat for Logistics Park Kansas City – Southeast Phase II

### APPLICATION INFORMATION

|                                       |  |
|---------------------------------------|--|
| <b>Applicant/Property Owner:</b>      | Edgerton Land Holding Company  |
| <b>Requested Action:</b>              | Revised Preliminary Plat – Logistics Park Kansas City – Southeast Phase II to add additional property to South of existing approved preliminary plat |
| <b>Legal Description:</b>             | See Preliminary Plat attached  |
| <b>Site Address/Location:</b>         | East of Waverly Road and South of 191 <sup>st</sup> Street   |
| <b>Existing Zoning and Land Uses:</b> | City of Edgerton L-P Logistics Park and County RUR. Warehouse buildings currently under construction on lots 1 & 2 (Final Plats already approved)    |
| <b>Existing Improvements:</b>         | Warehouse buildings, dwelling and agricultural structures  |
| <b>Site Size:</b>                     | Approximately 206 Acres (includes the addition of approximately 26.6 acres to the existing preliminary Plat)   |

### PROJECT DESCRIPTION

The current request is to add an additional 26.6 acres into the area that was previously approved as Logistics Park Kansas City (LPKC) – Southeast Phase II. The original preliminary plat for this area was approved by the Planning Board on August 12, 2014. The Planning Commission has further approved the Final Plat for LPKC – Southeast, First Plat on December 9, 2014 and dedications were accepted by the City Council on January 8, 2015. This first Final Plat included the two lots on which Inland Ports XI & XII are currently being constructed. As part of the approval of this First Plat the Planning Commission allowed minor modifications from the preliminary plat for the first two lots to be reduced in size.

The current application allows for the Preliminary Plat to be updated matching the development which has occurred and also for additional property to be added to the South



side of the original area. While the original plat showed three properties with three large structures, the updated plat shows five lots and also includes an interior road (Montrose Drive) which will provide improved access through the site and will also align with the extension of 197<sup>th</sup> Street which is being developed as part of the Waverly Road project. This is additional development of the Logistics Park Kansas City by Edgerton Land Holding Company (ELHC), a subsidiary of NorthPoint Development. The property will serve the BNSF intermodal facility to the northwest of the subject site. The intermodal facility's purpose is to transfer loaded cargo containers from trains to trucks. LPKC is a 1500 acre master planned development. ELHC, the applicant for this project, is BNSF's partner for developing warehousing which is planned to eventually surround the intermodal facility.

The subject property is located to the Southeast of the intersection of Waverly Road and 191<sup>st</sup> Street. The majority of the property is zoned L-P, Logistics Park with a request currently being considered to rezone the Southern portion from County RUR to the L-P District. The City's Unified Development Code (UDC) defines this district as a limited multimodal industrial zone created to support activities related to truck, rail and other transport services.

### **INFRASTRUCTURE AND SERVICES**

Infrastructure was reviewed previously per the rezoning and preliminary plat. Some conditions continue to exist as noted below.

- a. Waverly Road is gravel surfaced adjacent to this property and dead-ends on the property adjacent to the south. While additional ROW has been dedicated for portions of 191<sup>st</sup> Street portions of the ROW remain at 80 feet wide. Both streets are planned for future improvement to pavement that will support intermodal and logistic park traffic. While Waverly Road is currently graveled, it is planned for future improvement to support intermodal and logistics park traffic. The City of Edgerton is currently in the process of working with a design/build firm for the construction of improvements of Waverly Road. 191<sup>st</sup> Street will need to be upgraded in the future as development occurs in the area.
- b. The property is located within the Big Bull Creek watershed, which flows south from 167<sup>th</sup> Street to the southern edge of the county at Homestead Lane.
- c. A very small portion of the southeast corner of the property is located within Zone X, 1% Future Conditions flood plain.
- d. The property does not currently have sanitary sewer service.
- e. The property is located within the service area of Rural Water District No. 7. A 12-inch water main is located along the Waverly Road property frontage. Though no water main currently exists on 191<sup>st</sup> Street east of Waverly Road, about 1,000 feet of main will be constructed to serve the JB Hunt Container Storage project on the north side of 191<sup>st</sup>. The property owner will need to extend the main further to the east, to serve the eastern portion of this development.
- f. Police protection is provided by the Johnson County Sheriff's Department under contract with the City of Edgerton. Fire protection is provided by Johnson County Rural Fire District No. 1. A fire station is located in the City of Edgerton, approximately 1.5 miles to the west.

### **PRELIMINARY PLAT REVIEW**



Staff has reviewed the Preliminary Plat submittal for compliance with the requirements in Section 13.3 of Article 13 of the Edgerton UDC. Review comments are listed below.

#### Content of Preliminary Plat

1. A North point and scale which is appropriate to the size of the development: one inch equals 50, 100, 150 or 200 feet is typical. ***Preliminary Plat complies.***
2. A legal description; and current zoning. ***The Site Data Table states that the existing zoning is RUR. This should state that the portion of the property located in the Northwest Quarter is zoned L-P and the portion in the Southwest Quarter is zoned RUR. This may not need to be updated if the Zoning Amendment that is being requested is approved.***
3. Names of: Applicant, Subdivision & Streets. ***The location description that follows the title should be similar to "Part of the West Half of Section 2, Township 15 South, Range 22 East. Needs to be corrected.***
4. Name and seal of surveyor/engineer. ***Surveyor's name has not been shown. Preliminary plat has not been sealed.***
5. Date surveyed. ***Preliminary Plat complies.***
6. Adequate legend; vicinity map. ***A number of icons are not included in the legend. There items can primarily be found near Waverly Road. Some of these icons would appear to be power poles. Add all icons into legend.***
7. Signature block and date for review of Zoning Administrator. ***Adjust the wording to specify name of official followed by the title – Kenneth A. Cook, Zoning Administrator.***
8. Signature block and date for review of City Engineer. ***Adjust the wording to specify name of official followed by the title – David Hamby, City Engineer.***
9. Signature block and date for review of Chair of Planning Commission. ***Adjust the wording to specify name of official followed by the title – Chuck Davis, Chair of Planning Commission.***
10. Signature block and date for review of Mayor. ***Adjust the wording to specify name of official followed by the title – Donald Roberts, Mayor.***
11. Complete outline drawing of all boundaries, lots, and streets, together with courses, distances and areas. Boundaries must be shown as solid lines and all easements as dashed lines. ***No dimension or names are shown for the 191<sup>st</sup> Street (Section line to North Side of Tracts A & B) or for Montrose Street. Where Montrose Street turns West the street should be renamed to 197<sup>th</sup> Street. The City will contact Johnson County Emergency Management to verify if there is a preferred location where the change in road name will occur and how this should be shown on signs when developed. No dimensions are provided for the Eastern lot lines of the lots currently labeled as #s 4 & 5. Staff will also verify with the City Engineer the wording and requirements needed for the drainage areas as the City prefers for these areas to be shown in easements on actually lots rather than separate tracts. Update Preliminary Plat.***
12. Rights-of-way and/or easements proposed to be created for all drainage purposes, utilities, walkways, access, and other purposes. ***Dashed easement lines are shown on both sides of Montrose South of Lot 2 but are not labeled. It is assumed that this is a 15' utility easement that should be labeled and also extending to 191<sup>st</sup> Street. 15' utility easements also need to be shown along the Eastern ROW line of Waverly Road and Southern ROW line of 191<sup>st</sup> Street. Will the utility easement on the existing Lot 3 be released/vacated? A Special Flood Hazard Area (Zone X - 1% future conditions) is***



*located on the Eastern portion of Lot 5 and should be shown. The SFHA should be placed in an easement or Floodway and Base Flood Elevations should be developed.*  
***Update Preliminary Plat.***

13. Proposed location of streets, sidewalks, sanitary sewers, storm water sewers, water mains, and fire hydrants. Plat must show that the water distribution system and the sanitary sewer collection system touch upon each lot, or in an easement appurtenant to each lot. *Plat does not show the location of proposed utilities for Lots 4 & 5 and no information is provided for where sewer lines might be located when services are extended to this area. Is there a need to provide a utility easement between lots 1 and 4 and also between lots 2 & 4 and lot 5?*

*An excessive number of entrances are shown on the drawing. Lot 4 currently shows 3 entrances on each the East and West sides. The number of entrances needs to be reduced. The entrances located midway through the buildings should be removed and the entrance in the Southwest corner of the lot should be realigned to be accessed off of the proposed 197<sup>th</sup> Street. The entrances at the South end of Lot 1 and North end of Lot 3 should possibly be combined. Two entrances are shown in the Southwest corner of Lot 2 while only one access point was approved as part of the Final Site Plan. As was stated in the staff report for the Final Site Plan for Inland Port XII (Lot 2) "the location of a separate access point on the proposed site (Lot 2) may affect the ability to locate additional access points in this area." Staff recommends that these access points be combined or that the Northern access points on lots 3 and 5 be removed. The access points on the East side of Montrose Street should either be aligned with the entrances on the West side or greater separation should be provided. The entrances located in the Northeast corner of Lot 2 and the Northwest corner of Lot 4 should be combined in order to reduce the number of access points off of 191<sup>st</sup> Street. ***Plat does not show all proposed sanitary sewer, water mains, fire hydrants or sidewalks. Property Owner shall sign an agreement to not to protest formation of benefit district for 191st Street infrastructure improvements.****

14. Total acreage, and size of each lot. ***Preliminary Plat complies.***
15. Contours at vertical intervals of 4 feet or less. ***Preliminary Plat complies.***
16. Setbacks, yards and any entrance restrictions. Setbacks shall be shown as a building envelope representing that portion of the lot within the yards and setbacks that can reasonably contain, depending upon watercourses, topography or geology, the principal structure and the lateral field (if a lateral field is used). ***Setbacks have not been shown/labeled.***
17. A copy of the proposed restrictive covenants. ***If needed, this item will be addressed at final plat stage.***

#### General Design Standards

1. Rights-of-way must conform to the current standards of the American Public Works Association, and greater widths may be required by the Zoning Administrator after preliminary review; utility easements must be a minimum of fifteen (15) feet wide or, 7.5 feet for appurtenant utility easements on interior lots. Street lighting and fire hydrants must be indicated in areas planned for residential use. Cul-de-sacs are limited to 800 feet in length. ***Confirm and show dedicated right-of-way for south side of 191<sup>st</sup> Street and Waverly Road.***



2. All portions of the tract being subdivided shall be taken up in lots (or phases), streets, planned open areas or other uses so that remnants and landlocked areas are not created. *Staff suggests that the numbering of the Lots and Tracts needs to be updated in order to maintain a standard order. The lots numbered as 3 & 4 should be switched so that the numbering does not skip around. Staff also suggests that the number of Tracts D & E be switched or for these tracts to be combined into one Tract D. **Update Preliminary Plat.***
3. All lots must front on a public right-of-way. When a subdivision is located along arterial roads adequate buffers must be maintained between the right-of-way and the building line. *Tract E appears to be a landlocked area. Staff suggests that Tracts C, D & E be combined and platted as a single tract. This can occur on the existing Final Plat request by adding the areas currently shown as Tracts C & E. **Update Preliminary Plat.***
4. Corner lots shall have minimum side-yard setbacks of twenty (20) feet to the street right-of-way and nine (9) feet to the property line of the adjacent interior lot unless approved by the Zoning Administrator. **Preliminary Plat complies.**
5. Side lot lines shall be substantially at right angles to street lines. **Preliminary Plat complies.**
6. Drainage and watercourse easements are required. Building setbacks from watercourses should be measured from the thread of the stream. Flowage easements may be used to calculate required minimum lot sizes. *Drainage areas are currently being shown as located in areas on the plat designated as Tracts. A small area of Special Flood Hazard Area (Zone X – Future Conditions) is located on the East portion of Lot 5 and should be shown in an Easement or Base Flood Elevations should be developed. **Drainage/storm sewer and detention area easements have not been shown.***
7. The lot depth to front lot width ratio shall be no more than 3 to 1. **Preliminary Plat complies.**
8. If the development is to be served with public water or sewer, the plat must bear a notation that the subdivision is to be served by these facilities. The Zoning Administrator may not issue a building permit for a lot notated "SERVICED BY PUBLIC WATER/SEWER" without written verification from the public water or sewer district that all distribution or collection lines have been installed and that all lots are either connected or are capable of being connected to central utilities. *It is anticipated that this property will be developed and served by utilities similar to other properties that have been developed in the L-P District. This includes that these properties will be initially use holding tanks until sewer mains are able to be extended to the properties. **There is no such notation or declaration on the preliminary plat.***

#### **Other Comments**

- Update ownership on surrounding properties. Properties currently listed as Seyller – Gardner, LLC are now owned by Hastings Family Holdings LLC.
- Confirm if flood plain development permits would be required for detention basins southeast corner.
- A storm water study has not been provided for the entire area being platted. Individual Micro Storm Water Drainage Studies have been provided for Lots 1, 2 & 3.
- A traffic study should be provided for the site. Analysis should analyze whether turn lanes would be needed.



**RECOMMENDATION**

City staff recommends approval of the Revised Preliminary Plat for Logistics Park Kansas City, Southeast Phase II, subject to compliance with the following stipulations:

1. All Preliminary Plat requirements of the City listed above shall be met or addressed.
2. Preliminary plat be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission upon submittal and approval of a written request may grant a one-year extension on the approval of the preliminary plat.
3. All infrastructure requirements of the City shall be met.

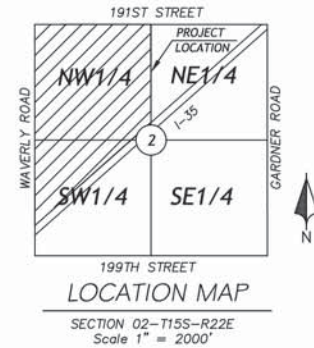
**ATTACHMENTS**

Application PP2015-01

Revised Preliminary Plat for Logistics Park Kansas City, Southeast Phase II



REVISED PRELIMINARY PLAT  
**LOGISTICS PARK KANSAS CITY - SOUTHEAST PHASE II**  
 A SUBDIVISION OF LAND IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS



LEGAL DESCRIPTION:

That part of the Northwest Quarter of Section 2, Township 15 South, Range 22 East, in Johnson County, Kansas, described as follows:

Beginning at the Northwest corner of said Northwest Quarter; thence North 88°38'48" East, coincident with the North line of said Northwest Quarter, 2,634.32 feet to the Northeast corner of thereof; thence South 02°16'24" East, coincident with the East line of said Northwest Quarter, 2,193.07 feet to a point on the Southwesterly right-of-way line of Interstate 35; thence South 47°05'38" West, coincident with said right-of-way line, 670.79 feet to a point on the South line of said Northwest Quarter; thence departing said right-of-way line, South 87°46'29" West, coincident with said South line, 1,450.67 feet; thence departing said South line, North 01°09'47" West, parallel with the West line of said Northwest Quarter, 600.00 feet; thence South 87°46'29" West, parallel with the South line of said Northwest Quarter, 726.00 feet to a point on the West line of said Northwest Quarter; thence North 01°09'47" West, coincident with the West line of said Northwest Quarter, 2,070.88 feet to the Point of Beginning, subject to that part in existing roads and easements of record.

Also that part of the Northwest Quarter of Section 2, Township 15 South, Range 22 East, in Johnson County, Kansas, described as follows:

Beginning at the Southwest corner of said Northwest Quarter; thence North 01°09'47" West, coincident with the West line of said Northwest Quarter, 600.00 feet; thence departing said West line, North 87°46'29" East, parallel with the South line of said Northwest Quarter, 726.00 feet; thence South 01°09'47" East, parallel with the West line of said Northwest Quarter, 600.00 feet to a point on the South line of said Northwest Quarter; thence South 87°46'29" West, coincident with said South line, 726.00 feet to the Point of Beginning, subject to that part in existing roads and easements of record.

Also that part of the Southwest Quarter of Section 2, Township 15 South, Range 22 East, in Johnson County, Kansas, more particularly described as follows:

Commencing at the Northwest corner of said Southwest Quarter; thence North 87°46'29" East, coincident with the North line thereof, 2,176.67 feet to a point on the Northwestern right-of-way line of Interstate 35; thence South 46°59'34" West, coincident with said right-of-way line, 696.98 feet; thence departing said right-of-way line, South 87°46'29" West, parallel with the North line of said Southwest Quarter, 1,650.67 feet to a point on the West line thereof; thence North 02°00'19" West, coincident with said West line, 455.26 feet to the Point of Beginning containing 871,206 square feet, or 20,000 acres, more or less, subject to that part in existing roads.

Also that part of the Southwest Quarter of Section 2, Township 15, Range 22, Johnson County , Kansas more particularly described as follows:

Commencing at the Northwest corner of the Southwest Quarter of said Section 2; thence South 02°00'19" East, along the West line of the Southwest Quarter of said Section 2, a distance of 455.20 feet, to the Point of Beginning; thence continuing South 02°00'19" East, along the West line of the Southwest Quarter of said Section 2, a distance of 1386.15 feet, to a point on the Northerly right-of-way line of I-35 Highway, said point being 791.69 feet North of the Southwest corner of the Southwest Quarter of said Section 2; thence Northeasterly along said northerly right-of-way line, along a curve to the left, having a radius of 11,309.16 feet and a chord bearing of North 49°19'45" East, a chord length of 782.39, for a distance of 782.55 feet, to a point 1284.2 feet north and 610.9 feet east of the Southwest corner of the Southwest Quarter of said Section 2; thence continuing along said northerly right of way line, North 47°00'23" East, a distance of 1377.74 feet; thence South 87°46'29" West parallel to the North line of the Southwest Quarter of said Section 2, a distance of 1650.89 feet to the point of beginning. Except that part in road right-of-way.

### CERTIFICATION

Received and placed on record this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

by \_\_\_\_\_  
(Zoning Administrator)

Approved by the Edgerton City Planning Commission this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

by \_\_\_\_\_  
(Chair of Planning Commission)

Approved By: \_\_\_\_\_  
City Engineer

Date: \_\_\_\_\_

Approved By: \_\_\_\_\_  
Mayor

Date: \_\_\_\_\_

NOTES:

1. Flood Plain Note: According to the F.E.M.A. Flood Insurance Rate Map Numbers 20091C0119G, 20091C0120G, 20091C0134G and 20091C0135G, all revised August 3, 2009, this tract lies in "OTHER AREAS", Zone "X", areas determined to be outside the 0.2% annual chance floodplain, and "OTHER FLOOD AREAS", Zone "X" (Future Base Flood) areas of 1% annual chance flood based on future conditions hydrology. No Base Flood Elevations determined.

2. Date Surveyed: 11-03-13



SHEET  
OF 2

PRELIMINARY PLAT

13-0193

LOGISTICS PARK KANSAS  
CITY PHASE II

# PRELIMINARY PLAT AND REZONING PLAN

| NO. | BY | QD | DATE | REVISION |
|-----|----|----|------|----------|
|-----|----|----|------|----------|

| NO. | BY | QD | DATE |
|-----|----|----|------|
|-----|----|----|------|

RIVERSIDE, MISSOURI 64150  
WWW.RIC-CONSULT.COM

**Renaissance  
Infrastructure  
Consulting**

5150 CANAL STREET SUITE 105  
913.317.9500

PROPERTY OWNER:

Edgerton Land Holding Co., LLC  
5015 NW Canal Street  
Suite 200  
Riverside, Mo. 64150





**EDGERTON**  
global routes. local roots.

404 East Nelson  
Edgerton, KS 66021  
P: 913.893.6231  
EDGERTONKS.ORG

## STAFF REPORT

April 7, 2015

To: Edgerton Planning Commission  
Fr: Kenneth Cook, AICP, CFM, Community Development Director  
Re: FP2015-01 Final Plat for Logistics Park Kansas City – Southeast, Second Plat

### APPLICATION INFORMATION

**Applicant/Property Owner:** Edgerton Land Holding Company

**Requested Action:** Final Plat – Logistics Park Kansas City – Southeast, Second Plat

**Legal Description:** See Final Plat attached

**Site Address/Location:** Approximately 1900 feet south of 191st Street on the East side of Waverly Road

**Existing Zoning and Land Uses:** City of Edgerton L-P Logistics Park on vacant land

**Existing Improvements:** Dwelling and agricultural structures

**Site Size:** 56.013 Acres

### PROJECT DESCRIPTION

The current request is for the approval of a Final Plat for a portion (Lot 3) of the property located in the Revised Preliminary Plat of Logistics Park Kansas City (LPKC) – Southeast Phase II. The Northern portion of this property was included in the original Preliminary Plat of Logistics Park Kansas City – Southeast Phase II with the Revised Preliminary Plat adding an additional 26.6 acres to which now constitutes the majority of Lot 3 as well as Tract D.

The subject property is located approximately 1900 feet South of 191<sup>st</sup> Street and on the East side of Waverly Road. The property is zoned L-P, Logistics Park. The City's Unified Development Code (UDC) defines this district as a limited multimodal industrial zone created to support activities related to truck, rail and other transport services. This is additional development of the Logistics Park Kansas City by Edgerton Land Holding Company (ELHC), a subsidiary of NorthPoint Development. The property will serve the BNSF intermodal facility to the northwest of the subject site. The intermodal facility's purpose is to transfer loaded cargo containers from trains to trucks. LPKC is a 1500 acre master planned development. ELHC, the applicant for this project, is BNSF's partner for developing warehousing which is planned to eventually surround the intermodal facility.

### INFRASTRUCTURE AND SERVICES



Infrastructure was reviewed previously per the rezoning and preliminary plat. Some conditions continue to exist as noted below.

- a. Waverly Road is gravel surfaced adjacent to this property and dead-ends on the property adjacent to the south. The construction of Montrose has been commenced just to the South of 191<sup>st</sup> Street and is proposed to be a two lane road located within a 50 foot ROW. Montrose will turn to the West and become 196<sup>th</sup> Street at the South end of the site. An extension to this road (191<sup>st</sup>) is currently planned to be constructed as part of the Waverly Road project. 191<sup>st</sup> Street and Waverly Road are planned for future improvement to pavement that will support intermodal and logistic park traffic. While Waverly Road is currently graveled, it is planned for future improvement to support intermodal and logistics park traffic. The City of Edgerton is currently in the process of working with a design/build firm for the construction of improvements of Waverly Road. 191<sup>st</sup> Street will need to be upgraded in the future as development occurs in the area.
- b. The property is located within the Big Bull Creek watershed, which flows south from 167th Street to the southern edge of the county at Homestead Lane.
- c. A small portion of the southeast corner of the property is located within Zone X, 1% Future Conditions flood plain.
- d. The property does not currently have sanitary sewer service.
- e. The property is located within the service area of Rural Water District No. 7. A 12-inch water main is located along the Waverly Road property frontage. Though no water main currently exists on 191<sup>st</sup> Street east of Waverly Road, about 1,000 feet of main will be constructed to serve the JB Hunt Container Storage project on the north side of 191<sup>st</sup>. The property owner will need to extend the main further to the east, to serve the eastern portion of this development.
- f. Police protection is provided by the Johnson County Sheriff's Department under contract with the City of Edgerton. Fire protection is provided by Johnson County Rural Fire District No. 1. A fire station is located in the City of Edgerton, approximately 1.5 miles to the west.

## FINAL PLAT REVIEW

Staff has reviewed the Final Plat submittal for compliance with the Approved Preliminary Plat and requirements in Section 13.3 of Article 13 of the Edgerton UDC. Review comments are listed below.

1. Scale, the same used for the preliminary plat; North point; vicinity map. *A different scale is being used for the Final Plat as the Final Plat only includes a portion of the area shown in the Preliminary Plat. The change in scale allows for the Final Plat to show improved detail and staff considers the change acceptable. **Final Plat complies.***
2. The words "FINAL PLAT" followed by the name of the subdivision at the top of the sheet, and then followed by a metes and bounds description of the tract. **Final Plat complies.**
3. The instrument of survey which shows the point of beginning, corners, bearings, courses, distances, exterior boundaries, interior lot boundaries, abandoned lot lines, pins, monuments found or set. All P.I.'s corners, boundaries must be monumented with a 2" x 24" metal bar. **Update Final Plat**
  - *The plat currently shows all monuments being ½" x 24" Rebar while the regulations require 2" x 24" metal bar. Staff believes that the 2" measurement*



*is a typographical error and that it should be ½". Monuments are not shown where the edge of the proposed Waverly ROW intersects with the Interstate 35 ROW (SW corner of Tract D) or with the North line of the subdivision (NW corner Lot 3). A monument is shown on the Final Plat of Logistics Park Kansas City – Southeast, First Plat that should match up with the NW corner of Lot 3.*

- *Check the distance from the Northwest Corner of Lot 3 West to the Section line as this dimension was given as 40 feet on plat to the North and is shown here as 58.24'. If this is given as a dimension to one of the utility easements it should be shown by arrows.*
  - *Check dimensions between the West ¼ Corner and the SW Corner.  $564.83' + 1276.52' = 1841.35'$  while overall dimension of plan shows 1841.34'.  $1841.35' + 791.69' = 2633.04$  which matches dimension shown on LPKC – SE 1<sup>st</sup> Plat.*
  - *Also check dimensions along North Line of SW ¼ East of Lot 3.  $25' + 25' + 15' = 65'$  while overall dimension is shown as 65.01'.  $65' + 1612.30 = 1677.3$  which matches dimensions shown on LPKC – SE 1<sup>st</sup> Plat.*
4. A boundary survey of third order surveying accuracy (maximum closure error one in five thousand (1' in 5,000), with bearings and distances referenced to section or fractional section corners or other base line shown on the plat and readily reproducible on the ground. ***Final Plat complies.***
  5. Individual notations and a TABLE showing: lot area, setbacks, and building envelopes. ***Final Plat complies.***
  6. A number for each lot, starting (if practical) in the northwest corner. *Staff has suggested as part of the Preliminary Plat for Logistics Park Kansas City – Southeast phase II that this lot should be renumbered to Lot 4. Staff has also recommended that tracts C, D & E, as shown on the preliminary plat, be combined as one Tract. If the Planning Commission would determine that these tracts can be kept separate naming for Tracts D & E should be switched. Also, if these tracts remain separate, an access easement will need to be provided to the tract currently shown as Tract E (East of Tract C). Staff understands that the current Tract E may be placed into some type of conservation agreement which could require a change of ownership. This may require changes as to how the property is shown on the plat. ***Update Final Plat.****
  7. All easements with widths, and roads with curve data. ***Update Final Plat.***
    - *The public street being dedicated by this plat is shown as Montrose Street. The name of this ROW should change when the road starts turning to the West to 196<sup>th</sup> Street. It is anticipated that the sidewalks on both sides of Montrose Street and 196<sup>th</sup> Street will be constructed when these sites are developed.*
    - *The dedication of the pedestrian easement lists City Engineer and should possibly be changed to City Community Development Director.*
  8. Ingress/egress limitations if required. *Staff is continuing to have discussions with the City Engineer and the Developer. ***Final Plat complies.****
  9. The location of existing utility easements. *Has KCPL agreed to vacate the easement? If so, if the vacation can occur prior to the filing of the plat the reference to this easement could be removed or the reference could be changed to show that it has been vacated. ***Final Plat complies.****
  10. A written legal description from the survey. ***Update Final Plat.***
    - *The dimension in the legal description where the boundary of the plat crosses Montrose Street is stated as N87°46'28"E while it is shown on the drawing as N87°46'29"E. Also need to verify if this dimension should be 65.00' or 65.01'.*



- *Check the dimension between the Southwest Corner and the West ¼ corner.*
- 11. An instrument of dedication for all roads and easements. *The dedication of the pedestrian easement lists City Engineer and should possibly be changed to City Community Development Director. **Update Final Plat***
- 12. Special notations required as a condition of platting by the Planning Commission. ***Final Plat complies.***
- 13. Approved phases – clearly delineated. ***Final Plat complies.***
- 14. Private travel easements. *This item may be affected by the continued discussions with the City Engineer and the developer. **Needs to be reviewed.***
- 15. The Owner's Certificate with Notary Seal. *Should the information in the second Owners Certificate include a reference to ELHC XI, Tract C rather than ELHC XIV Lot 3? If this is correct, the notary certificate should be updated to refer to the same ownership. **Update Final Plat.***
- 16. Certificate of the Governing Body with City Clerk's attest and Seal. ***Final Plat Complies.***
- 17. Edgerton City Planning Commission chair and secretary approval. ***Final Plat Complies.***
- 18. Certificate of the Register of Deeds. ***Register of Deeds uses their own stamp. No certificate required. Final Plat Complies***
- 19. Surveyor's Certificate and Seal and certificate for survey review by the County Surveyor or designated Land Surveyor. ***County Surveyor uses their own stamp. No certificate required. Final Plat Complies***
- 20. Certificate of the Zoning Administrator. ***Final Plat Complies.***

## **RECOMMENDATION**

City staff recommends approval of the Final Plat for Logistics Park Kansas City, Southeast, Second Plat, subject to compliance with the following stipulations:

1. All Final Plat requirements of the City listed above shall be met or addressed prior to recording of the Plat.
2. The commencement of any improvements shall not occur prior to the approval and endorsement of the final plat and the submittal to and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the final plat by the Governing Body. Sanitary sewer drawings and specifications must be submitted to and approved by the City of Edgerton and Kansas Department of Health and Environment prior to the commencement of any improvements.
3. A Public Improvement Inspection Fee, established by the Fee Schedule for the Unified Development Code, shall be submitted with the document of financial assurance as defined in Section 13.7 prior to the commencement of any improvements.
4. The applicant shall meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton Unified Development Code, including payment of excise tax.
5. The applicant shall meet all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton Unified Development Code.

## **ATTACHMENTS**

Application FP2015-01

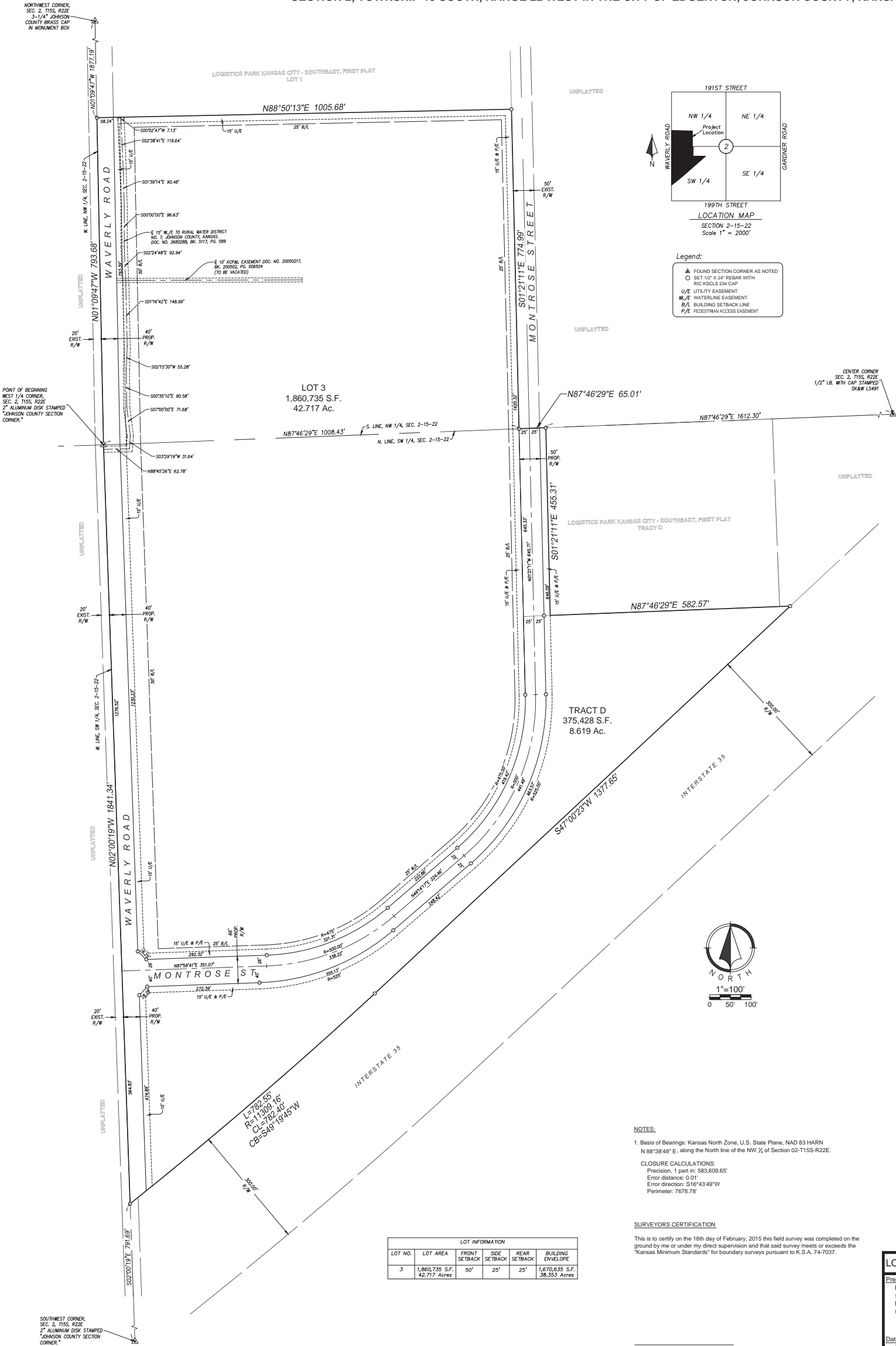
Final Plat for Logistics Park Kansas City, Southeast, Second Plat



# FINAL PLAT

## LOGISTICS PARK KANSAS CITY - SOUTHEAST, SECOND PLAT

A REPLAT OF PART OF TRACT C, LOGISTICS PARK KANSAS CITY - SOUTHEAST, FIRST PLAT, AND A PART OF THE NW  $\frac{1}{4}$  NW  $\frac{1}{4}$  AND SW  $\frac{1}{4}$ , SECTION 2, TOWNSHIP 15 SOUTH, RANGE 22 WEST IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS



### DESCRIPTION

That part of the Southwest Quarter of the Northwest Quarter and the Southwest Quarter of Section 2, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas, more particularly described as follows:

Beginning at the northwest corner of said Southwest Quarter; thence coincident with the west line of said Northwest Quarter, North 01°09'47" West, 793.68 feet to the southerly line of the KANSAS CITY LOGISTICS PARK - SOUTHEAST, FIRST PLAT; thence departing said west line coincident with said southerly line, North 88°50'13" East, 1,005.68 feet to the westerly line of said plat and the west right-of-way line of Montrose Street, as now established; thence coincident with said westerly plat line and said west right-of-way line, South 01°21'11" East, 774.99 feet to the north line of said Southwest Quarter; thence departing said westerly plat line and said west right-of-way line coincident with said north line, North 87°46'29" East, 65.01 feet; thence South 01°21'11" East, 455.31 feet to the southerly line of said plat; thence coincident with said southerly line and its extension thereof, North 87°46'29" East, 582.57 feet to the northerly right-of-way line of Interstate 35, as now established; thence coincident with said northerly right-of-way line, South 47°00'23" West, 1377.65 feet; thence coincident with said northerly right-of-way line southwesterly along a curve to the right having a radius of 11,308.16 feet, a chord bearing of South 49°19'45" West, a chord length of 782.40 feet, an arc distance of 782.55 feet to the west line of said Southwest Quarter; thence coincident with said west line, North 02°00'19" West, 1841.34 feet to the Point of Beginning, containing 2,439,947 square feet, or 56.013 acres, more or less.

### DEDICATION

The undersigned proprietors of the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as "LOGISTICS PARK KANSAS CITY - SOUTHEAST, SECOND PLAT".

The undersigned proprietors of said property shown on this plat do hereby dedicate for public use and public ways and thoroughfares, all parcels and parts of land indicated on said plat as streets, terraces, places, roads, drives, lanes, parkways, avenues and alleys not heretofore dedicated. Where prior easement rights have been granted to any person, utility or corporation on said parts of the land so dedicated, and any pipes, lines, poles and wires, conduits, ducts or cables heretofore installed thereupon and thereon are required to be relocated, in accordance with proposed improvements as now set forth, the undersigned proprietor hereby absolves and agrees to indemnify the City of Edgerton, Kansas, from any expense incident to the relocation of any such existing utility installations within said prior easement.

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer pipes, poles, wires, drainage facilities, irrigation systems, ducts and cables, and similar facilities, upon, over and under these areas outlined and designated on this plat as "Utility Easement" or "UE" is hereby granted to the City of Edgerton, Kansas, with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for said purposes. Utility easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of public utilities located within the easement.

Areas designated on the accompanying plat as "pedestrian access easement" are hereby dedicated to the public for the purpose of pedestrian access (P/E). No fence, wall, planting, structure or other obstruction may be placed or maintained in said P/E without approval of said City Engineer of the City of Edgerton, Kansas.

### RESTRICTIONS

Tract "D" are intended to be used for stormwater detention and open space and shall be owned and maintained by Logistics Park Kansas City Owners' Association, its successors and assigns.

### CONSENT TO LEVY

The undersigned proprietors of the above described tracts of land hereby consent and agree that the Board of County Commissioners and the City of Edgerton, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public use from the lien and effect of any special assessments, and that the amount of unpaid special assessments on such land dedicated, shall become and remain a lien on this land fronting and abutting on such dedicated public way or thoroughfare.

### EXECUTION

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Edgerton Land Holding Company, LLC  
By: NorthPoint Development, LLC  
Its: Manager

STATE OF MISSOURI )  
COUNTY OF PLATTE ) SS  
Nathaniel Hagedorn, Manager

BE IT REMEMBERED, that on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, before me a Notary Public in and for said County and State, came Nathaniel Hagedorn, Manager of NorthPoint Development, LLC, the Manager of Edgerton Land Holding Company, LLC, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said limited liability company, and he duly acknowledged the execution of the same to be the act and deed of said limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.

Notary Public My Appointment Expires: \_\_\_\_\_

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

ELHC XIV, LLC, Owner Lot 3  
By: NorthPoint Development, LLC  
Its: Manager

STATE OF MISSOURI )  
COUNTY OF PLATTE ) SS  
Nathaniel Hagedorn, Manager

BE IT REMEMBERED, that on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, before me a Notary Public in and for said County and State, came Nathaniel Hagedorn, Manager of NorthPoint Development, LLC, the Manager of ELHC XIV, LLC, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said limited liability company, and he duly acknowledged the execution of the same to be the act and deed of said limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.

Notary Public My Appointment Expires: \_\_\_\_\_

### APPROVALS

APPROVED by the Planning Commission of the City of Edgerton, Johnson County, Kansas, on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Chuck Davis, Chairperson Maria O'Neill, Secretary  
APPROVED by the Governing Body of the City of Edgerton, Johnson County, Kansas, on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Donald Roberts, Mayor Janeice Rawles, City Clerk  
APPROVED by the Zoning Administrator, on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Kenneth A. Cook, Zoning Administrator

### LOGISTICS PARK KANSAS CITY - SOUTHEAST, SECOND PLAT

Prepared For:  
ELHC XIV, LLC  
5015 NW Canal Street, Suite 200  
Riverside, MO 64150  
(816) 888-7380

Date of Preparation:  
March 12, 2015



5150 NW Canal Street, Suite 100  
Riverside, Missouri 64150  
913.317.9500  
www.ri-consult.com



## STAFF REPORT

April 10, 2015

To: Edgerton Planning Commission  
Fr: Kenneth A. Cook, Community Development Director  
Re: Application FS2015-01 for the Final Site Plan for Logistics Park Kansas City  
Southeast, Second Plat (IP XIV)

### APPLICATION INFORMATION

|                                       |  |
|---------------------------------------|--|
| <b>Applicant/Property Owner:</b>      | Patrick Robinson, Edgerton Land Holding Company (ELHC)   |
| <b>Requested Action:</b>              | Final Site Plan – Logistics Park Kansas City – Southeast, Second Plat, Lot 4 (Inland Port XIV) |
| <b>Legal Description:</b>             | Part of Section 2, Township 15, Range 22   |
| <b>Site Address/Location:</b>         | Approximately 1900 feet south of 191st Street on the East side of Waverly Road                 |
| <b>Existing Zoning and Land Uses:</b> | City of Edgerton L-P Logistics Park on vacant land   |
| <b>Existing Improvements:</b>         | Dwelling and agricultural structures   |
| <b>Site Size:</b>                     | 42.74 Acres  |

### PROJECT DESCRIPTION

The applicant has prepared a final site plan based on a preliminary site plan and L-P, Logistics Park District zoning requirements. The Southern portion of this site has been added to the area that was part of the original preliminary site plan for this area and was the primary reason that staff required the applicant to submit an updated Preliminary Plat for the area.

This preliminary site plan originally included three buildings located in this area. The first two structures constructed in this area are smaller than originally anticipated by the original site plan. These changes were considered minor and were approved by the Planning Commission as part of Final Site Plans for the two lots. While the current request includes additional property not included in the original site plan, it is also considered by staff to only be a minor change not requiring the resubmittal of a Preliminary Site Plan as the overall use of the site remains similar. The Final Site Plan shows one (1) warehouse building on a 42.74 acre lot, with the building containing 819,185 square feet with associated parking, stormwater detention facilities, and landscaping.



## STAFF ANALYSIS

Staff has reviewed the Final Site Plan submittal. The Final Site Plan is reviewed for compliance with Section 10.1 of Article 10 for Site Plan requirements. It is also reviewed for compliance with Section 5.2 Logistics Park (L-P) District regulations. The combined details of that review are listed below.

### Section 10.1 of Article 10 for Site Plan requirements

1. Front or cover sheet.
  - a) A scale vicinity map showing the relationship of the site to surrounding neighborhoods, roads and other physical features. *The vicinity map needs to be updated to match the boundaries of the current site and to also label the location of Montrose Street. **Make changes to name on the drawings.***
  - b) A project title, zoning designation and project sponsor. A street, lot or tract address of the project. *The title is incorrect as the property is part of Logistics Park Kansas City – Southeast, Second Plat, Lot 4. Staff is recommending that the lot number be changed to keep the numbering of lots consistent across the entire area that is part of this Preliminary Plat. Staff also suggests that the general description be updated to specify 196<sup>th</sup> and Waverly Road as this Lot is not located adjacent to 191<sup>st</sup> Street. **Update Title.***
  - c) An index to contents, and a data table which, at a minimum, includes: Acreage of the site and number of units per acre (if applicable); gross square feet of the building(s) area; the proposed use of each building; number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load and, the total number of parking places. *Almost all of the data in the data table is incorrect and needs to be updated and also does not include the anticipated number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load. **Update Site Data Table***
  - d) The name of the architect, engineer, surveyor or draftsman. ***Final Site Plan complies.***
  - e) The specified certificates and signature blocks. *Names and titles of the individuals signing the site plan should be included under the signature lines. **Update signature blocks.***
2. Sheet #2
  - a) A landscape plan drawn to scale, showing the site, building location, planting and seeding schedules, refuse and outdoor storage screening and boundary screening. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives.
    - ***Trash containers and screening have not been shown.***
    - ***Sidewalks have not been shown from the building to the street***
  - b) A table entitled "Planting Schedule" which lists the common name, size and condition of all planting materials, together with a timetable for planting. ***No timeline for planting is included. This table also needs to be updated as the quantities appear to be incorrect.***
3. Sheet #3
  - a) A site map with the following features.
    - i) Topography at reasonable intervals. *Contours are included in the grading plan and*



- landscape plan. Final Site Plan complies.*
- ii) Exterior lot lines with any survey pins. *Final Site Plan does not show any survey pins.*
  - iii) Location of buildings. *Final Site Plan complies.*
  - iv) Parking areas, paths, walks with sizes and surfaces material specifications.  
*Pedestrian access needs to be provided from the building out to future sidewalks to be constructed along Waverly, Montrose, and 196<sup>th</sup>. This will need to be provided at all entrance locations, including any located at midpoints of the building.*
  - v) Exterior lighting specifications. *Details, locations and photometric plan have not been provided.*
  - vi) Site entrance and connections to streets. *It is staff's opinion that the number and of entrances, especially along Waverly Road, is excessive. This issue has in part been discussed as part of the Final Site Plans that were approved to the North (Inland Port XI & XII). This discussion included the need to look at sharing access points at the Southern portion of these previous sites with the properties that would be developed in the future (such as this current request). While the City of Edgerton has not adopted an official Access Management Code, we have typically referred to the City of Gardner Access Management Code. Section 13 of this document discusses the issue of Unified Access and Circulation and includes the following items:*
    - *Neighboring parcels with driveways that could reasonable be shared (as determined by the City Engineer) shall share access points.*
    - *The number of connections shall be the minimum number necessary to provide reasonable access to the overall development and not the maximum available for the development's frontage.*
    - *When a property or development abuts two roadways, access should first be considered off of the lower classification street.*

*Staff has suggested that the access points at the Northern end of this site should be combined with the access points on the site to the North. Staff has also suggested that the access point to Waverly, on the South end of the site, should be relocated to 196<sup>th</sup> Street in order to reduce the number of access points, especially in regards to those off of Waverly Road. It should also be mentioned that the elevation of the proposed construction of Waverly Road, as currently designed, makes this Southern entrance extremely difficult due to the elevation change that would be required between the parking lot and the street. These changes would reduce the number of entrances onto Waverly to three entrances from 191<sup>st</sup> Street to 196<sup>th</sup> Street. Montrose Street to the East of this location would still have four entrances with one additional entrance on 196<sup>th</sup> Street East of Waverly. Staff held a meeting with the applicant and the City Engineer to discuss this issue and we are waiting on updated drawings. Staff hopes to have a discussion with the City Engineer in regards to these access issues prior to the Planning Commission meeting in order to get a recommendation from the City Engineer. Staff will continue to work with the applicant and a final plan for access will be approved by the City Engineer.*
  - vii) The location of easements. *The 15 foot easements shown along the road ROWs include the same area shown as the required ROW buffers in some areas. This is the same issue that was discussed as part of the Final Site Plan for Inland Port XII.*



*It appears that this application shows the landscaping along Waverly Road being set behind the utility easement but the landscaping along Montrose and 196<sup>th</sup> appears to be within or very near the edge of this easement. The landscaping does still appear to be located within a private Water District #7 easement. The location of landscaping in the easement can create a conflict with the utility lines and could require the removal of landscaping as part of the maintenance of utilities. Staff understands that the width of ROW for Montrose and 196<sup>th</sup> has been allowed to be reduced and utility easements placed outside of the ROW in order to reduce the setback of buildings from the actual roadway. It may be appropriate in these types of situations to allow the ROW buffers to be located behind the utility easements. This could include that the street trees and other landscaping be placed within 30 feet of the back of curb. If the ROW was a standard width, with utilities located in the ROW, the street trees and other landscaping would most likely be placed in this location. This could have an impact on how the site is developed, especially in regards to detention and other drainage improvements. **Staff suggests that the ROW buffers be moved to be located outside of utility easements. Due to the location of the Water Line Easement, it may be needed for the landscaping to be place within the very back of the easement.***

viii) Connection point for utilities. *The General Layout sheet includes labels pointing to some utilities but no lines are shown. **Plan currently shows Temporary Sanitary Holding Tank. Provide a plan for sanitary sewer service for LPKC Southeast. Show the utility lines labeled on the drawing.***

- b) A sketch of the entry sign, and all other free-standing, façade, and building signs to be used on the premises. **No signage was submitted with the application. Signage proposed later shall receive separate approval according to the provisions of the UDC.**
- c) Features to facilitate handicapped access. *Additional ADA spaces may be required if the building is divided into multiple tenants and the parking in the middle of the building is used for their primary entrance. **The accessible parking spaces and access areas should not exceed 2% slope in any direction.***
- d) Profile and detail for roads (if required). *Sheet C03 labels Waverly as 'Proposed Asphalt Road (By Others).' This should be updated to match the wording on Sheet C02 'Proposed Public Street (By Others). **No profile or details have been submitted.***

4. Sheet #4

- a) Scale drawing of building floor plans. *The overall floor plan of the building has been submitted but this does not include interior improvements as the building is being constructed speculatively. **Will be reviewed at Building Permit Review.***
- b) Dimensions and use of rooms and areas. **Will be reviewed at Building Permit Review.**
- c) Dimensions of entrances/exits and corridors. **Will be reviewed at Building Permit Review.**
- d) Interior specifications for handicapped accessibility as required by ANSI 117.1 and this ordinance. **Will be reviewed at Building Permit Review.**

5. Sheet #5

- a) Scale drawings of all building elevations. **Final Site Plan complies.**



- b) Roof pitch and materials. *Will be reviewed at Building Permit Review.*
- c) Siding type and materials, including fascia. *Final Site Plan complies*

## Section 5.2 Logistics Park (L-P) District regulations

### **SETBACK, YARD, AND AREA REGULATIONS:**

1. Building Coverage: The maximum building coverage in the L-P District is 50%. With a site size of 1,860,735 square feet and a building containing 819,185 square feet, building coverage is within the maximum at 44.0%. *Final Site Plan complies.*
2. Setbacks from the street right-of-way or property line: *Final Site Plan complies.*
  - a. Front. Choosing a building front can seem arbitrary with large warehouses and multiple street frontages, but with two street frontages, it's customary to choose either the narrower lot width or the side of the building without dock doors. Based upon these criteria, the South side of the building (along 196<sup>th</sup> Street) would be considered as the front. It is actually possible that this building will be divided to allow for multiple tenants. In any case, the requirements for front and side at street setbacks both require the same setbacks which are dependent upon the size of the adjacent street. The proposed building front is located approximately 363 feet (West corner) and 119 feet (East corner) from the 196<sup>th</sup> Street right-of-way where a 25-foot minimum setback is required (adjacent to two-lane). Front Yards of at least 50 feet are typically required along roadways with more than 2 lanes.
  - b. Side (Typical). The property does not have a standard side yard.
  - c. Side at Street (Typical). The proposed building is located 217 feet from the Waverly ROW where the three-lane road would require a 50 foot setback. The building is also located approximately 135 feet from the Southeast corner and 210 feet from the Northeast corner to the Montrose Street ROW which exceeds the 25 foot requirement adjacent to a two-lane road.
  - d. Rear. At approximately 85 feet from the property line, the North side exceeds the minimum 25 feet required.
3. Maximum Building Height. The Maximum building height is shown as 43 feet and is under the maximum height of 110 feet. *Final Site Plan complies.*
4. Building Separation. A minimum building separation of twenty (20) feet is required. There is only a single building proposed with this final site plan. *Future building separations will need to be evaluated when adjacent final site plans are submitted. Final Site Plan complies.*
5. Accessory Building and Structure Regulations. No accessory buildings are proposed with this application. *Final Site Plan complies.*

### **DISTRICT REGULATIONS:**

1. A minimum of three exterior walls shall be of materials other than metal. *All exterior walls of the proposed warehouse are tilt-up concrete, meeting this requirement. Final Site Plan complies.*
2. All operations other than limited storage of motorized machinery and equipment, materials, products or equipment, shall be conducted within a fully enclosed building. *The site plan shows future trailer parking areas along the entire east and west side of the property. This would appear to provide for more than just "limited storage". The Planning Commission has allowed this to occur on previous buildings with the installation of*



*additional screening. The Planning Commission has also started to look at updates in the regulations which will address this issue. **The Planning Commission may need to approve an alternative landscape plan in response to the unique characteristics of this site. This may need to include additional landscaping, fencing or berms, especially along the areas of ROW buffers or for loading docks.***

3. All storage of motorized machinery and equipment, materials, products or equipment shall be within a fully enclosed building, or in a storage area or yard. Said storage shall be limited to twenty percent (20%) of the ground floor area of the building or tenant space. All storage materials shall be one hundred (100) percent screened from public view, except when adjacent to another storage area, which is one hundred (100) percent screened from public view. For the purposes of this section, the phrase "screened from public view" means not visible at eye level from adjoining properties or any street right-of-way. Use of landscaping materials is encouraged in lieu of privacy fencing. All storage areas shall be paved or surfaced. ***The Planning Commission may need to approve an alternative landscape plan in response to the unique characteristics of this site. This may need to include additional landscaping, fencing or berms, especially along the areas of ROW buffers or for loading docks as the future trailer parking areas will not be able to be screened 100%.***

#### **DESIGN GUIDELINES:**

1. When more than one (1) building is planned for L-P district property, the development plan shall demonstrate integration and coordination of the architectural design for buildings, structures, and landscaping and open space. *The proposed building, landscaping, and open space design is generally consistent with previously approved projects in the Logistics Park. **Final Site Plan complies.***
2. Buildings should be oriented so that the front or side of the building faces the public street frontage of the property. The City may consider an exception to orient a rear elevation towards a public street for unique situations due to the configuration of the lot. *To interpret this regulation, criteria must be provided that allow a building wall to be evaluated as front, side or rear. Typically, the side of a building with the greatest architectural interest such as windows, ornamentation, and design elements helps determine the building front. The rear side would typically be where activities such as loading (dock doors) and storage activities take place, and where building facades have few or no interesting elements.*

*All sides of the proposed building have tilt-up concrete walls, adding to architectural interest. The parts of the building with the most prominent architectural features are the office/entrance areas located at the four corners of the proposed building. The South side of the building faces 196<sup>th</sup> Street and has architectural interest with the entrances at the east and west corners of the façade, with vertical articulation between the corners to break up the façade between the corners. The North side is proposed to match the look of the South side and will face the warehouse currently under construction to the North. While dock doors are typically features associated with the rear of a building the west side will face Waverly Road with dock doors along most of its length. Two portions of the Western elevation, adjacent to parking areas, will also have entrances that will help breakup the monotony of the long wall and provide a break from the loading docks. The East side is designed similarly but will only include one entrance. Inland Port XI, which is located to the North of the proposed site is situated similarly in that a street will be located on three sides of the building. It is also anticipated that additional warehouse*



*development will occur to the West, across Waverly and to the East, across Montrose. Thus, if the City approves the current application, it will thereby approve an exception to orient a side elevation (including dock doors) toward a public street (Waverly Road & Montrose Street) due to the configuration of a lot with public streets on three sides of the proposed building.*

3. The City may require that loading and service areas are screened from public view with landscaping, berming, facade walls, or fencing. *The orientation of the building exposes the west and east sides containing dock doors to visibility from public right-of-ways. Therefore staff recommends several methods to screen that exposure. As the Final Site Plans which have been approved for Inland Ports XI & XII and for the current proposal requests that the applicant make modifications to the landscaping, staff recommends that the Planning Commission require the applicant to work with a Landscape Architect to prepare a landscape plan for this entire phase. The Planning Commission could proceed with making a decision on the other portions of the Final Site Plan, and allow the development to continue forward, while the plan is prepared and brought back for separate consideration by the Planning Commission.*
  - *ROW buffers are required along Waverly Road, 196<sup>th</sup> Street and Montrose Street. These buffers require 1 tree per 50 LF of ROW within a 10 foot buffer width. The ROW buffers shown along Waverly Road and Montrose Street have been upgraded to provide additional screening. The screening proposed should be varied more, clusters of trees are "encouraged to create a more natural appearing environment" (Section 5.2.O.4) and the use of berms or other elements can also assist in making a design less monotonous.*
  - *Perimeter Landscape Buffer: Type 1 buffer is required on the North property line to the front face of the building. The type 1 buffer requires a 5' buffer width and trees at 50' spacing (all within the 5' buffer) and hedge/shrub at 48" spacing (with 25% within the 5' buffer). Evergreen trees (Keteleeri Juniper) shall be a minimum 12' height. Deciduous trees shall be a minimum 2.5" caliper. Hedge/shrub shall be a minimum 24" high. Current plans do not include the required hedge/shrub plantings along the Northeast and Northwest portion of the site. If the Planning Commission requires the applicant to bring back a Landscape Plan for the entire phase, a greater consideration could be given to how Landscaping between the lots interacts. The Planning Commission may also want to consider if this perimeter landscape buffer is appropriate as this site is being developed as this is requiring additional screening at the corner of the buildings, which could be considered as the more interesting portions of the buildings.*
  - *Consideration of additional landscaping at entrances.*
4. When development is proposed adjacent to any existing residential development, site plan approval, including building elevations, landscaping, and screening shall be approved by the City. ***Final Site Plan Complies.***
5. Pedestrian access within a development and adjacent public and private property shall be considered as a component to the design of an employment center. *Sidewalks should also be provided to connect the sidewalks at entrances to the public sidewalks adjacent to the street ROW. Update Final Site Plan.*



## ARCHITECTURAL DESIGN STANDARDS

1. Building Massing and Scale. A building's massing is defined as its exterior volume. The height, width and depth of a structure create the overall massing of a building. A building's scale is the relationship of its overall size and its component parts with its adjoining spaces and buildings. ***Final Site Plan complies.***
2. Large expanses of blank walls of any material or metal siding are not allowed. Building facades over one hundred feet (100') long facing public right of way or residential property shall break up massing of buildings by dividing building façade into smaller components with a minimum of three (3) of the following elements:
  - a. articulating details around doors, windows, balconies, plate lines, providing details such as "belly-bands," recessed design elements, interesting cornice treatment details, exposed expansion joints, reveals, change in texture, or other such methods of visual relief;
  - b. Avoiding long, repetitive, monotonous facades – particularly those that repeat the same design element several times along the same elevation
  - c. Use of darker building color and varied wall treatments
  - d. Varying roof lines (see Vertical Articulation section)
  - e. Change of wall plane (see Horizontal Articulation section)

*The proposed elevations appear to be consistent with buildings approved and constructed in earlier LPKC phases. The west, east and south sides of the building face public rights-of-way. The north and south elevations use vertical and horizontal articulation, windows, and color blocking to effectively break up building massing. The west and east façades again use vertical articulation, color blocking, and windows effectively, though the great lengths on these sides provide more opportunities for varying techniques than are taken advantage of in the design. Additional horizontal articulation at the entrances located in the middle of these sides could help to further break up the expanse of these extremely long walls but could also reduce parking provided in these areas. **Final Site Plan complies.***

3. Building Materials. One hundred percent (100%) of the surface of each exterior wall (excluding doors and windows) facing a public street, residential use or public open space shall consist of materials including but not limited to stone, brick, glass block, tile, cast metal, cast or cultured stone, concrete (tilt-up walls), glass, or a combination of these materials. *All walls are concrete tilt-up, which meets this requirement. **Final Site Plan complies.***
4. Façade Guidelines
  - a. Horizontal Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the wall's height without having an off-set of ten percent (10%) of the wall's height (maximum of five (5) feet); the new plane shall extend for a distance equal to a minimum of twenty percent (20%) of the maximum length of the first plane. The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. Walls not facing a public right-of-way or a residentially zoned property and walls with loading dock doors are exempt from the horizontal articulation requirement. *The middle of the south wall measures approximately 265 feet. With the height of the wall ranging between 39 and 43 feet the maximum length of this wall without additional horizontal articulation should be 172 feet. The required horizontal off-set along this wall is between 3.9 and 4.3 feet. The off-sets that are provided are 5 and 10 feet, respectively. Additional articulation could*



*be provided in this area or the articulation provided at the north and south portions of this wall could be extended to shorten this distance. This is the same issue that was discussed as part of IP XII. Staff understands that the Planning Board allowed an exception along the northern elevation of IP XII to allow it to match the look of the building for IP XI which had already been approved and was under construction. The east and west elevations could be determined to technically comply with this requirement (due to exemption for walls with loading docks) but the Planning Commission may want to consider if articulation should be required at the midpoint entrance locations where no loading docks are included. The current plan does match what was approved for IP XII in regards to the midpoint entrance while IP XI did not include any midpoint entrances. **The south wall does not meet this requirement. The Planning Commission should discuss if articulation should be required at entrances along the east and west elevations. The Planning Commission may decide to approve exceptions to all or portions of this plan based upon the façade elevations that have been provided and to allow for this phase of the development to maintain a consistent appearance.***

- b. Vertical Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the height of the wall without changing height by a minimum of ten percent (10%) of the wall's height (maximum of five (5) feet). The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. *Like the horizontal articulation requirement, walls not facing a public right-of-way or a residentially zoned property are exempt from this requirement. However, walls with loading dock doors are still required to meet this standard. The minimum height change required is between 3.9 & 4.3 feet. The maximum change in height shown on the south elevation (across the entire length of the building) is 4 feet (43' to 39'). This articulation does not comply as it does not occur within a maximum distance of 172 feet, however, more (while smaller) articulation is provided along the elevations. The vertical articulation being provided appears to be the same as that shown on IP XII and similar to IP XI. The primary concern that staff has is that while the elevations at the corners of the building measure close to the dimension of 42' from the north and south elevation, the measurements on these locations on the east and west elevations measure 46' and 37' respectively on the partial or overall elevations. No dimensions are provided on the east and west elevation. **The elevation plans do not comply with this requirement. The Planning Commission may decide to approve exceptions to this requirement based upon the façade elevations that have been provided. New elevations should be provided that address the issue of discrepancy in the height measurements.***
- c. Screening of Rooftop Equipment. For buildings within the L-P District, all rooftop mounted mechanical, air conditioning, electrical, and satellite dish equipment shall not be visible. Rooftop equipment shall be screened from ground and street level view with parapets or other architectural design features constructed of the same materials used on the exterior walls. **Rooftop equipment is not shown on the proposed building elevations. If rooftop equipment visible from the ground and street level is planned, parapets to conceal it from the**



***ground and the streets shall be required prior to building permit approval.***

- d. Color Palette. Earth tones, muted hues, and natural tones are permitted as structures' basic colors. Brighter hues are permitted only as an accent color on building elements such as awnings, doors, and trim. A mixed color palette on a single building should be carefully selected so all colors harmonize with each other. ***Color blocking is used effectively in the elevations provided. Though staff has not done percentage calculations to evaluate strict compliance with the above chart, staff believes the uses of color on the building follow the pattern of previously approved buildings and are otherwise consistent with the identity of LPKC.***

Accent colors should be applied using the following guidelines:

|                              | <b>Required</b> | <b>Allowed</b> |
|------------------------------|-----------------|----------------|
| 1 <sup>st</sup> Accent Color | 10%             | 20%            |
| 2 <sup>nd</sup> Accent Color | 0%              | 10%            |
| 3 <sup>rd</sup> Accent Color | 0%              | 10%            |

\*Percentage calculations shall utilize the entire façade area.

## **PARKING AND LOADING**

1. General. The plan addresses the general parking and loading requirements as follows:
  - a. Parking space dimensions of at least 9 by 20 feet per space are required. *The Final Site Plan shows 299 regular car parking spaces with 8 ADA spaces.*
  - b. Adequate loading spaces off the public right-of-way are shown.
  - c. Parking is all on asphalt or concrete.
  - d. Off-street space for loading and unloading of goods is provided. *156 truck spaces and 170 future truck stalls.*
  - e. Shipping, loading, maneuvering, and parking areas meet the setback requirements. ***Final Site Plan complies.***
2. Warehouse/Distribution Center and Large Building Parking Space Exceptions. Parking shall be required per City standard based upon individual land use, except Warehouse or Distribution Center land uses, which shall require one (1) space per two thousand (2,000) square feet of building area. Buildings in excess of one hundred thousand (100,000) square feet or users with specific parking needs may provide an independent parking study to the City for approval. *The proposed structure is 819,185 square feet which would calculate to a minimum of 410 spaces. The Final Site Plan shows 299 regular car parking spaces with 8 ADA spaces. Staff understands that the extra off-street loading spaces have been allowed to be considered as part of the spaces required for parking if the user of the property would need additional spaces in the future. Final Site Plan complies.*

## **OFF-STREET PARKING STANDARDS**

1. Maneuvering. It appears that adequate space is provided on the plan for vehicle maneuvering off the public right of way. ***Final Site Plan complies.***
2. Parking Spaces and Aisle Surfaces. All parking spaces, aisles and maneuvering areas are all-weather surfaced and are connected by all-weather surfaced driveways to the street, as required. ***Final Site Plan complies.***
3. Parking Space and Aisle Dimensions. Parking space dimensions of at least 9 by 20 feet per space are required. ***Final Site Plan complies.***



4. Wheel Stops. Wheel stops or curbs are required for parking spaces around the perimeter of the parking lot and adjacent to sidewalks. *Parking spaces are not adjacent to required landscaped areas, public ROW or public sidewalks and Curbs are also indicated on the site plan around parking areas. Final Site Plan complies.*
5. Parking layout with 90 degree spaces and two-way traffic. The parking area proposed conforms to the requirements shown in Figure 8 of the L-P District parking requirements. *Final Site Plan complies.*

#### **OFF-STREET LOADING STANDARDS**

1. Access. Loading facilities shall be located adjacent to a public access-way or private service drive. *Final Site Plan complies.*
2. Minimum Loading Space Dimensions. Loading spaces shall be a minimum of twelve (12) feet in width, sixty-five (65) feet in length, and fourteen (14) in height except as may otherwise be approved by the City. *The loading spaced shown on the site plan are dimensioned as 13 feet by 60 feet. These spaces all front onto a 70 foot wide driveway area. Staff understands that the normal minimum design turning radius for semi-trucks is 45 feet. The future trailer parking spaces are dimensioned as 12 feet by 53 feet. Final Site Plan complies.*
3. Use of Loading Spaces. Off-street loadings spaces shall be used only for temporary loading/unloading operations and shall not be used for storage or display of boats, trailers, campers, motor vehicles or other goods, materials or products. *The main loading spaces appear to be designed to operate as loading docks for the facility and not for the storage of other goods, materials and products. Final Site Plan complies*
4. Number of Loading Spaces Required. A use which receives or distributes material, supplies or merchandise by motor vehicle is required to provide spaces based upon the following requirement: (a) 0-9,999 square feet – None; (b) 10,000-100,000 square feet – 1 spaces; 50,000-100,000 – 2 spaces; and, 100,001+ - 1 additional space per 100,000 square feet. *Based upon this standard the property is required to provide 10 loading spaces. Final Site Plan complies*
5. Temporary Outdoor Storage Regulations for Cargo Containers, Operational Trailers, and Tractors. The L-P District requires that outdoor parking or storage spaces for cargo containers, operational trailers and tractors must be screened from view by either a masonry wall of a type and style complementary to the primary materials of the building, wrought iron, decorative metal, living plant material or a combination of these. The height of the screening must be sufficient to block view of the equipment or vehicles from a public right-of-way. Where a masonry wall is used to satisfy this requirement, foundation planting must be provided on the exterior face of the wall. These spaces must be clearly demarcated solely for tractor and trailer storage. *The site plan shows a total of 170 "Future Trailer Parking" along the Waverly Road and Montrose Street frontage. These spaces are located approximately 45 feet from Waverly Road and 35 feet from Montrose Street right-of-ways and would be clearly visible from the streets. Additional screening may need to be provided in order to screen these future spaces.*

**PHOTOMETRICS** – *Photometric plans have not been submitted for this proposal and have also yet to be submitted for any prior projects. Staff suggests that the Planning Commission allow this project to proceed with the requirement that no further projects will be allowed to proceed until all photometric plans be submitted and approved.*



1. General. All lighting shall be designed in accordance with applicable Illuminating Engineering Society of North America (IESNA) practices as applied to specified applications within the L-P District. Cut-off design is specified within the development. ***A photometric plan has not been provided. The applicant shall provide a photometric lighting plan, including cut-off design specifications for all proposed lighting fixtures prior to issuance of a building permit.***

**LANDSCAPE STANDARDS – Staff is recommending that the Planning Commission request that the applicant work with a Landscape Architect to design plans for this entire phase of development (especially for IP XI, XII and XIV). The two previous projects still have outstanding comments in regards to landscaping and no landscaping has been installed at this point in time. As the current landscape plan also contains numerous of the same issues, staff suggests approving other portions of the Site Plan to allow the project to continue to progress. Staff is not going to provide a review of the landscape requirements at this time.**

1. Right-of-way Buffer Width Requirements. ROW buffer requirements for a 2 lane or 4 lane undivided road includes 1 tree per 50 LF of ROW within a 10 foot buffer width.
2. Perimeter Landscape Buffer Requirements. The perimeter landscape requirements are based upon the use of the adjacent property.
3. Buffer Composition Requirements. Deciduous trees shall be a minimum 2.5" caliper. Evergreen trees shall be a minimum 12' height. Bushes shall be a minimum 24" high.
4. Screening from Residential Uses. Property adjacent to or across from residential uses shall be landscaped in accordance with the standards set forth in this Section.
5. Dumpster screening. Trash enclosures or screening are not shown.

## **SIGNAGE**

No signage plan has been made available for review. ***The applicant shall provide a signage plan according to the requirements in Article 5(K) prior to the issuance of a building permit.***

## **DIESEL EMISSION REQUIREMENTS**

The following diesel emission requirements shall apply:

1. Except for loading and unloading operations, heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds shall be restricted from idling on-site for no more than 5 minutes in any 60 minute period. For loading and unloading operations, idling shall be restricted to no more than 30 minutes in any 60 minute period.
2. One electrical hook-up shall be provided for "trucker plug-ins" equal to a minimum of one-third (1/3) of the total number of truck bays at the facility to eliminate excessive idling by heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds. Approval to use alternative technologies to eliminate excessive idling may be requested, but shall not be approved unless the applicant demonstrates that they are at least as effective as electrical hook-ups. ***Will be reviewed at Building Permit.***
3. Signs shall be posted by owner(s) of the facility at each vehicle entrance to the facility notifying drivers of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds to turn off engines when not in use. ***Will be reviewed at Building Permit.***
4. The operation and idling of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds, including circulation, shall be restricted within 300 feet of any property



zoned for or committed to residential use, or the owner/developer shall provide alternative measures including the possible installation of a wall or other mitigating measures to assure buffering of residences from heavy-duty truck operations, unless the owners of property located adjacent to said heavy duty diesel truck operations consent and agree, in writing to:

- a. Allow the location of heavy-duty diesel truck operations within 300 feet of their property zoned for and committed to residential use, and
  - b. Restrict areas of their property located within 300 feet of adjacent trucking operations to only non-residential uses;
5. Warehouse managers and employees shall be trained by the employer(s) or operator(s) of the facility to use efficient scheduling and load management to eliminate unnecessary operation, queuing, or idling of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds.
  6. Warehouse managers and employees shall be provided by the employer(s) or operator(s) of the facility with information about the possible effects of diesel emissions on their own health and the importance of being a good neighbor by minimizing idling and avoiding other potentially adverse impacts on adjacent or nearby residences;
  7. On-site services shall be made available to vehicle drivers to reduce idling. These services may include restroom facilities, seating for drivers waiting for their cargo to be loaded or unloaded, and/or food/beverage vending machines. ***Will be reviewed at Building Permit.***
  8. Any motorized equipment used within the proposed development should utilize clean technology propulsion and/or alternative fuels such as biodiesel, electricity, or propane;
  9. If fuel dispensing facilities are provided on-site, alternative clean fuels such as (but not limited to) bio-diesel blended fuel should be provided at these dispensing facilities.

#### **Other Comments**

1. A storm water study has been provided and is being reviewed by the City Engineer.
2. A fire hydrant shown at the Northwest entrance is extremely close to the driveway and should possibly be moved to provide some separation.
3. Items that appear to be existing improvements are shown on the general layout plan and should be removed (fence and tree east of structure).

#### **UPDATE**

Staff held a meeting with the applicant to discuss these issues and the applicant is working on making the necessary changes to the Final Plat drawing. Staff recommends that the final location of landscaping be approved by staff in order to reduce conflicts with the placement of utilities.

#### **RECOMMENDATION**

City staff recommends **approval** of FS2015-01 for the Final Site Plan Logistics Park Kansas City - Southeast, Second Plat, Lot 4 (Inland Port XIV) subject to the suggested stipulations, below.

1. All Site Plan requirements of the City shall be met as listed above, particularly including:
  - a. Submittal of photometric lighting plan for Inland Port XIV, and all prior projects, in conformance with UDC especially with regard to maximum foot-candles at



- property line. No further projects will be allowed to proceed until such plans have been approved.
- b. Construction plans for future public infrastructure be submitted and approved by the City. Any necessary permits obtained.
  - c. Resubmittal of revised landscaping plans (including landscaping plan for entire phase, especially IP XI, XII & XIV) including screening for adjacent public roads and trash enclosures. All landscaping shall be maintained in good condition and plants shall be replaced when dead. No further projects will be allowed to proceed until such plans have been approved.
- 2. All infrastructure requirements of the City shall be met.
  - 3. All building permit and sign permit requirements of the City shall be met.
  - 4. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

#### **ATTACHMENT**

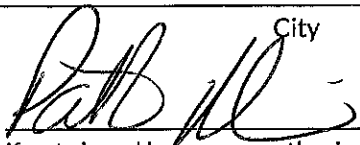
Final Site Plan Application No. FS2015-01

Final Site Plans Logistics Park Kansas City – Southeast, Second Plat, Lot 4 (Inland Port XIV)

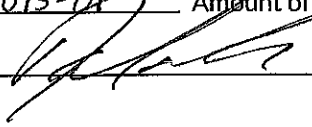


☐ PRELIMINARY SITE PLAN☒ FINAL SITE PLANNAME OF PROPOSED SUBDIVISION: INLAND PORT XIVLOCATION OR ADDRESS OF SUBJECT PROPERTY: 19645 WAVERLY ROADLEGAL DESCRIPTION: ATTACHEDCURRENT ZONING ON SUBJECT PROPERTY: L-P CURRENT LAND USE: \_\_\_\_\_TOTAL AREA: 56.013 <sup>42.74</sup> Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 1,861,795 Sq. Ft.DEVELOPER'S NAME(S): PATRICK ROBINSON PHONE: 816.888.7380COMPANY: EDGERTON LAND HOLDING COMPANY FAX: 816.888.7399MAILING ADDRESS: 5015 NW CANAL ST. RIVERSIDE MO 64150  
Street City State ZipPROPERTY OWNER'S NAME(S): SAME PHONE: \_\_\_\_\_

COMPANY: \_\_\_\_\_ FAX: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_  
Street City State ZipENGINEER'S NAME(S): DAN COOK PHONE: 913.317.9500COMPANY: R-I-C FAX: 913.800.0951MAILING ADDRESS: 5015 NW CANAL ST RIVERSIDE MO 64150  
Street City State ZipSIGNATURE OF OWNER OR AGENT:   
If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

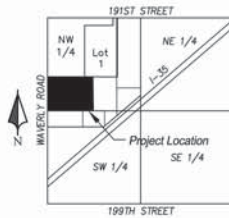
**FOR OFFICE USE ONLY**Case No. 15-2015-01 Amount of Fee Paid: \$ 627.40 Date Fee Paid: 3-17-15Received By:  Date of Hearing: 4/14/15**SUBMITTAL DEADLINE:** The applicant shall submit an application at least thirty (30) working days prior to a scheduled meeting.**NOTICE REQUIREMENTS:** The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.

vs. 9-9-11



# Inland Port XIV Final Development Plan

## 191st Street and Waverly Road



## INDEX OF SHEETS

|         |                              |
|---------|------------------------------|
| C01     | Title Sheet                  |
| C02     | General Layout North         |
| C03     | General Layout South         |
| C04     | Site Dimension Plan North    |
| C05     | Site Dimension Plan South    |
| C06     | Grading Plan North           |
| C07     | Grading Plan South           |
| C08     | Storm Drainage Map North     |
| C09     | Storm Drainage Map South     |
| C10     | Preliminary Storm Plan North |
| C11     | Preliminary Storm Plan South |
| C12     | Storm Drainage Calculations  |
| C13     | Utility Plan                 |
| L01-L03 | Landscape Plan               |

Legal

All of Lot 3, Logistics Park Kansas City - Southeast, First Plat, City of Edgerton, Johnson County, Kansas.

## FLOOD PLAIN NOTE

We have reviewed the "Flood Insurance Rate Map", Community Panel Number 200901C0119G, dated August 3, 2009, and 200901C0134G, dated August 3, 2009, as published by the Federal Emergency Management Agency. The above rate map places the property in Zone "X" for insurance purposes. Zone "X" is defined as Areas determined to be outside the 500-year flood elevation. No Base Flood Elevations have been determined."

## PROJECT BENCHMARKS

JVCVN BM1181  
Bernsten Aluminum Disk Stamped BM 1181, Located on center west end  
of the North headwall RCB. From the intersection of Waverly Road and  
191st Street, go West 0.10 Miles to the RCB.  
Elev: 1010.97

### LEGEND

| Symbol | Existing Feature           | Symbol | Proposed Feature          |
|--------|----------------------------|--------|---------------------------|
|        | Existing Section Line      |        | Proposed Right-of-Way     |
|        | Existing Right-of-Way Line |        | Proposed Property Line    |
|        | Existing Lot Line          |        | Proposed Lot Line         |
|        | Existing Easement Line     |        | Proposed Easement         |
|        | Existing Curb & Gutter     |        | Proposed Curb & Gutter    |
|        | Existing Sidewalk          |        | Proposed Sidewalk         |
|        | Existing Storm Sewer       |        | Proposed Storm Sewer      |
|        | Existing Storm Structure   |        | Proposed Storm Structure  |
|        | Existing Waterline         |        | Proposed Fire Hydrant     |
|        | Existing Gas Main          |        | Proposed Waterline        |
|        | Existing Sanitary Sewer    |        | Proposed Sanitary Sewer   |
|        | Existing Sanitary Manhole  |        | Proposed Sanitary Manhole |
|        | Existing Contour Major     |        | Proposed Contour Major    |
|        | Existing Contour Minor     |        | Proposed Contour Minor    |
|        |                            |        | Future Curb and Gutter    |

CERTIFICATE:

Received and placed on record this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_

\_\_\_\_\_. (Zoning Administrator).

Approved by the Edgerton City Planning Commission this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_

\_\_\_\_ (Chair of Planning Commission).

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant signature \_\_\_\_\_ Date \_\_\_\_\_

### Zoning

The project is currently zoned L-P.

### SITE DATA TABLE

|                          |             |
|--------------------------|-------------|
| Site Acreage:            | 42.74 Acres |
| Building Area:           | 485,000 SF  |
| Proposed Building Use:   | Industrial  |
| Total Number of Stalls:  | 422 Stalls  |
| Truck Parking:           | 92 Stalls   |
| Future Trailer Parking:  | 111 Stalls  |
| Employee:                | 219 Stalls  |
| Total Number ADA Stalls: | 10 Stalls   |

| UTILITIES                      |                     |
|--------------------------------|---------------------|
| <u>ELECTRIC</u>                | <u>Sewer</u>        |
| Kansas City Power & Light      | City of Edgerton    |
| Phone: 816.471.5275            | 404 East Nelson     |
|                                | P.O. Box 255        |
| <u>GAS</u>                     | Edgerton, Kansas    |
| Kansas Gas Service             | Phone: 913.893.6231 |
| 11401 West 89th Street         |                     |
| Overland Park, Kansas          | <u>TELEPHONE</u>    |
| Phone: 913.599.8981            | Century Link        |
|                                | Phone: 800.788.3500 |
| <u>WATER</u>                   |                     |
| Johnson Rural Water District 7 | <u>CABLE</u>        |
| 534 West Main                  | Mediacom Cable      |
| P.O. Box 7                     | Phone: 800.234.2157 |
| Gardner, Kansas                |                     |
| Phone: 913.856.7173            |                     |



**KANSAS ONE-CALL**  
**1-800-DIG-SAFE**  
 (1-800-347-7233)

*Protect yourselves and your property against underground utility damage and liability.*

**Find out where the underground utility lines might be buried before you dig.**

Anyone digging in Kansas must call before digging. The person who is doing the work is responsible for calling KOC. If the owner contracts with a professional excavator it is the excavation then the professional excavator is responsible for calling KOC.

You (the digger) will need to provide information about the work site when you call. This is a FREE service.



**CALL BEFORE YOU DIG**  
**IT'S THE LAW**



**Inland Port XIV**  
191st & Waverly Road  
Edgerton, Kansas



Project No.:1345.10  
Date: 03.12.15  
Issued For: FINAL DEVELOPMENT PLAN

VISIONS

[illegible]

## STRATION

ET TITLE

TITLE SHEET



## PROJECT TEAM

|                 |   |
|-----------------|---|
| ARCHITECT       | FINKLE/STILLERMAN<br>ARCHITECTURE           |
| CIVIL           | RENAISSANCE<br>INFRASTRUCTURE<br>CONSULTING |
| LANDSCAPE       | RENAISSANCE<br>INFRASTRUCTURE<br>CONSULTING |
| FOUNDATIONS     | ALPER AUDI                                  |
| STRUCTURAL      | ALPER AUDI                                  |
| PLUMBING        | CENTRAL PLUMBING                            |
| MECHANICAL      | NATIONAL DESIGN BUILD                       |
| ELECTRICAL      | HERITAGE ELECTRIC                           |
| FIRE PROTECTION | FE MORAN                                    |
| CONTRACTOR      | CLAYCO                                      |

## ARCHITECTURE

FW

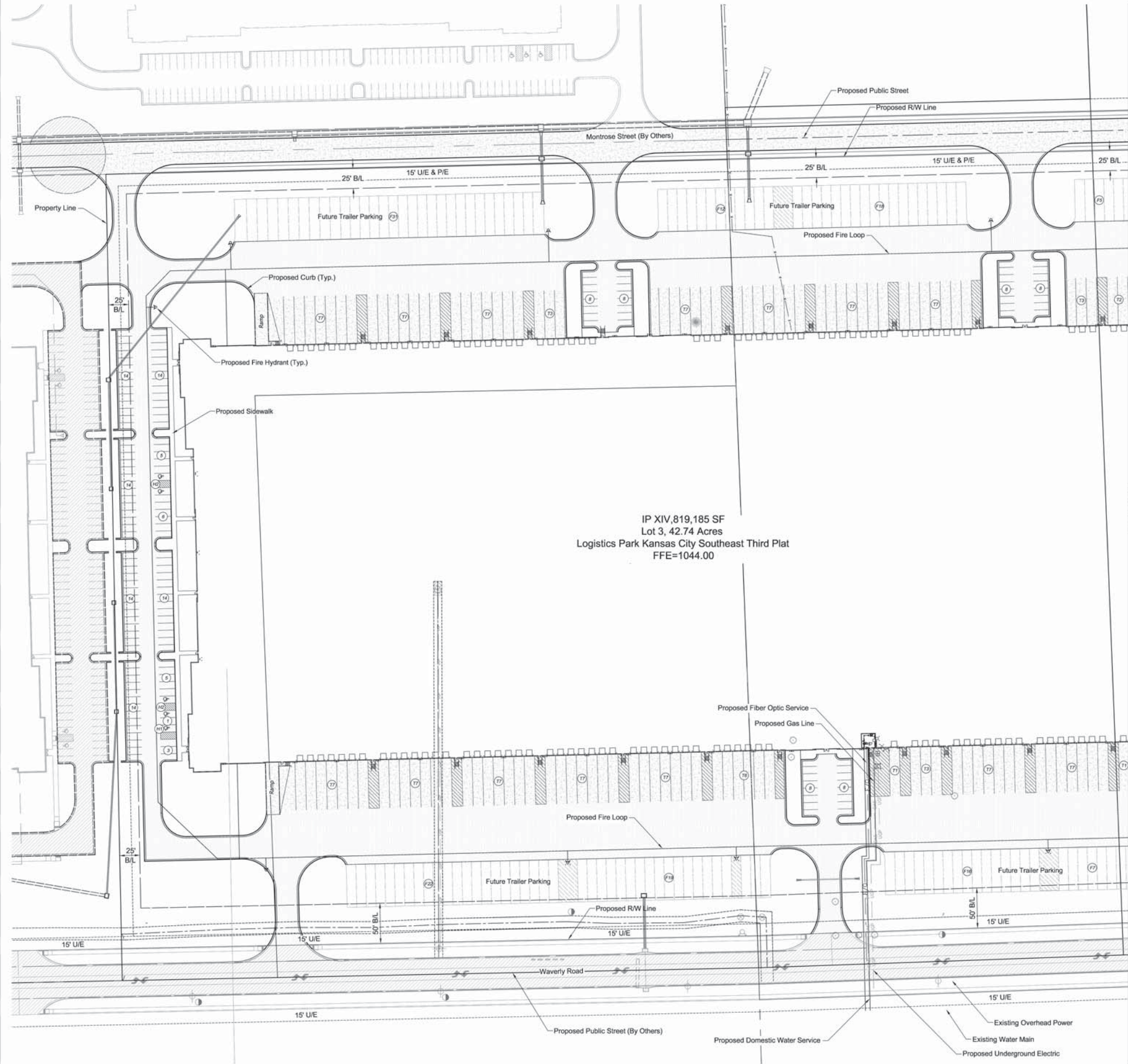
**FINKLE | WILLIAMS**  
7007 College Boulevard, Suite 415  
Overland Park, Kansas 66211  
PH. 913.498.1550 F. 913.498.1042

## T NUMBER

C01  
Title Sheet







IP XIV,819,185 SF  
Lot 3, 42.74 Acres  
Logistics Park Kansas City Southeast Third Plat  
FFE=1044.00

- LAYOUT & PAVING NOTES**
1. All construction shall conform to the City of Edgerton's minimum design standards.
  2. Contractor shall keep a full set of KC-APWA Standard Details onsite at all times.
  3. The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies to the architect/engineer prior to beginning work.
  4. The contractor shall verify the exact location of all existing utilities, take care to protect utilities that are to remain, and repair contractor caused damage according to current local standards and at the contractor's expense. Coordinate all construction with the appropriate utility company.
  5. The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work.
  6. Prior to installing, constructing, or performing any work in the public right of way or on the public storm sewer line (including concrete pavement or connecting private drainage systems to the storm sewer), contact City of Edgerton Public Works at 913.893.6801 for inspection of the work. Contact must be made at least 24 hours prior to start of the work.
  7. Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Adjust all utilities prior to installation of pavement.
  8. The contractor shall protect all trees to remain, in accordance with the specifications. Do not operate or store heavy equipment, nor handle, nor store materials within the driplines of trees or outside the limit of grading.
  9. Concrete walks and pads shall have a broom finish. All concrete shall be 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
  10. All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
  11. Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
  12. Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
  13. Parking stripes shall be 4-inch white pavement paint.
  14. For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.

- PAVEMENT MARKING AND SIGNAGE NOTES**
1. Parking stall marking stripes shall be four inch (4") wide white stripes. Handicap stall marking shall be furnished at locations shown on plans.
  2. Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform Traffic Control Devices."
  3. Traffic control and pavement markings shall be painted with a white Sherwin Williams S-W traffic marking series b-29y2 or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

**Paving Schedule**

|                                |  |
|--------------------------------|--|
| 7" Asphaltic Concrete Pavement |  |
| 8" Portland Concrete Pavement  |  |



**Renaissance Infrastructure Consulting**  
5015 NW CANAL STREET, SUITE 100  
RIVERSIDE, MISSOURI 64150  
816.800.0950  
WWW.RIC-CONSULT.COM



**Inland Port XIV**  
191st & Waverly Road  
Edgerton, Kansas



Project No.: 1345.10  
Date: 03.12.19  
Issued For: FINAL DEVELOPMENT PLAN

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GENERAL LAYOUT  
NORTH



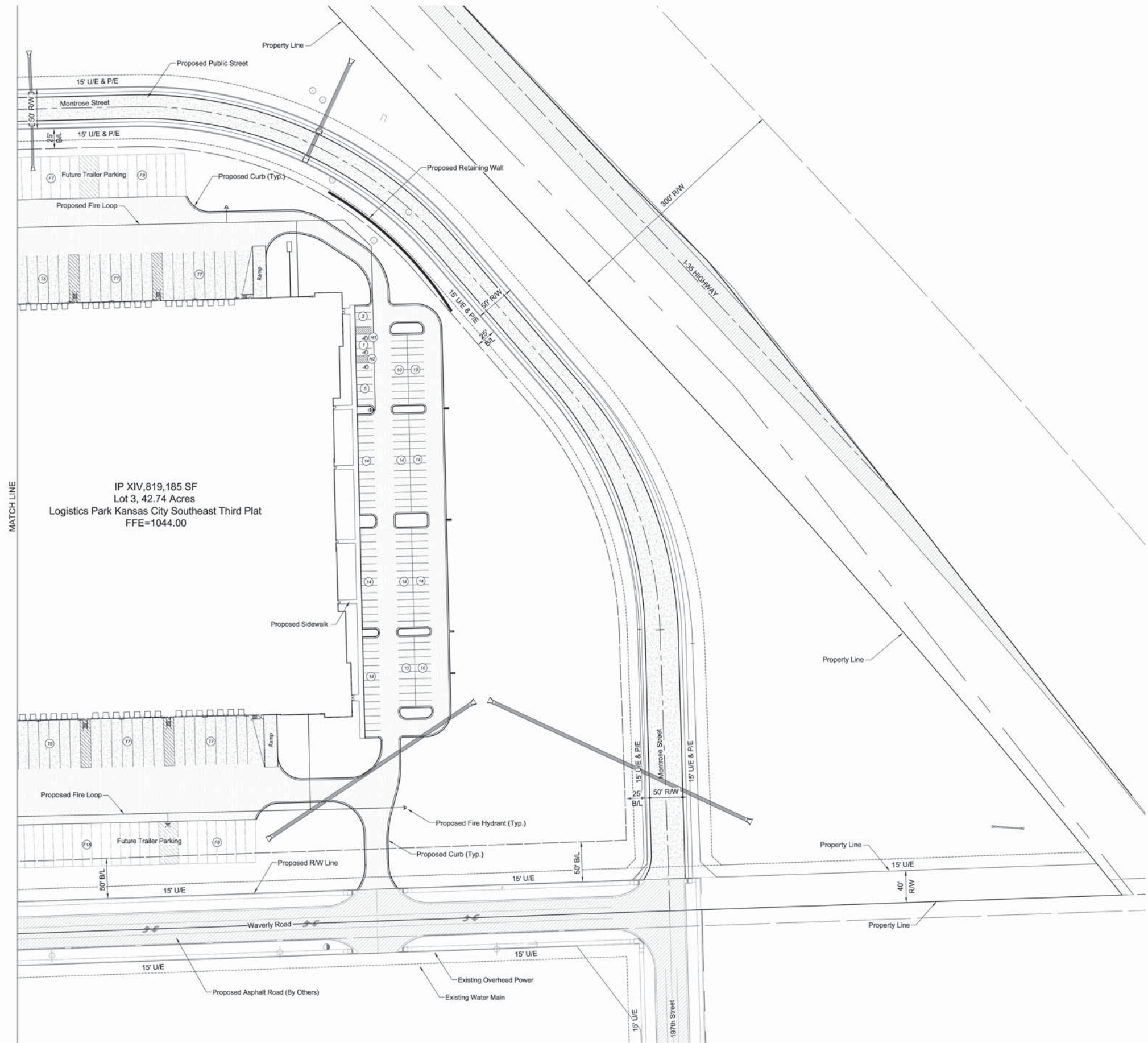
**PROJECT TEAM**

|                 |                                       |
|-----------------|---------------------------------------|
| ARCHITECT       | FINKLEWILLIAMS ARCHITECTURE           |
| CIVIL           | RENAISSANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | RENAISSANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                            |
| STRUCTURAL      | ALPER AUDI                            |
| PLUMBING        | CENTRAL PLUMBING                      |
| MECHANICAL      | NATIONAL DESIGN BUILD                 |
| ELECTRICAL      | HERITAGE ELECTRIC                     |
| FIRE PROTECTION | FE MORAN                              |
| CONTRACTOR      | CLAYCO                                |

**FINKLE | WILLIAMS**  
7007 College Boulevard, Suite 415  
Overland Park, Kansas 66211  
PH: 913.498.1350 F: 913.498.1042

SHEET NUMBER  
**C02**  
General Layout





IP XIV, 819,185 SF  
Lot 3, 42.74 Acres  
Logistics Park Kansas City Southeast Third Plat  
FFE=1044.00

LAYOUT & PAVING NOTES

- All construction shall conform to the City of Edgerton's minimum design standards.
- Contractor shall keep a full set of KC-APWA Standard Details onsite at all times.
- The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies to the architect/engineer prior to beginning work.
- The contractor shall verify the exact location of all existing utilities, take care to protect utilities that are to remain, and repair contractor caused damage according to current local standards and at the contractor's expense. Coordinate all construction with the appropriate utility company.
- The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work.
- Prior to installing, constructing, or performing any work in the public right of way or on the public storm sewer line (including concrete pavement or connecting private drainage systems to the storm sewer), contact City of Edgerton Public Works at 913.893.6801 for inspection of the work. Contact must be made at least 24 hours prior to start of the work.
- Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Adjust all utilities prior to installation of pavement.
- The contractor shall protect all trees to remain, in accordance with the specifications. Do not operate or store heavy equipment, nor handle, nor store materials within the driplines of trees or outside the limit of grading.
- Concrete walks and pads shall have a broom finish. All concrete shall be 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
- All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
- Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
- Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
- Parking stripes shall be 4-inch white pavement paint.
- For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.

PAVEMENT MARKING AND SIGNAGE NOTES

- Parking stall marking stripes shall be four inch (4") wide white stripes. Handicap stall marking shall be furnished at locations shown on plans.
- Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform Traffic Control Devices."
- Traffic control and pavement markings shall be painted with a white Sherwin Williams S-W traffic marking series b-29y2 or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

Paving Schedule

7" Asphaltic Concrete Pavement

8" Portland Concrete Pavement



Inland Port XIV  
191st & Waverly Road  
Edgerton, Kansas



Project No.: 1345.10  
Date: 03.12.19  
Issued For: FINAL DEVELOPMENT PLAN

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REGISTRATION

SHEET TITLE

GENERAL LAYOUT  
SOUTH



PROJECT TEAM

|                 |                                       |
|-----------------|---------------------------------------|
| ARCHITECT       | FINKLE WILLIAMS ARCHITECTURE          |
| CIVIL           | RENAISSANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | RENAISSANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                            |
| STRUCTURAL      | ALPER AUDI                            |
| PLUMBING        | CENTRAL PLUMBING                      |
| MECHANICAL      | NATIONAL DESIGN BUILD                 |
| ELECTRICAL      | HERITAGE ELECTRIC                     |
| FIRE PROTECTION | FE MORAN                              |
| CONTRACTOR      | CLAYCO                                |

ARCHITECTURE

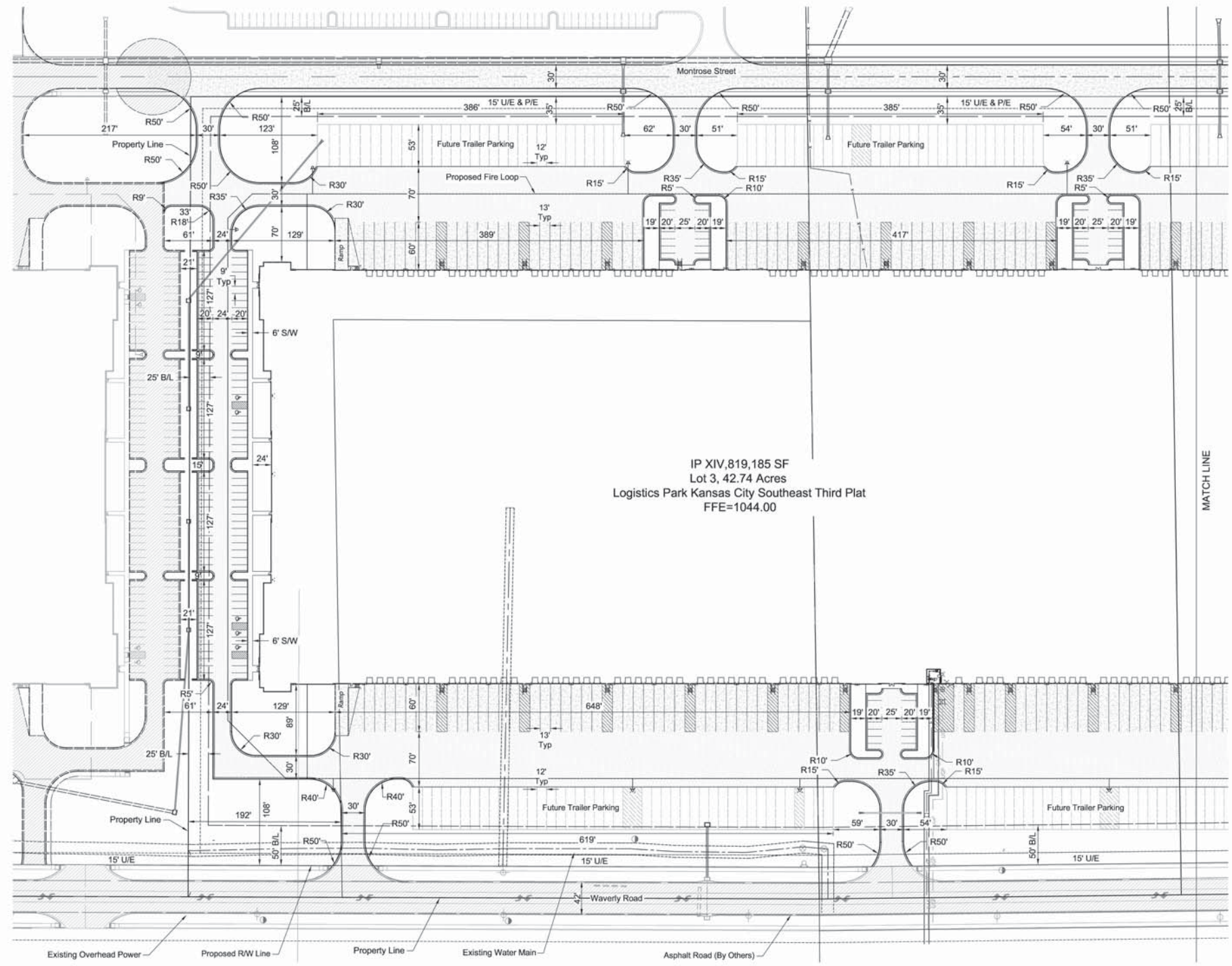


FINKLE | WILLIAMS  
7007 College Boulevard, Suite 415  
Overland Park, Kansas 66211  
PH: 913.498.1550 F: 913.498.1042

SHEET NUMBER

C03  
General Layout





Inland Port XIV  
191st & Waverly Road  
Edgerton, Kansas



Project No.: 1345.10  
Date: 03.12.15  
Issued For: FINAL DEVELOPMENT PLAN

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| REGISTRATION |      |             |

SHEET TITLE  
  
SITE DIMENSION PLAN  
NORTH

| PROJECT TEAM    |                                       |
|-----------------|---------------------------------------|
| ARCHITECT       | FINKLEWILLIAMS ARCHITECTURE           |
| CIVIL           | RENAISSANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | RENAISSANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                            |
| STRUCTURAL      | ALPER AUDI                            |
| PLUMBING        | CENTRAL PLUMBING                      |
| MECHANICAL      | NATIONAL DESIGN BUILD                 |
| ELECTRICAL      | HERITAGE ELECTRIC                     |
| FIRE PROTECTION | FE MORAN                              |
| CONTRACTOR      | CLAYCO                                |

ARCHITECTURE  
**F|W**  
FINKLE | WILLIAMS  
7007 College Boulevard, Suite 415  
Overland Park, Kansas 66211  
PH. 913.498.1350 F. 913.498.1042

SHEET NUMBER  
**C04**  
Site Dimension

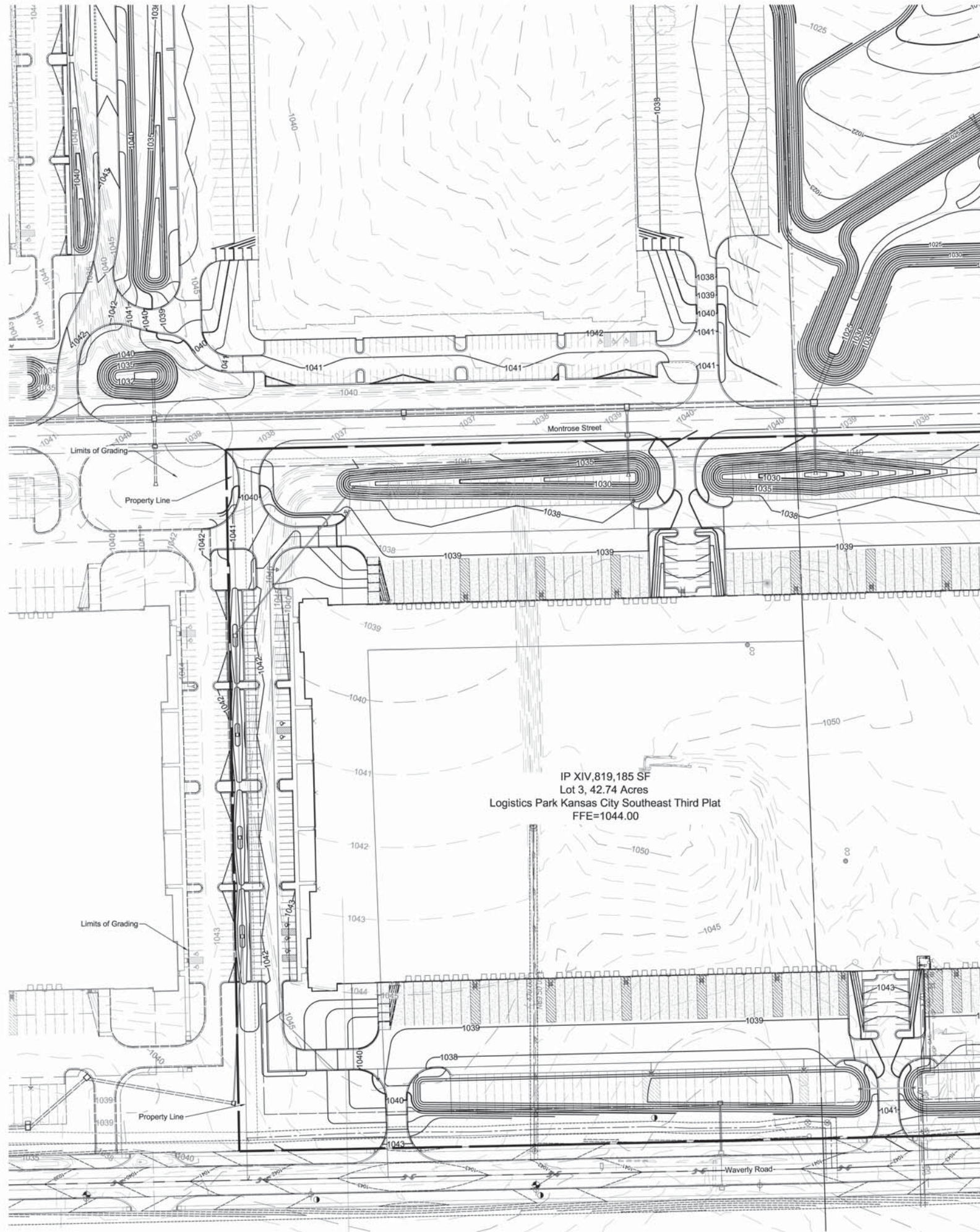


**Renaissance Infrastructure Consulting**  
5015 NW CANAL STREET, SUITE 100  
RIVERSIDE, MISSOURI 64150  
816.800.0950  
WWW.RIC-CONSULT.COM









- GRADING NOTES**
1. All construction shall conform to the City of Edgerton's minimum design standards.
  2. Spot Grades shown herein shall govern over finished grades.
  3. All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
  4. The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
  5. The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
  6. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
  7. The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
  8. Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
  9. All work shall be confined within easements and/or construction limits as shown on the plans.
  10. Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
  11. All National Pollution Discharge Elimination System(NPDES) standards shall be met.
  12. Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.



**Inland Port XIV**  
191st & Waverly Road  
Edgerton, Kansas



Project No.: 1345.10  
Date: 03.12.15  
Issued For: FINAL DEVELOPMENT PLAN

| REVISIONS    |      |             |
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SHEET TITLE

GRADING PLAN  
NORTH



| PROJECT TEAM    |                                       |
|-----------------|---------------------------------------|
| ARCHITECT       | FINKLE WILLIAMS ARCHITECTURE          |
| CIVIL           | RENAISSANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | RENAISSANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                            |
| STRUCTURAL      | ALPER AUDI                            |
| PLUMBING        | CENTRAL PLUMBING                      |
| MECHANICAL      | NATIONAL DESIGN BUILD                 |
| ELECTRICAL      | HERITAGE ELECTRIC                     |
| FIRE PROTECTION | FE MORAN                              |
| CONTRACTOR      | CLAYCO                                |



**FINKLE WILLIAMS**  
7007 College Boulevard, Suite 415  
Overland Park, Kansas 66211  
PH: 913.498.1550 F: 913.498.1042

SHEET NUMBER  
**C06**  
Overall Grading





Inland Port XIV  
191st & Waverly Road  
Edgerton, Kansas



Project No.: 1345.10  
Date: 03.12.15  
Issued For: FINAL DEVELOPMENT PLAN

| REVISIONS    |      |             |
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| REGISTRATION |      |             |

SHEET TITLE

GRADING PLAN  
SOUTH



| PROJECT TEAM    |                                       |
|-----------------|---------------------------------------|
| ARCHITECT       | FINKLE WILLIAMS ARCHITECTURE          |
| CIVIL           | RENAISSANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | RENAISSANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                            |
| STRUCTURAL      | ALPER AUDI                            |
| PLUMBING        | CENTRAL PLUMBING                      |
| MECHANICAL      | NATIONAL DESIGN BUILD                 |
| ELECTRICAL      | HERITAGE ELECTRIC                     |
| FIRE PROTECTION | FE MORAN                              |
| CONTRACTOR      | CLAYCO                                |

ARCHITECTURE

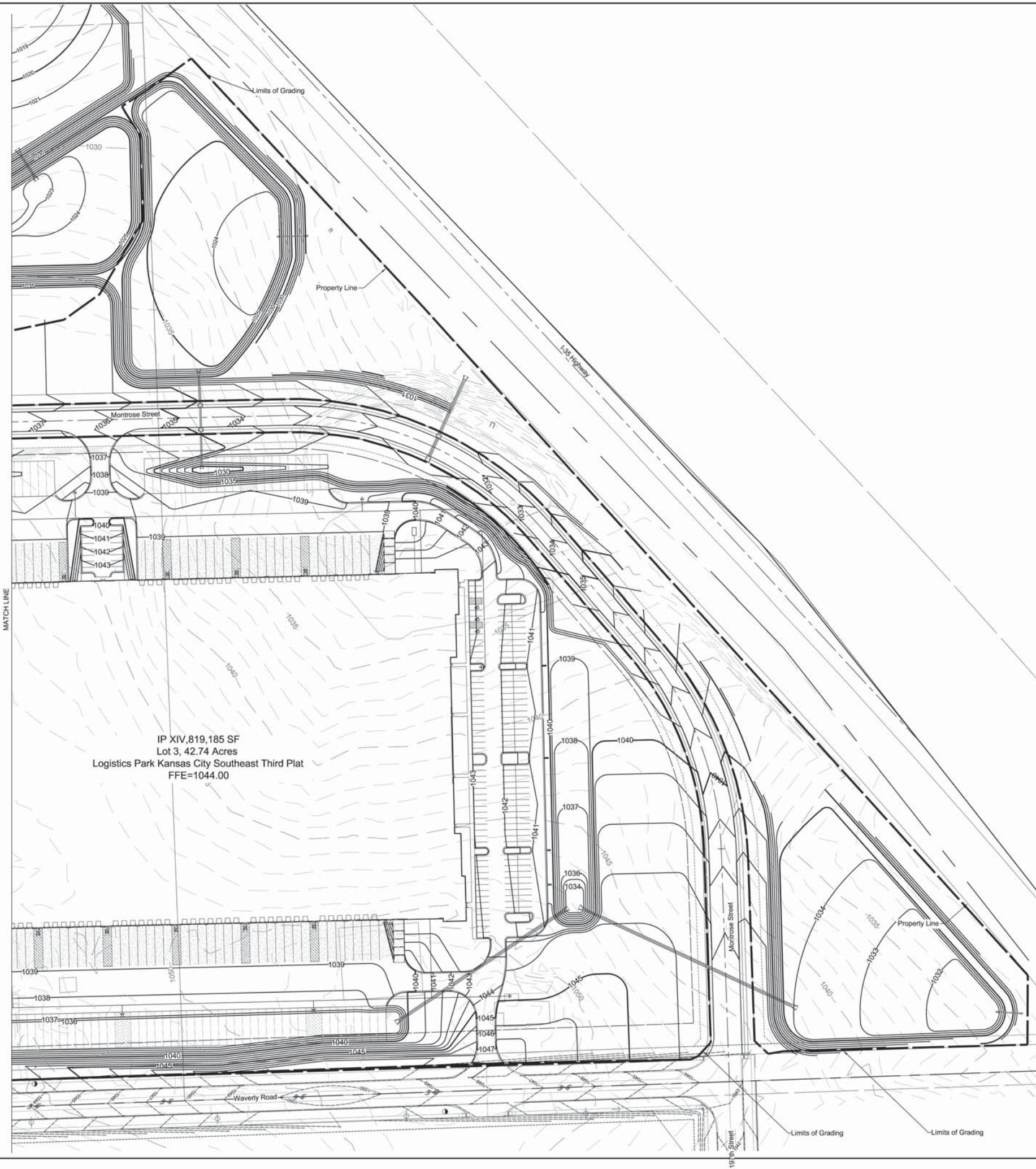


FINKLE | WILLIAMS  
7007 College Boulevard, Suite 415  
Overland Park, Kansas 66211  
PH. 913.498.1550 F. 913.498.1042

SHEET NUMBER

C07

Overall Grading



- GRADING NOTES**
- All construction shall conform to the City of Edgerton's minimum design standards.
  - Spot Grades shown herein shall govern over finished grades.
  - All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
  - The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
  - The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
  - The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
  - The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
  - Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
  - All work shall be confined within easements and/or construction limits as shown on the plans.
  - Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
  - All National Pollution Discharge Elimination System (NPDES) standards shall be met.
  - Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.











Inland Port XIV  
191st & Waverly Road  
Edgerton, Kansas



Project No. 154510  
Date: 02.12.15  
Issued For: FINAL DEVELOPMENT PLAN

| REVISIONS    |             |
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| REGISTRATION |             |

SHEET TITLE

STORM DRAINAGE MAP  
SOUTH



PROJECT TEAM

|                 |                                       |
|-----------------|---------------------------------------|
| ARCHITECT       | FINKLEWILLIAMS ARCHITECTURE           |
| CIVIL           | RENAISSANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | RENAISSANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                            |
| STRUCTURAL      | ALPER AUDI                            |
| PLUMBING        | CENTRAL PLUMBING                      |
| MECHANICAL      | NATIONAL DESIGN BUILD                 |
| ELECTRICAL      | HERITAGE ELECTRIC                     |
| FIRE PROTECTION | FE MORAN                              |
| CONTRACTOR      | CLAYCO                                |

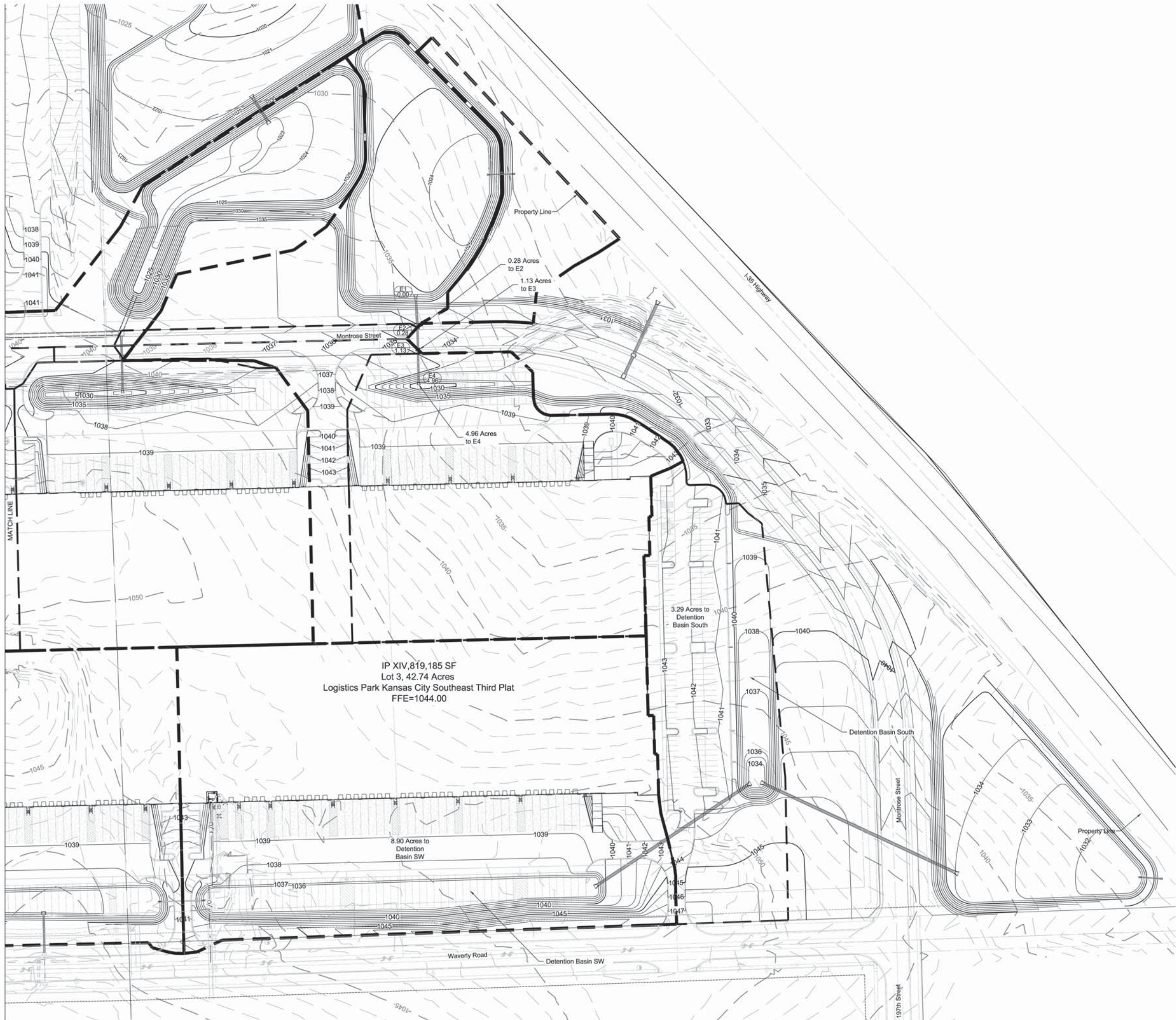
ARCHITECTURE

**FW**

FINKLE | WILLIAMS  
7007 College Boulevard, Suite 415  
Overland Park, Kansas 66211  
TEL: 913.496.1350 F: 913.496.1042

SHEET NUMBER

**C09**  
Storm Drng. Map











Inland Port XIV  
191st & Waverly Road  
Edgerton, Kansas



Project No. 234510  
Date: 02.12.15  
Issued For: FINAL DEVELOPMENT PLAN

| REVISIONS    |             |
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| REGISTRATION |             |

SHEET TITLE  
PRELIMINARY STORM PLAN  
SOUTH



| PROJECT TEAM    |                                       |
|-----------------|---------------------------------------|
| ARCHITECT       | FINKLE WILLIAMS ARCHITECTURE          |
| CIVIL           | RENAISSANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | RENAISSANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                            |
| STRUCTURAL      | ALPER AUDI                            |
| PLUMBING        | CENTRAL PLUMBING                      |
| MECHANICAL      | NATIONAL DESIGN BUILD                 |
| ELECTRICAL      | HERITAGE ELECTRIC                     |
| FIRE PROTECTION | FE MORAN                              |
| CONTRACTOR      | CLAYCO                                |

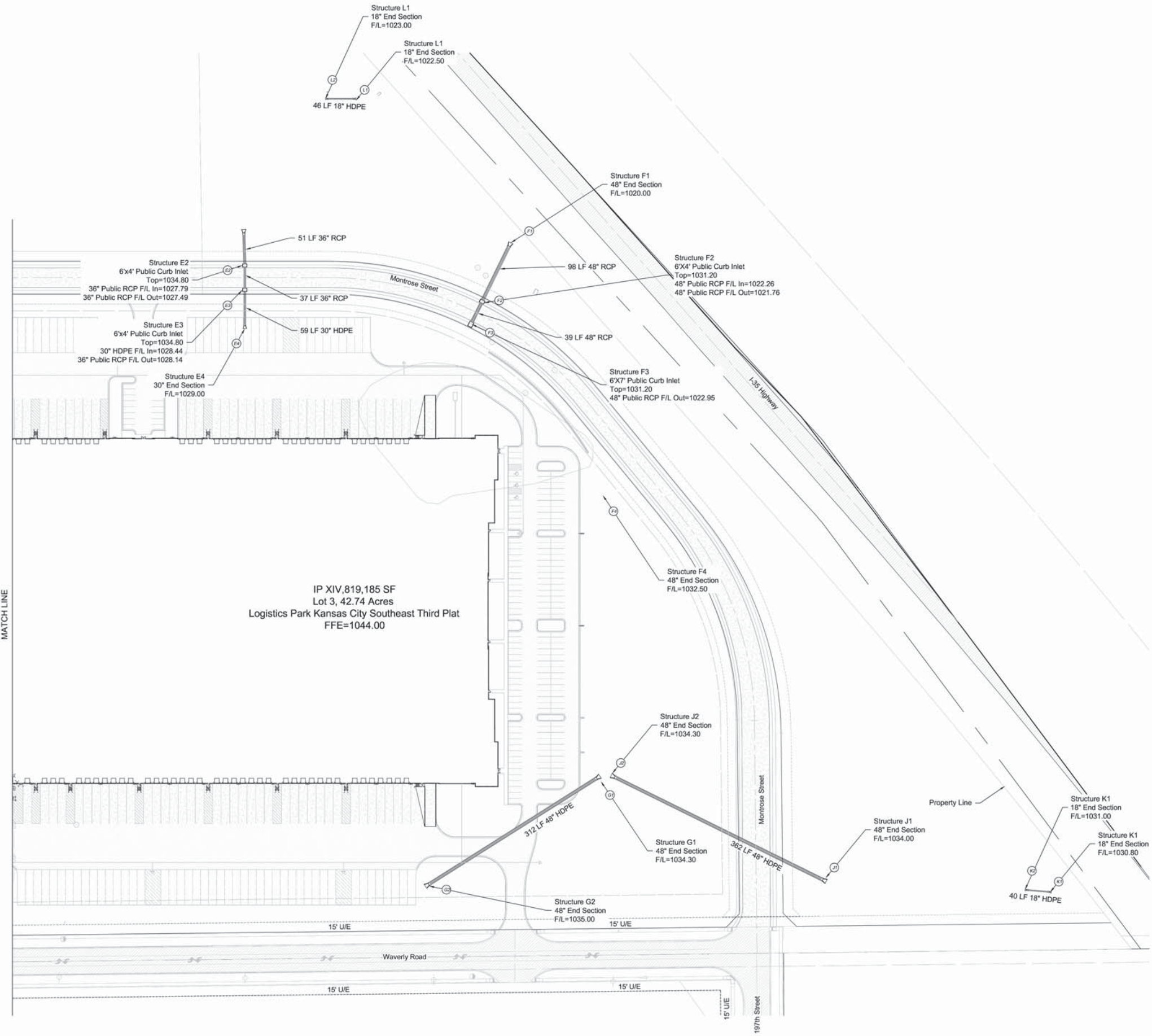
ARCHITECTURE



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7007 College Boulevard, Suite 415  
Overland Park, Kansas 66211  
TEL: 913.498.1550 / F: 913.498.1042

SHEET NUMBER

C11  
Prelim. Storm Plan



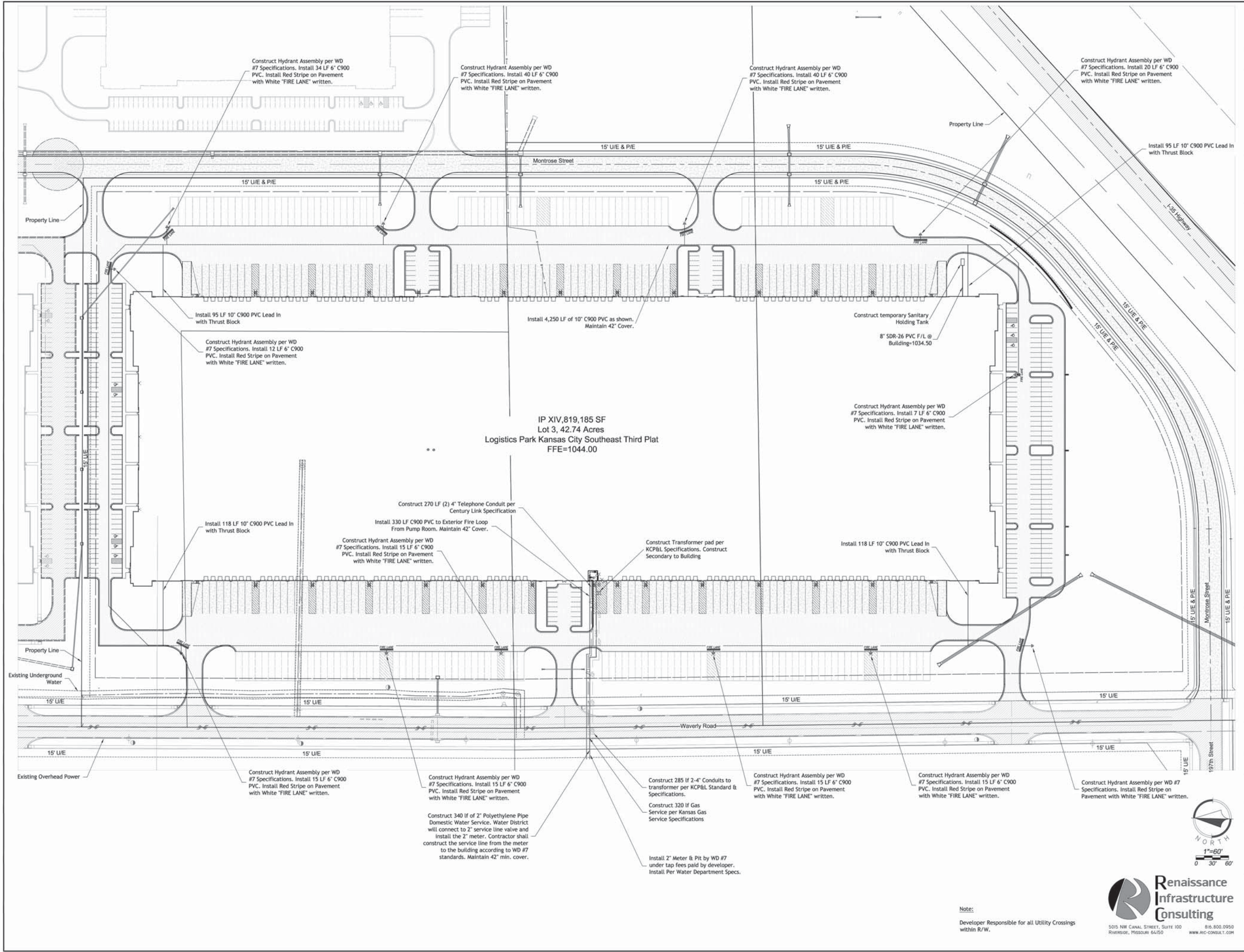




C12  
Storm Calcs







Note:  
Developer Responsible for all Utility Crossings within R/W.



**Renaissance**  
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Consulting

5015 NW CANAL STREET, SUITE 100  
RIVERSIDE, MISSOURI 64150

816.800.0950  
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**Inland Port XIV**  
191st & Waverly Road  
Edgerton, Kansas



Project No.: 1345.10  
Date: 03.12.19  
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SHEET TITLE

UTILITY PLAN



| PROJECT TEAM    |                                       |
|-----------------|---------------------------------------|
| ARCHITECT       | FINKLE WILLIAMS ARCHITECTURE          |
| CIVIL           | RENAISSANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | RENAISSANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                            |
| STRUCTURAL      | ALPER AUDI                            |
| PLUMBING        | CENTRAL PLUMBING                      |
| MECHANICAL      | NATIONAL DESIGN BUILD                 |
| ELECTRICAL      | HERITAGE ELECTRIC                     |
| FIRE PROTECTION | FE MORAN                              |
| CONTRACTOR      | CLAYCO                                |



**FINKLE | WILLIAMS**  
7007 College Boulevard, Suite 415  
Overland Park, Kansas 66211  
PH: 913.498.1350 F: 913.498.1042

SHEET NUMBER  
**C13**  
Utility Plan



RIGHT OF WAY BUFFER REQUIRED:  
WAVERLY = 2,029'  
REQUIRED  
BUFFER WIDTH 10'  
TREES = 1/50' = 41  
PROVIDED  
BUFFER WIDTH 10'  
SHADE TREES = 39  
EVERGREENS = 81  
  
INTERNAL STREET FRONTAGE = 2,717'  
REQUIRED  
BUFFER WIDTH 10'  
TREES = 1/50' = 54  
PROVIDED  
BUFFER WIDTH 10'  
SHADE TREES = 40  
EVERGREENS = 72

Inland Port XIV  
191st & Waverly Road  
Edgerton, Kansas

Project No. 14-0244  
Date: 3-12-15  
Issued For: FINAL DEVELOPMENT PLAN

| REVISIONS    |             |
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LANDSCAPE PLAN

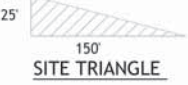
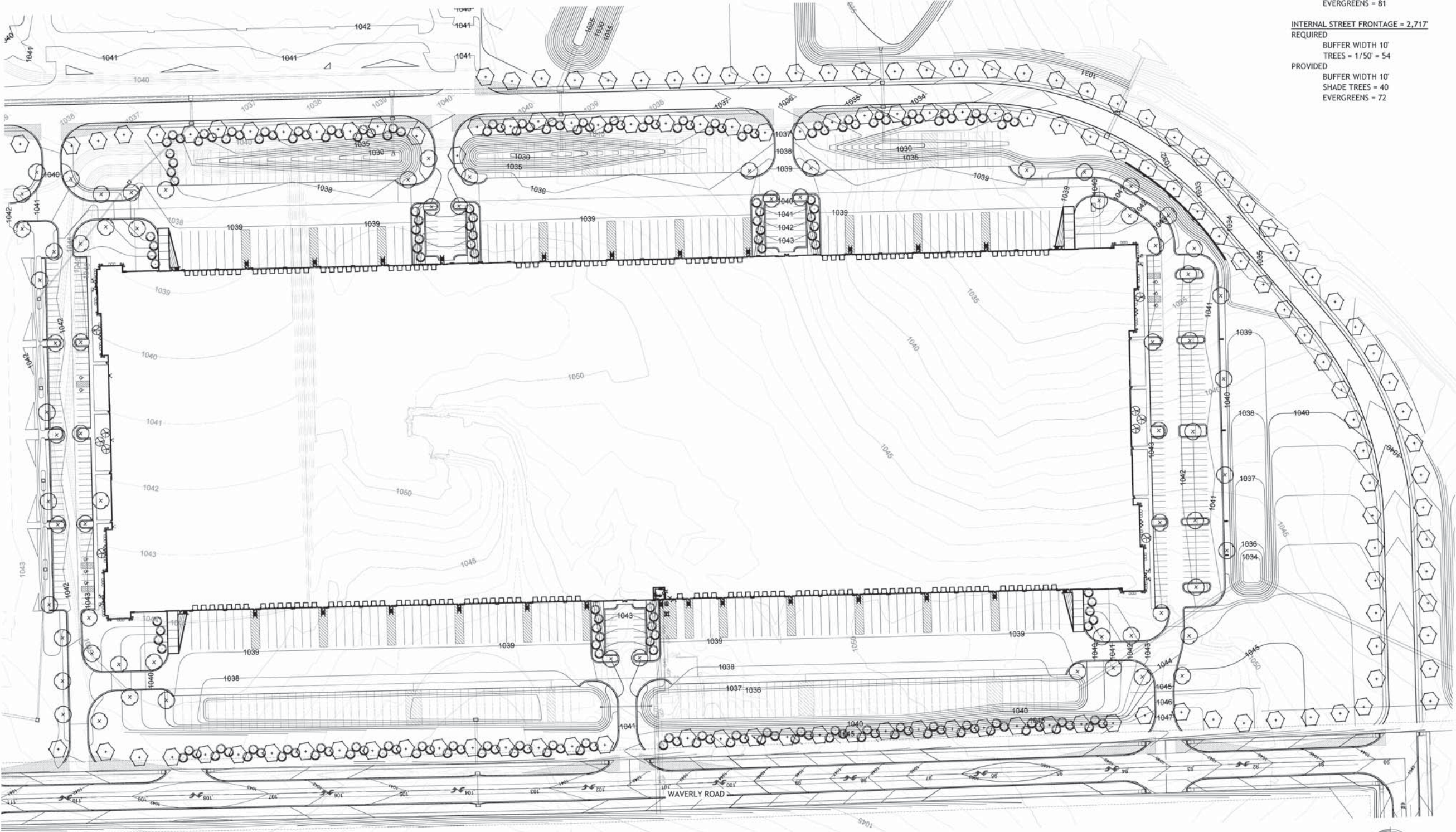
| PROJECT TEAM    |                                       |
|-----------------|---------------------------------------|
| ARCHITECT       | FAWLETT WILLIAMS ARCHITECTURE         |
| CIVIL           | RENAISSANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | RENAISSANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                            |
| STRUCTURAL      | ALPER AUDI                            |
| PLUMBING        | CENTRAL PLUMBING                      |
| MECHANICAL      | NATIONAL DESIGN BUILD                 |
| ELECTRICAL      | HERITAGE ELECTRIC                     |
| FIRE PROTECTION | FE MORAN                              |
| CONTRACTOR      | CLAYCO                                |



**Renaissance**  
Infrastructure  
Consulting

5150 CANAL STREET, SUITE 100  
RIVERSIDE, MISSOURI 64150  
913.317.9500  
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MISSOURI CERTIFICATE OF AUTHORITY NO. 2010033630





| REVISIONS    |             |
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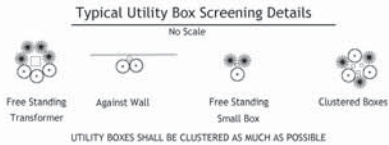
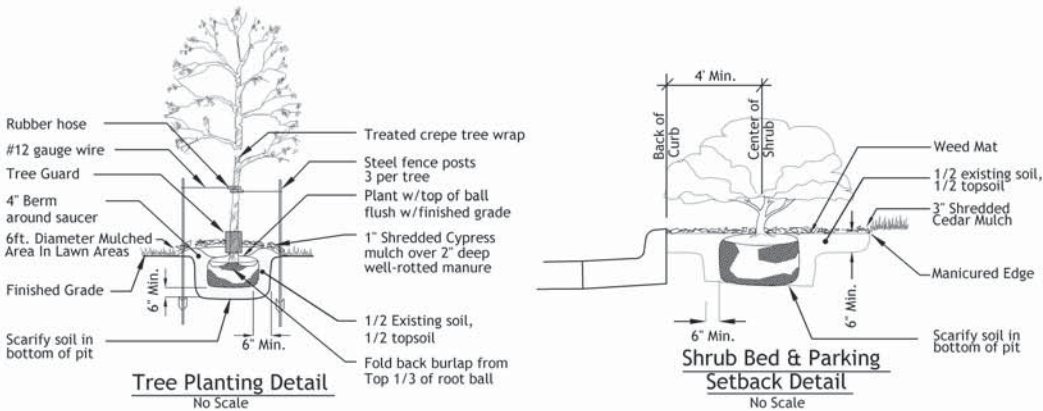
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LANDSCAPE PLAN

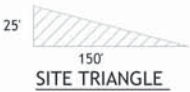
| PROJECT TEAM    |                                       |
|-----------------|---------------------------------------|
| ARCHITECT       | PAWLEWILLIAMS ARCHITECTURE            |
| CIVIL           | RENAISSANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | RENAISSANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                            |
| STRUCTURAL      | ALPER AUDI                            |
| PLUMBING        | CENTRAL PLUMBING                      |
| MECHANICAL      | NATIONAL DESIGN BUILD                 |
| ELECTRICAL      | HERITAGE ELECTRIC                     |
| FIRE PROTECTION | ITE MORAN                             |
| CONTRACTOR      | CLAYCO                                |

SHEET NUMBER

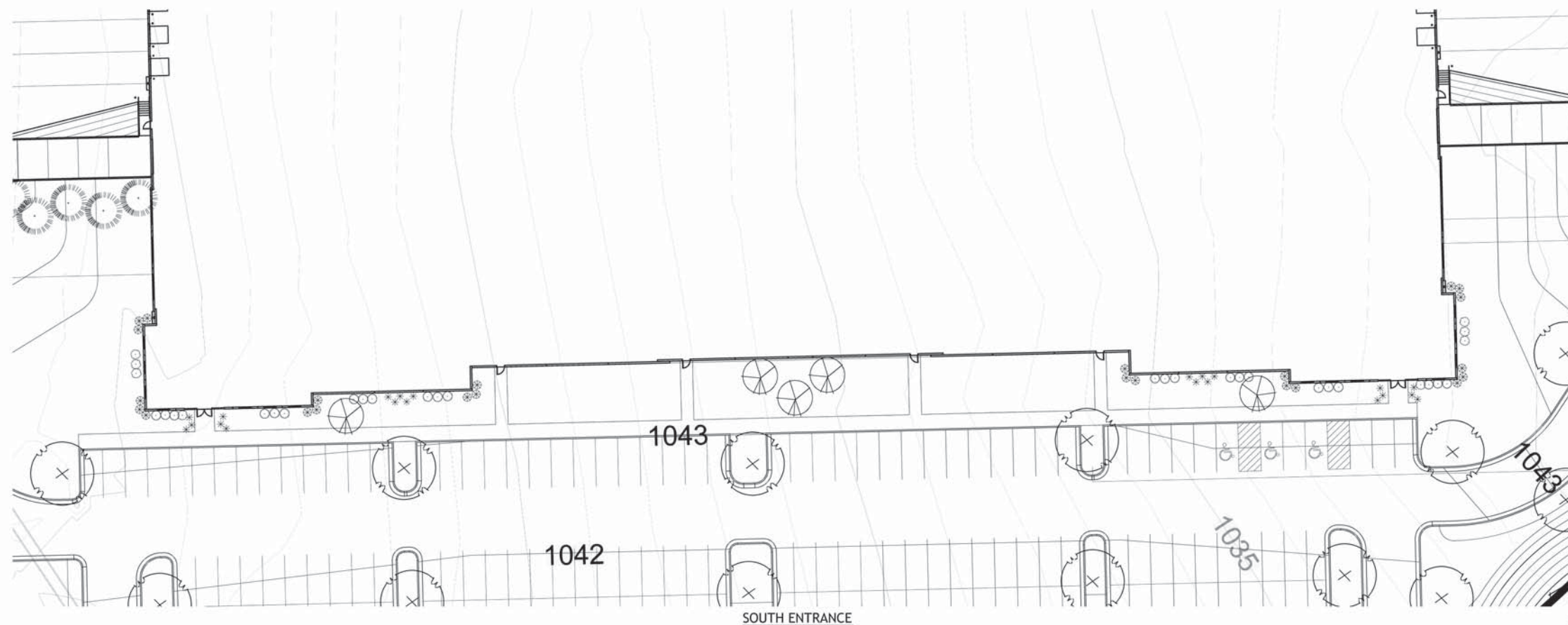
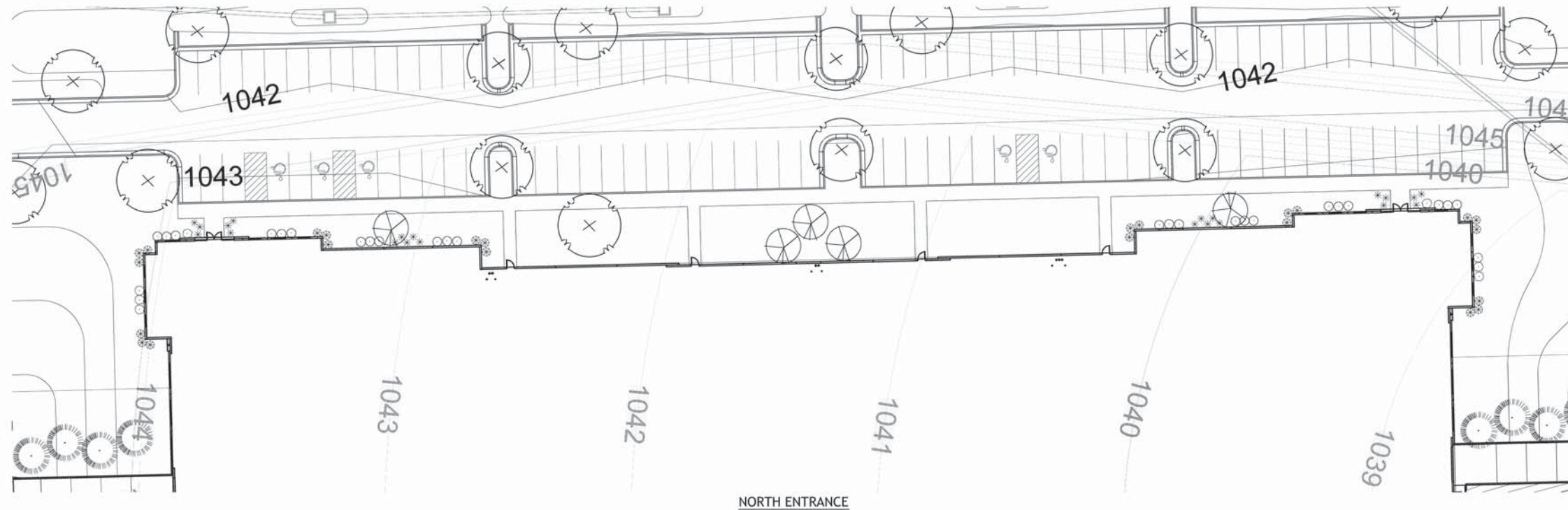
L02  
Notes



| SIGHT TRIANGLE |          |                                   |                                     |          |           |          |
|----------------|----------|-----------------------------------|-------------------------------------|----------|-----------|----------|
| Tree List      |          |                                   |                                     |          |           |          |
| Symbol         | Quantity | Common Name                       | Botanical Name                      | Size     | Condition | Spacing  |
|                | 36       | Autumn Blaze Maple                | Acer fremanii                       | 2.5" cal | BB        | As Shown |
|                | 71       | Celebration Maple                 | Acer x fremanii Celebration         | 2.5" cal | BB        | As Shown |
|                | 10       | Regal Prince Columnar English Oak | Quercus x warei 'Long'              | 1.5" cal | BB        | As Shown |
| Shrub List     |          |                                   |                                     |          |           |          |
| Symbol         | Quantity | Common Name                       | Botanical Name                      | Size     | Condition | Spacing  |
|                | 48       | Dwarf Winged Euonymus             | Euonymus Alatus 'Compactus'         | 24"      | Cont.     | 4'o.c.   |
|                | 36       | Seagreen Juniper                  | Juniperus Chinensis 'Seagreen'      | 24"      | Cont.     | 4'o.c.   |
|                | 44       | Morning Light Maiden Grass        | Miscanthos Sinensis 'Morning Light' | 3 gal.   | Cont.     | 4'o.c.   |
|                | 16       | Anthony Waterer Spirea            | Spirea Bumalda 'Anthony Waterer'    | 24"      | Cont.     | 4'o.c.   |







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MISSOURI CERTIFICATE OF AUTHORITY NO. 2010033630  
3-9-15

**Inland Port XIV**  
191st & Waverly Road  
Edgerton, Kansas

Project No. 14-0244  
Date: 3-12-15  
Issued For: FINAL DEVELOPMENT PLAN

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| REGISTRATION |      |             |

LANDSCAPE PLAN

| PROJECT TEAM    |                                       |
|-----------------|---------------------------------------|
| ARCHITECT       | FAWLETT WILLIAMS ARCHITECTURE         |
| CIVIL           | RENAISSANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | RENAISSANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                            |
| STRUCTURAL      | ALPER AUDI                            |
| PLUMBING        | CENTRAL PLUMBING                      |
| MECHANICAL      | NATIONAL DESIGN BUILD                 |
| ELECTRICAL      | HERITAGE ELECTRIC                     |
| FIRE PROTECTION | FE MORAN                              |
| CONTRACTOR      | CLAYCO                                |

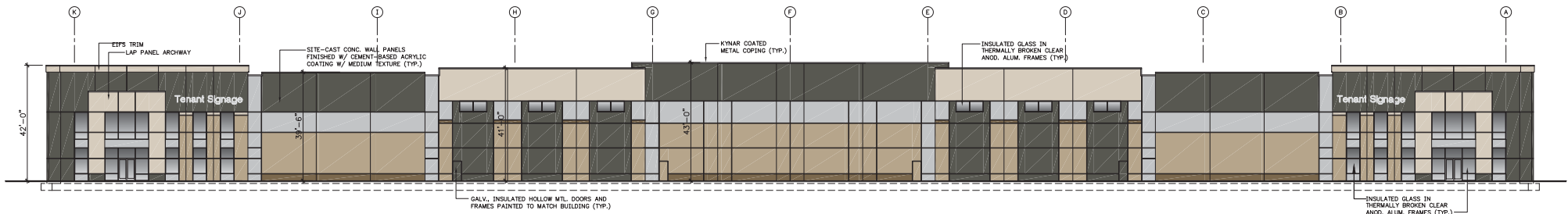
SHEET NUMBER  
**L03**  
Landscape Plan



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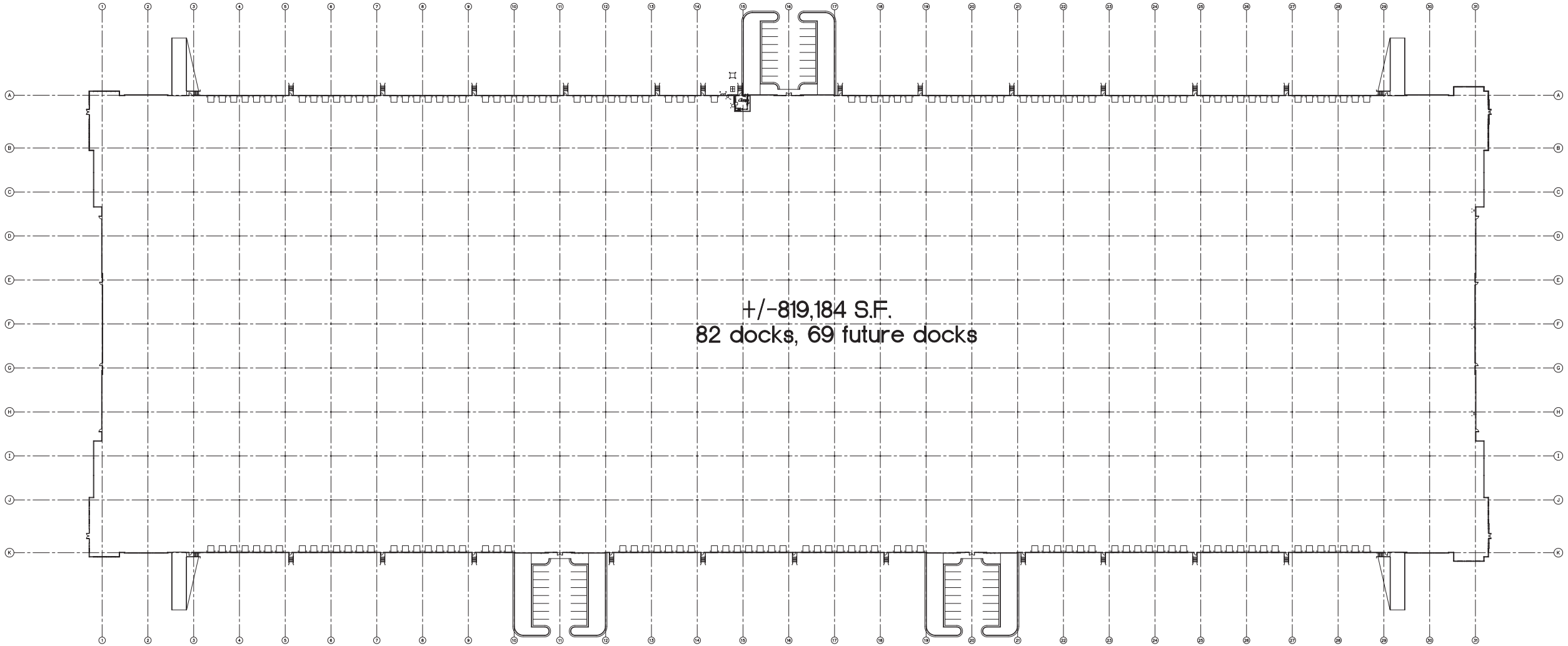
3 NORTH ELEVATION

A101 SCALE : 1" = 20'



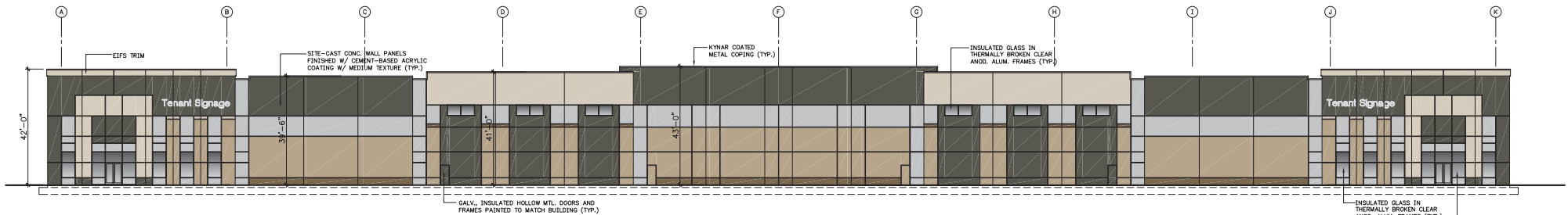
2 FLOOR PLAN

A101 SCALE : 1" = 50'



1 SOUTH ELEVATION

A101 SCALE : 1" = 20'



Inland Port XIV  
191st & Waverly Road  
Edgerton, Kansas



Project No. 134834  
Date 3/4/15  
Issued For PRELIMINARY PROPOSAL SET

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REVISION

SHEET TITLE

| PROJECT TEAM    |                                      |
|-----------------|--------------------------------------|
| ARCHITECT       | FINKLE WILLIAMS ARCHITECTURE         |
| CIVIL           | REVAIRANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | REVAIRANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                           |
| STRUCTURAL      | ALPER AUDI                           |
| PLUMBING        | CENTRAL PLUMBING                     |
| MECHANICAL      | NATIONAL DESIGN BUILD                |
| ELECTRICAL      | HERITAGE ELECTRIC                    |
| FIRE PROTECTION | FE MORAN                             |
| CONTRACTOR      | CLAYCO                               |

ARCHITECTURE



FINKLE WILLIAMS  
7007 College Boulevard, Suite 415  
Overland Park, Kansas 66211  
PH. 913.498.1550 F. 913.498.1042

SHEET NUMBER

A1.01





Inland Port XIV  
191st & Waverly Road  
Edgerton, Kansas



Project No: 154834  
Date: 3/4/15  
Issued For: PRELIMINARY PROGRAM SET

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SHEET TITLE

PROJECT TEAM

|                 |                                      |
|-----------------|--------------------------------------|
| ARCHITECT       | FINKLE WILLIAMS ARCHITECTURE         |
| Civil           | REVAIRANCE INFRASTRUCTURE CONSULTING |
| LANDSCAPE       | REVAIRANCE INFRASTRUCTURE CONSULTING |
| FOUNDATIONS     | ALPER AUDI                           |
| STRUCTURAL      | ALPER AUDI                           |
| PLUMBING        | CENTRAL PLUMBING                     |
| MECHANICAL      | NATIONAL DESIGN BUILD                |
| ELECTRICAL      | HERITAGE ELECTRIC                    |
| FIRE PROTECTION | FE MORAN                             |
| CONTRACTOR      | CLAYCO                               |

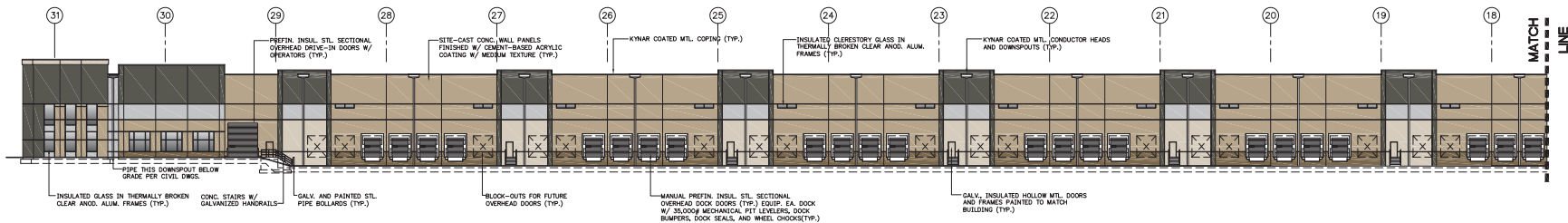
ARCHITECTURE

**FW**

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7007 College Boulevard, Suite 415  
Overland Park, Kansas 66211  
PH: 913.498.1550 F: 913.498.1042

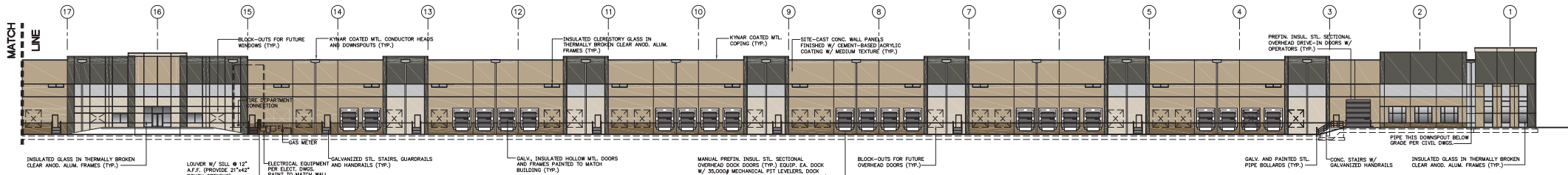
SHEET NUMBER

A1.02



## 6 PARTIAL WEST ELEVATION

A102 SCALE : 1" = 30'

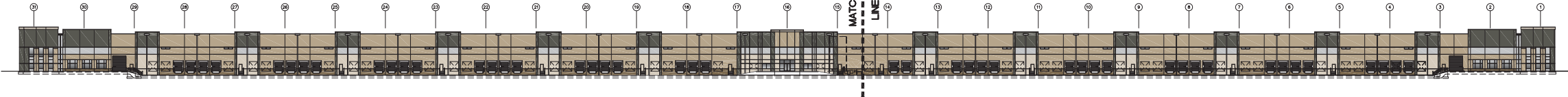


## 5 PARTIAL WEST ELEVATION

A102 SCALE : 1" = 30'

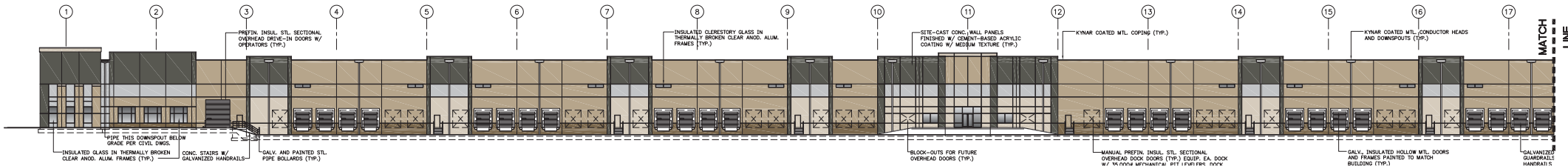
RE: 5/A102 - PARTIAL WEST ELEVATION

RE: 6/A102 - PARTIAL WEST ELEVATION



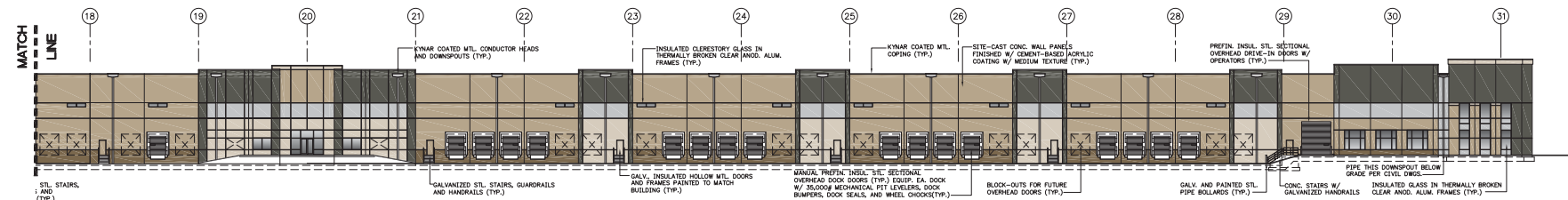
## 4 OVERALL WEST ELEVATION

A102 SCALE : 1" = 50'



## 3 PARTIAL EAST ELEVATION

A102 SCALE : 1" = 30'

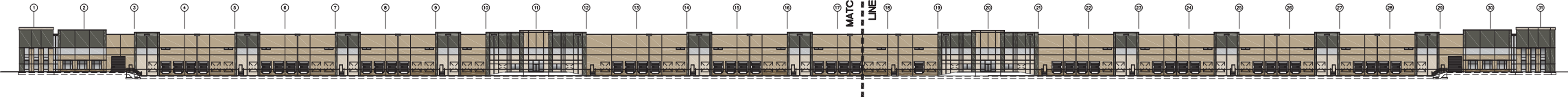


## 2 PARTIAL EAST ELEVATION

A102 SCALE : 1" = 30'

RE: 2/A102 - PARTIAL SOUTH ELEVATION

RE: 3/A102 - PARTIAL SOUTH ELEVATION



## 1 OVERALL EAST ELEVATION

A102 SCALE : 1" = 40'

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