

EDGERTON PLANNING COMMISSION AGENDA  
REGULAR SESSION  
Edgerton City Hall  
July 11, 2017  
7:00 PM

1. Call Meeting to Order
2. Pledge of Allegiance
3. Roll Call
4. Election of 2017-2018 Officers
5. **CONSENT AGENDA**  
*(Consent Agenda items will be acted upon by one motion unless a Planning Commissioner requests an item be removed for discussion and separate action)*

**MINUTES**

- A. Approval of Minutes for Regular Session of April 11, 2017
- B. Approval of Declaration of June 13, 2017
- C. Approval of Minutes for Special Session of June 20, 2017

**FINAL PLAT – LOGISTICS PLAT KANSAS CITY, PHASE VI, LOT 3 (INLAND PORT VII) FP2017-06**

- D. Approval of a Final Plat and forward to City Council for acceptance, FP2017-06, for Logistics Park Kansas City, Phase VI, Lot 3 (Inland Port VII) located in the Southeast Corner of Waverly Road and 185<sup>th</sup> Street, consisting of one (1) lot, containing approximately 58.642 acres, more or less. Applicant: Edgerton Land Holding Company Engineer: Renaissance Infrastructure Consulting

6. **NEW BUSINESS**

**PUBLIC HEARING – PRELIMINARY PLAT, 183<sup>RD</sup> AND MONTROSE ST. – PP2017-03 (INLAND PORTS IX AND X)**

- A. Consideration of opening a public hearing in regards to Preliminary Plat Application, PP2017-03, requesting approval of a preliminary plat for Logistics Park Kansas City Phase VI, Second Plat, Lots 1 and 2, located east of Waverly Road, north of 183<sup>rd</sup> St., a part of the southwest quarter of Section 26, Township 14S, Range 22 East, consisting of two (2) lots, containing approximately 79.776 acres, more or less. Owner/Applicant: ELHC IX, LLC and ELHC X, LLC. Engineer: Renaissance Infrastructure Consulting.

Action requested: Open the public hearing, receive comments, and consider motion to close or continue.

Consider motion to approve or deny the preliminary plat.

**FINAL PLAT – LOGISTICS PARK KANSAS CITY PHASE VI, SECOND PLAT, LOT 1, FP2017-03 (INLAND PORT IX)**

- B. Approval of a Final Plat, FP2017-03 for Logistics Park Kansas City Phase VI, Second Plat, Lot 1, located north of 183<sup>rd</sup> Street, east of Waverly Road, a part of southwest quarter of Section 27, Township 14 South, Range 22, consisting of one (1) lot containing approximately 36.356 acres, more or less. Owner: ELHC IX, LLC Engineer: Renaissance Infrastructure Consulting.

Action requested: Consider motion to recommend approve, deny, or table the final plat request and forward to City Council for acceptance.

**PUBLIC HEARING – PRELIMINARY SITE PLAN, 183<sup>rd</sup> AND MONTROSE ST. - PS2017-03 (INLAND PORTS IX AND X)**

- C. Consideration of opening a public hearing in regards to Preliminary Site Plan Application, PS2017-03, requesting approval of a preliminary site plan for Logistics Park Kansas City, Phase VI, First Plat, Lots 1 and 2, located north of 183<sup>rd</sup> Street, east of Waverly Road, a part of the southwest quarter of Section 26, Township 14S, Range 22 East, consisting of two (2) lots, containing approximately 79.776 acres, more or less. Owner/Applicant: ELHC IX, LLC and ELHC X, LLC. Engineer: Renaissance Infrastructure Consulting.

Action requested: Open the public hearing, receive comments, and consider motion to close or continue. Consider motion to approve or deny the preliminary site plan.

**FINAL SITE PLAN – LOGISTICS PARK KANSAS CITY, PHASE VI, FIRST PLAT, LOT 1, FS2017-02 (INLAND PORT IX)**

- D. Consideration of an application in regards to Final Site Plan, FS2017-02, requesting approval of a final site plan for Logistics Park Kansas City Phase VI, First Plat, Lot 1, located north of 183<sup>rd</sup> Street, east of Waverly Road, a part of the southeast quarter of Section 26, Township 14 South, Range 22 East, consisting of one (1) lot; containing approximately 36.356 acres, more or less. Owner: ELHC IX LLC Engineer: Renaissance Infrastructure Consulting.

Action requested: Consider motion to approve, deny, or table the final site plan request.

**PUBLIC HEARING – FINAL SITE PLAN FOR PART OF LOT 3 AND LOT 4, COUNTY CLERK'S SUBDIVISION, FS2017-05**

- E. Consideration of opening a public hearing in regards to Final Site Plan Application, FS2017-05, requesting approval of a final site plan for part of Lot 3 and Lot 4, County Clerk's Subdivision, a part of the northwest quarter of Section 7, Township 15S, Range 22 East, consisting of one (1) lot, containing 1.12 acres, more or less. Applicant: Colby Series 17

Action requested: Open the public hearing, receive comments, and consider motion to close or continue.

Consider motion to approve or deny the final site plan.

**PUBLIC HEARING – PRELIMINARY SITE PLAN LOGISTICS PARK KANSAS  
CITY PHASE VI, FIRST PLAT LOT 1 (INLAND PORT VII), PS2017-06**

- F. Consideration of opening a public hearing in regards to Preliminary Site Plan, PS2017-06, requesting approval of a final site plan for Logistics Park Kansas City, Phase VI, First Plat, Lot 1, located at 30901 W. 185<sup>th</sup> Street, consisting of one (1) lot, containing approximately 57.525 acres, more or less. Applicant: Edgerton Land Holding Company, LLC. Engineer: Renaissance Infrastructure Consulting.

Action requested: Open the public hearing, receive comments, and consider motion to close or continue.

Consider motion to approve or deny the preliminary site plan.

7. Future Meeting – August 8, 2017
8. Adjournment

EDGERTON COMMUNITY BUILDING  
PLANNING COMMISSION MEETING

April 11, 2017

Minutes

The Edgerton Planning Commission met in regular session with Chair Davis calling the meeting to order at 7:00 p.m.

All present participated in the Pledge of Allegiance.

The Roll Call was answered, indicating those present were: Commissioners Chuck Davis, Maria O'Neill, Bob O'Neill, Jamie Cunningham, John Daley, Eric Erazo, Leslie Hardin. Absent was: Joshua Lewis. Also present were Community Development Director Kenneth Cook, City Administrator Beth Linn and Recording Officer Debra Gragg.

The Recording Officer announced a quorum was present.

**ELECTION OF VICE-CHAIR**

Chair Davis indicated with the resignation of Ron Conus last month, the position of Vice-Chair is vacant. He also noted the annual election is in June, so the election Commissioner would only serve until after the election.

The members briefly discussed.

Motion by Hardin, seconded by Daley, to nominate Maria O'Neill to serve at Vice-Chair until completion of June, 2017 election process. The motion was approved, 7-0.

**CONSENT AGENDA**

Motion by B. O'Neill, seconded by M. O'Neill, to approve the consent agenda. Motion was approved, 7-0.

A. **Minutes – March 14, 2017**

Meeting Minutes of March 14, 2017 were considered and approved.

**REZONING, 183RD STREET AND MONTROSE (ZA2017-02) – PUBLIC HEARING**

Opening a public hearing in regards to an application submitted for the rezoning of property from Johnson County RUR to City of Edgerton L-P (Logistics Park) located in the southeast quadrant of 183<sup>rd</sup> and Montrose Street, containing approximately 79.359 acres, more or less was considered. Applicant: ELHC, LLC and Engineer: Renaissance Infrastructure Consulting.

Commissioner Lewis arrived at 7:07 p.m.

Mr. Davis opened the hearing.



Kenneth Cook, Community Development Director, overviewed application for rezoning with regards to the Golden Criteria as included in the staff report, including items such as characteristics of the neighborhood, compatibility of the proposed zoning and uses allowed with the zoning and uses of nearby properties.

Commissioner Daley asked if this goes right up against residential zoned property. Mr. Cook indicated the property is zoned for residential, but is vacant.

Chair Davis spoke about potential factors to interact with residential zoned property adjacent to this site.

Commissioner Lewis questioned if the recent rezoning to the north a couple months ago was the same. Mr. Cook indicated it is. Mr. Lewis stated favor with similar recommendations as before.

John Thomas, applicant, spoke about the property and briefly reviewed characteristics of the site.

City Administrator Beth Linn reminded the Commission the public hearing is in regards to the request for rezoning. Items related to the vertical development of the site will be considered at time of submittal of the site plan.

Fred Fraley, 18845 Waverly Road, informed the Commissioners he has a working farm adjacent to this location. He stated concern with water run-off, adding it is impossible to drain. He stated he has seen no plans regarding how this will be addressed. He requested the Planning Commission consider his concerns.

Mr. Thomas responded indicating the handling of stormwater for the site is being reviewed.

Motion by Hardin, seconded by M. O'Neill, to close the public hearing. The motion was approved, 8-0.

There were no further comment from the Commissioners.

Motion by Lewis, seconded by B. O'Neill, to approve the rezoning request with the following stipulations: 1.) All Site Plan application requirements of the City shall be met; 2.) All infrastructure requirements of the City shall be met; and 3.) Prior to issuance of building permits, the property shall be developed in accordance with a Site Plan reviewed and approved by the City. The motion was approved, 8-0.

### **PRELIMINARY PLAT, 183<sup>RD</sup> AND MONTROSE STREET (PP2017-02) – PUBLIC HEARING**

Opening of a public hearing in regards to Preliminary Plat application, PP2017-02, requesting approval of a preliminary plat for Logistics Park Kansas City Phase VI,

Second Plat, located south of 183<sup>rd</sup> Street, east of Montrose, a part of the northwest quarter of Section 35, Township 14S, Range 22 East, consisting of three (3) lots, containing approximately 160 acres; more or less, was considered. Owner/Edgerton Landholding Company, LLC Engineer: Renaissance Infrastructure Consulting

Chair Davis opened the public hearing.

The Community Development Director noted this request includes previous property as well as additional property. He indicated the previous property was preliminarily platted with two lots. He noted that with the acquisition of this additional tract, a new preliminary plat was drafted. He spoke about the vacation of 183<sup>rd</sup> Street right-of-way and overviewed the proposed preliminary plat. Mr. Cook noted some items staff will address on the plat with the applicant include: need or table showing lot area, setbacks and building envelope; update setbacks based on proposed building heights; show drainage easement for detention plan; update the trail easement on the east side of property; and update wording for the dedication instrument.

Mr. Cook informed the Commissioners the City Engineer will review the plan before the final plat is submitted.

Fred Fraley, 18845 Waverly Road, voiced concern with the road closure of 183<sup>rd</sup> because it impacts travel east and west, since the other streets will be constructed around the buildings.

John Thomas, applicant, noted the plat includes the intended vacation of 183<sup>rd</sup> Street. He also addressed preliminary characteristics for handling of stormwater and screening along the south line of Lot 2.

Mr. Fraley stated this is the same as he heard from the J.B. Hunt project. He noted the engineers stamped approval of the water design and it has failed. He added this area is larger, which can cause more issues. He stated all out there is negative – he stated he just wants fairness and consideration of water concerns.

Motion by B. O'Neill, seconded by Hardin, to close the hearing. Motion was approved, 8-0.

Chair Davis questioned how Mr. Fraley's concerns could be addressed.

Mr. Cook indicated the City Engineer will review the stormwater study submitted during the site plan process and provide comments for consideration by Planning Commission. Ms. Linn reviewed items for the Commission to consider as part of this public hearing in regards to a preliminary plat.

Mr. Thomas provided a summary of measure for handling stormwater used by the applicant on other projects.

Motion by B. O'Neill, seconded by Lewis, to recommend approval to the Governing Body, with the following exceptions.

The Commission was advised this does not go before the Council.

Motion by B. O'Neill, seconded by Lewis, to approve the preliminary plat with the following stipulations: 1.) The property is successfully rezoned from RUR to L-P; 2.) All preliminary plat requirement of the City noted shall be met or addressed; 3.) Preliminary plat be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission upon submittal and approval of a written request may grant a one-year extension on the approval of the preliminary plat; and 4.) All infrastructure requirements of the City shall be met. The motion was approved, 8-0.

**PRELIMINARY SITE PLAN, 183<sup>RD</sup> AND MONTROSE STREET (PP2017-02) – PUBLIC HEARING**

Opening of a public hearing in regards to Preliminary Site Plan Application, PS2017-02, requesting approval of a preliminary site plan for Logistics Park Kansas City, Phase VI, Second Plat, located at the southeast corner of 183<sup>rd</sup> Street and Montrose Road, a part of the northwest quarter of Section 35, Township 14S, Range 22 East, consisting of one lot (Lot 3), on approximately 50 acres, more or less. Owner: Edgerton Land Holding Company, LLC. Engineer: Renaissance Infrastructure Consulting.

Chair Davis opened the public hearing.

The Community Development Director informed the Commissioners tonight's request is only for Lot 3 under the preliminary plat. He overviewed a few items which deviate from the L-P District regulations and some items for recommendation of changes for the final site plans. Those items include pedestrian access with the request the trail easement be updated to 20 feet. He also noted rooftop equipment should be screened from public review and details showing how guard sheds will match the architectural character and materials types of the principle building. Mr. Cook spoke about the applicant's need to review landscaping requirements and to provide additional landscaping, fencing – berming for screening of the truck courts and in particular, when adjacent to residential uses; staff recommends preparation of perspective drawings for better visualization of the site in relation to the city limit/trail area west as part of the final site plan. He also noted topography needs updating to provide elevation values; and screening requirements for dumpsters and compactors. Mr. Cook also noted the entrance/intersection at the southwest area needs to be updated as the intersection was developed when it was anticipated the roadway network would be extended north and south, suggested applicant work with City Engineer on this design. He also indicated the Section line and south right-of-way line along 183<sup>rd</sup> Street location be verified. It was

also noted the parking plan should note a condition that additional parking spaces can be added in the loading dock area if future tenants of the building require additional spaces. He also mentioned a storm water management report and public improvement plans are needed.

Applicant John Thomas stated this building will be similar to the one adjacent. He spoke about the existing wetland and landscaping wrapping around truck stalls and 20' pedestrian easement. He noted there could be security issues with pedestrian trails and the responsibility of addressing. Mr. Cook indicated that usually the property owners with concerns will need to address. Mr. Thomas noted potential desire to add fencing along the trail, with landscaping and screening.

Mr. O'Neill spoke about the roadway access on 183<sup>rd</sup> Street. It was noted staff and applicant will need to review and address, but actions should not impact City of Gardner.

Motion by Hardin, seconded by Erazo, to close the public hearing. Motion was approved, 8-0.

Motion by B. O'Neill, seconded by M. O'Neill, to approve the preliminary site plan for Lot 3 with the following stipulations: 1.) Recommendations contained in staff report are incorporated as stipulations and conditions of approval to the Final Site Plan for applicant property, Lot 3, LPKC – Phase VI (Inland Port VI); 2.) A Final Site Plan must be submitted and approved prior to commencement of uses and the property shall be developed in accordance with a Site Plan, Landscape Plan or Alternative Landscaping Plan, and Photometric Plan as required by City approval of the submitted preliminary site plan, as amended by these stipulations, and approved by the City; 3.) All Preliminary Site Plan requirements of the City noted shall be met or addressed during Final Site Plan submittal as identified; 4.) No signage is proposed with this application. Signage proposed later shall receive separate approval according to the provisions of the UDC; and 5.) All construction plans for any public infrastructure shall be prepared to City standards and approved by the City. Motion was approved, 8-0.

#### **FINAL PLAT, MIDWEST GATEWAY, FP2016-04 (RECONSIDERATION)**

A request from the Edgerton City Council to reconsider a recommendation of Final Plat, FP2016-04, requesting recommendation of approval of final plat for Lot 1, Midwest Gateway; located at 32180 W. 191<sup>st</sup> Street, on a tract of land consisting of two (2) lots, containing approximately 32.445 acres, at the request of the applicant was considered. Applicant: Midwest Gateway Venture, LLC Engineer: Shafer, Kline & Warren.

Kenneth Cook, Community Development Director, reviewed the past actions regarding this project. He informed the Commissioners the plans of the applicant changed this project from one (1) lot to two (2) lots. He noted the applicant requested the Governing Body to remand the plat back to the Planning Commission to consider the change to two lots. He indicated staff recommends approval with stipulations.

Commissioner Hardin left the meeting at 8:50 p.m. and returned at 8:52 p.m.

Mr. Cook spoke about the applicant's agreement not to protest a benefit district for future sidewalks.

Commissioner B. O'Neill questioned the drainage easement for the detention pond. Staff addressed.

Aaron Schlagel, applicant, noted that if all goes well, the project will break ground within 45-60 days.

Motion by Lewis, seconded by Daley, to approved the revised final plat (FP2016-04) with the following stipulations: 1.) The plat is configured such that Lot 1 and Tract A have no frontage on public right-of-way (191<sup>st</sup> Street). Only Lot 2 has frontage along 191<sup>st</sup> Street. General design standards outlined in city ordinances provide that all lots must "front on public right-of-way," however, city ordinances also provide "the Zoning Administrator may grant a waiver from this requirement and allow permanent travel easement when appropriate." In this instance, city staff is willing to waive frontage requirement only if a cross access easement that includes both vehicular and pedestrian traffic can be established; 2.) All Final Plat requirements of the City noted shall be met or addressed prior to recording of the Plat; 3.) The commencement of any improvements shall not occur prior to the approval and endorsement of the final plat and the submittal to and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the final plat by the Governing Body; 4.) Sanitary sewer drawings and specifications must be submitted to and approved by the City of Edgerton and Kansas Department of Health and Environment prior to the commencement of any improvements; 5.) A Public Improvement Inspection Fee, established by the Fee Schedule for the Unified Development Code, shall be submitted with the document of financial assurance as defined in Section 13.7 prior to the commencement of any improvements; 6.) The applicant shall meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton Unified Development Code, including payment of excise tax; and 7.) The applicant shall meet all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton Unified Development Code. Motion was approved, 8-0.

**FINAL SITE PLAN, MIDWEST GATEWAY, FS2016-010 (RECONSIDERATION)**

Consideration of a request for approval of a Final Site Plan, FS2016-04, located at 32180 W. 191<sup>st</sup> Street, on a tract of land consisting of two (2) lots, containing approximately 32.445 acres, at the request of the applicant was considered. Applicant: Midwest Gateway Venture, LLC Engineer: Shafer, Kline & Warren.

Mr. Cook spoke about this request and noted it is similar to other facilities and focused on the articulation of the building. He overviewed applicant's plans to address the

articulation, screening and general compliance. He also spoke about items in the annexation agreement.

Motion by Hardin, seconded by Daley, to approve the reconsideration request with the following stipulations: 1.) All Site Plan requirements of the City shall be met as noted, particularly including: a.) Submittal of a plan for pedestrian access to and within the development; b.) Updated drawings of all building elevations showing compliance with building material standards, articulation requirements and color of buildings; c.) Submittal of photometric lighting plan for Midwest Gateway in conformance with UDC especially with regard to maximum average foot-candles at property line. Property lines are not easily identifiable; d.) Construction plans for future public infrastructure be submitted and approved by the City. Any necessary permits obtained; 3.) Submittal of architectural and landscaping plans will be required for trash enclosures if they become necessary. All landscaping shall be maintained in good condition and plants shall be replaced when dead; 2.) All construction plans for any public infrastructure shall be prepared to City standards and approved by the City; 3.) All building permit and sign permit requirements of the City shall be met; 4.) The City will not require at the time of site plan approval the construction of sidewalks along 191<sup>st</sup> Street adjacent to the subject property. Prior to obtaining a building permit, the property owner will execute the necessary agreement to waive and relinquish any right he/she may have under K.S.A. 12-06a06 to protest the formation of a benefit district to pay for the construction of the sidewalk improvements adjacent to the described property for a period of thirty (30) years, and that such agreement is intended to be a covenant running with the land for said period of time; and 5.) Applicant/Owner Obligation: The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein. Motion was approved, 8-0.

### **FUTURE MEETING**

The next meeting scheduled is May 9, 2017 at 7:00 p.m.; with a work session beginning at 6:00 p.m. Members were asked to advise staff of any known absences.

Mr. Cook informed the Commissioners about the selection process for a consultant for the Downtown Edgerton Street Plan. He noted the City will be incorporating the Planning Commission and public in engagement meetings.

### **ADJOURNMENT**

Motion by Hardin, seconded by Daley, to adjourn. The motion was approved, 8-0.

The meeting adjourned at 9:15 p.m.

Edgerton Planning Commission

April 11, 2017

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Submitted by:

Debra S. Gragg  
Recording Officer

EDGERTON COMMUNITY BUILDING  
PLANNING COMMISSION MEETING

June 13, 2017

Minutes

Chair Davis opened the meeting at 7:00 P.M. No other Planning Commissioners were present. Mr. Davis declared there was no quorum present. Mr. Davis announced that meeting items will be forwarded to a Special Session on June 20, 2017 or to the July 11, 2017 Regular Session.

Mr. Davis declared the meeting closed at 7:01 P.M.

Submitted by:

Debra S. Gragg  
Recording Officer



EDGERTON COMMUNITY BUILDING  
PLANNING COMMISSION MEETING  
SPECIAL SESSION

June 20, 2017

Minutes

The Edgerton Planning Commission met in special session with Vice-Chair M. O'Neill calling the meeting to order at 7:00 p.m.

All present participated in the Pledge of Allegiance.

The Roll Call was answered, indicating those present were: Commissioners Maria O'Neill, Bob O'Neill, John Daley, Joshua Lewis, Eric Erazo, Leslie Hardin. Absent was: Chair Davis and Commissioner Cunningham. Also present were: Community Development Director Kenneth Cook, City Administrator Beth Linn and Recording Officer Debra Gragg.

The Recording Officer announced a quorum was present.

**INTRODUCTION**

Community Development Director Kenneth Cook introduced Scott Peterson, Assistant City Administrator, and overviewed his back ground.

Mr. Peterson was welcomed by the Commissioners.

**FINAL PLAT – LOGISTICS PARK KANSAS CITY PHASE VI (INLAND PORTS 6 AND 8)**

An application in regards to Final Plat, FP2017-04, requesting approval for a final plat for Logistics Park Phase VI, located on the southwest and southeast corners of Montrose Street and 183rd Street, a part of the northwest quarter of Section 35, Township 14 South, and Range 22 East, consisting of two (2) lots containing approximately 100.878 acres, more or less, was considered. Applicant: Edgerton Land Holdings Company, LLC Engineer: Renaissance Infrastructure Consulting.

The Community Development Director introduced the item and reported the streets are in and no additional right-of-way is needed. He informed the Commissioners that Inland Port 8 was previously approved, but noted these areas are being combined. He indicated some property will be vacated and the lot numbers are changed from the preliminary plat, and also noted wetlands/detention areas need to be added.

Staff recommends approval with stipulations.

Motion by B. O'Neill, seconded by Lewis, to approve the final plat with the following stipulations: 1.) The two (2) lot plat is configured such that Lot 1 has no frontage along 183<sup>rd</sup> Street right-of-way as it is being vacated by this plat; 2.) Adequate Drainage Easements for the stormwater conveyance and detention system for Lots 1 and 2; 3.) Determination if location of wetlands need to be placed in any kind of easement such as

drainage and/or conservation; 4.) All Final Plat requirements of the City noted shall be met or addressed prior to recording of the Plat; 5.) The commencement of any improvements shall not occur prior to the approval and endorsement of the final plat and the submittal to and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the final plat by the Governing Body; 6.) Sanitary sewer drawings and specifications must be submitted to and approved by the City of Edgerton and Kansas Department of Health and Environment prior to the commencement of any improvements; 7.) A Public Improvement Inspection Fee, established by the Fee Schedule for the Unified Development Code, shall be submitted with the document of financial assurance as defined in Section 13.7 prior to the commencement of any improvements; 8.) The applicant shall meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton Unified Development Code, including payment of excise tax; and 9.) The applicant shall meet all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton Unified Development Code. The motion was approved, 6-0.

City Administrator Beth Linn informed the Commissioners this will be presented to the Council on July 13, 2017.

#### **FINAL SITE PLAN – LOGISTICS PARK KANSAS CITY, PHASE VI (INLAND PORT 6)**

An application in regards to Final Site Plan, FS2017-03, requesting approval of a final site plan for Logistics Park Kansas City, Phase VI, First Plat, Lot 2 (Inland Port 6), located at the southeast corner of Montrose Street and 183<sup>rd</sup> Street, a part of the east one-half of the northwest quarter of Section 35, Township 14 South, Range 22 East, consisting of one (1) lot, containing approximately 49.962 acres, more or less, was considered.

City Administrator Beth Linn indicated this request is for Building 6, and noted all items not noted on the staff report comply.

Ms. Linn indicated the main focus for this discussion is in regards to design guidelines. It was noted that residential development is adjacent to the site, and with such staff recommends screening, by using combination of berm, varied placement of type 4 buffer and modified type 4 perimeter buffer.

The Commissioners were informed staff met with members of NorthPoint and mutually agreed on recommendations for screening along the eastern property line. Those recommendations are: Minimum 6' berm to shield the view of 6' person just east of property line (except in areas of building that transition to office corners); and Use of Perimeter Buffer to screen view of truck with trailer at either parking lot or building. Discussed were the minimum requirements of buffering from the Unified Development Code in regards to Type 4 Perimeter Buffer, to include canopy trees planted as base to provide shade in lower area; and placement of shrubs/evergreen with changes based

on topography. Ms. Linn overviewed Type 4 “Modified” to allow change in placement with evergreen and/or shrub up/on berm to shield view. It could also allow continuous use of “hedge screen” to achieve continuous green screening.

The placement of dock doors was noted and indicated the orientation of the dock door, adjacent to public street, is a deviation from code, but it was noted that exceptions in the past have been granted. It was noted this facility’s location with western side facing Montrose Street will be facing another building with loading docks facing Montrose. It was noted with this application, if approved by the Planning Commission, would approve an exception to orientate a side elevation, including dock doors, towards the public streets due to configuration of public streets on two sides of proposed buildings.

Staff recommends approval of the final site plan based upon these parameters for landscape plan and allow staff/NorthPoint to finalize details of plantings and update the plans.

Motion by Daley, seconded by B. O’Neill, to approve the final site plan with the following stipulations: 1.) All Site Plan requirements of the City shall be met as noted, particularly including: a) Update Landscape Plan in conformance to the conditions in staff report; b) Submittal of photometric lighting plan for Inland Port VI in conformance with the UDC, especially with regard to maximum foot-candles at property line; c) Construction plans for future public infrastructure be submitted and approved by the City – any necessary permits obtained; and d) All landscaping shall be maintained in good condition and plants shall be replaced when dead; 2.) All infrastructure requirements of the City shall be met; 3.) All building permit and sign permit requirements of the City shall be met; and 4.) Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking area, easements, roads and other city requirements (landscaping/berm/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein. The motion was approved, 6-0.

Mr. Cook informed the Commissioner all other items scheduled for June 13, 2017 are forwarded to July 11, 2017.

John Thomas, North Point, thanked the Commissioners for making time to consider these projects tonight.

### **FUTURE MEETING**

The next meeting is scheduled for July 11, 2017.

**ADJOURNMENT**

Motion by Hardin, seconded by Daley, to adjourn. The motion was approved, 6-0.

The meeting adjourned at 7:20 p.m.

Submitted by:

Debra S. Gragg  
Recording Officer

## STAFF REPORT

July 11, 2017

To: Edgerton Planning Commission  
Fr: Beth Linn, City Administrator  
Re: Application FP2017-06 for *Final Plat Logistics Park Kansas City Phase VI, Lot 3* located in the southeast corner of the intersection at 185<sup>th</sup> & Montrose Streets.

### APPLICATION INFORMATION

**Applicant/Property Owner:** Aaron Burks  
Edgerton Land Holding Company, LLC

**Requested Action:** Final Plat Approval

**Legal Description:** The south ½ of the NW ¼, Section 35, Township 14 South, Range 22 East in the City of Edgerton, Johnson County, Kansas. See attached final plat for full legal description.

**Site Address/Location:** South side of 183<sup>rd</sup> Street just east of Waverly Road.

**Existing Zoning and Land Uses:** City of Edgerton L-P (Logistics Park) zoning on vacant land.

**Existing Improvements:** None.

**Site Size:** Lot 1 is 42.793 acres, Lot 2 is 50.592 acres.

### PROJECT DESCRIPTION

The applicant is seeking approval of a final plat based on the approved preliminary plat and the L-P, Logistics Park District zoning requirements. The three (3) lot Preliminary Plat was approved on April 11, 2017. This plat is for property that is part of Logistics Park Kansas City. The subject property is located along the south side of 185<sup>th</sup> Street and has frontage along the east of Waverly Road Street. The property is zoned L-P, Logistics Park. The City's Unified Development Code (UDC) defines this district as a limited multimodal industrial zone created to support activities related to truck, rail and other transport services.

### INFRASTRUCTURE AND SERVICES

Infrastructure was reviewed previously per the rezoning and preliminary plat. Some conditions continue to exist as noted below.

- a. 185<sup>th</sup> Street has been constructed and will provide access along the west one-half of the lot north property line to Montrose Street. Access to the east one-half will be provided by private road on Lot 2, directly to the north.

- b. The property is located within the Big Bull Creek watershed, which flows south from 167th Street to the southern edge of the county at Homestead Lane.
- c. The property is located within an area identified as Zone X and is defined as Areas determined to be outside the 500-year flood elevation. No base Flood Elevations have been determined.
- d. The property has access to sanitary sewer service. A gravity sewer line is located on the south side of 185<sup>th</sup> Street and east side of Waverly Road. The building is showing a sewer service line extending from the northwest corner to the main. This line flows into the Big Industrial Lift Station.
- e. The property is located within the service area of Water District No. 7. The new water tower for Water 7 is located on Lot 3 of the first plat of the Logistics Park Kansas City Phase IV. A 12-inch water main is located along the south side of the property line.
- f. Police protection is provided by the Johnson County Sheriff's Department under contract with the City of Edgerton. Fire protection is provided by Johnson County Fire District No. 1. A fire station is located in the City of Edgerton approximately 5.0 miles to the west, and one approximately 1.0 mile to the east in the City of Gardner.

## **FINAL PLAT REVIEW**

Staff has reviewed the Final Plat submittal for compliance with the Approved Preliminary Plat and requirements in Section 13.3 of Article 13 of the Edgerton UDC. Review comments are listed below.

- 1. The words "FINAL PLAT" followed by the name of the subdivision at the top of the sheet, and then followed by a metes and bounds description of the tract. *Revise the fractional legal description in the title. Update Final Plat*
- 2. The instrument of survey which shows the point of beginning, corners, bearings, courses, distances, exterior boundaries, interior lot boundaries, abandoned lot lines, pins, and monuments found or set. All P.I.'s corners, boundaries must be monumented with a 2" x 24" metal bar. *Update Final Plat*
- 3. *The plat currently shows all monuments being ½" x 24" Rebar while the regulations require 2" x 24" metal bar. Staff believes that the 2" measurement is a typographical error and that it should be ½".*
- 4. A boundary survey of third order surveying accuracy (maximum closure error one in five thousand (1' in 5,000), with bearings and distances referenced to section or fractional section corners or other base line shown on the plat and readily reproducible on the ground. *The legal description does not match the graphic depiction. Please check and revise accordingly. Update Final Plat.*
- 5. All easements with widths, and roads with curve data. *Drainage easements shall be provided for the detention areas and conveyance system, and wetlands as directed by City Engineer. Update Final Plat.*
- 6. Surveyor's Certificate and Seal and certificate for survey review by the County Surveyor or designated Land Surveyor. *Surveyor's Certificate who prepared the plat is missing, the County Surveyor utilizes their own stamp, and therefore no other certificate is required. Update Final Plat.*
- 7. Certificate of the Zoning Administrator. *Please revise by removing name and revise title to Acting Zoning Administrator. Revise Final Plat.*

## **RECOMMENDATION**

City staff recommends **approval** of FP2017-0X for the Final Plat, Logistics Park Kansas City Phase IV – Second Plat, subject to compliance with the staff report recommendations and following stipulations:

1. Adequate Drainage Easements for the stormwater conveyance and detention system will be dedicated as directed by the City Engineer.
2. All Final Plat requirements of the City listed above shall be met or addressed prior to recording of the Plat.
3. The commencement of any improvements shall not occur prior to the approval and endorsement of the final plat and the submittal to and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the final plat by the Governing Body.
4. Sanitary sewer drawings and specifications must be submitted to and approved by the City of Edgerton and Kansas Department of Health and Environment prior to the commencement of any improvements.
5. A Public Improvement Inspection Fee, established by the Fee Schedule for the Unified Development Code, shall be submitted with the document of financial assurance as defined in Section 13.7 prior to the commencement of any improvements.
6. The applicant shall meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton Unified Development Code, including payment of excise tax.
7. The applicant shall meet all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton Unified Development Code.

#### **ATTACHMENTS**

Application FP2017-06

Final Plat Logistics Park Kansas City Phase VI, Lot 3

NAME OF PROPOSED SUBDIVISION: Logistics Park Kansas City Phase VI - Lot 3

 LOCATION OR ADDRESS OF SUBJECT PROPERTY: SEC of Waverly Rd and 185th St

 LEGAL DESCRIPTION: See Attached

 CURRENT ZONING ON SUBJECT PROPERTY: LP CURRENT LAND USE: AG

 TOTAL AREA: 58.642 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 58.642 Sq. Ft.

 DEVELOPER'S NAME(S): Edgerton Land Holding Company, LLC PHONE: 816-888-7340

 COMPANY: Edgerton Land Holding Company, LLC FAX: \_\_\_\_\_

 MAILING ADDRESS: 4825 NW 41st Street, Riverside, MO 64150

Street	City	State	Zip
<u>Edgerton Land Holding Company, LLC</u>		<u>816-888-7340</u>	

 PROPERTY OWNER'S NAME(S): \_\_\_\_\_ PHONE: \_\_\_\_\_

 COMPANY: Edgerton Land Holding Company, LLC FAX: \_\_\_\_\_

 MAILING ADDRESS: 4825 NW 41st Street, Riverside, MO 64150


Street	City	State	Zip
<u>Renaissance Infrastructure Consulting</u>		<u>913-317-9500</u>	

 ENGINEER'S NAME(S): \_\_\_\_\_ PHONE: \_\_\_\_\_

 COMPANY: Renaissance Infrastructure Consulting FAX: \_\_\_\_\_

 MAILING ADDRESS: 207 S. 5th Street, Leavenworth, KS 66048

Street	City	State	Zip
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 SIGNATURE OF OWNER OR AGENT:   
 If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

**FOR OFFICE USE ONLY**

 Case No.: P- FP 2017-06 Amount of Fee Paid: \$ 310.00 Date Fee Paid: 6/28/17  
 Received By: Nelura A Gragg Date of Hearing: —
**FINAL PLAT INSTRUCTIONS**

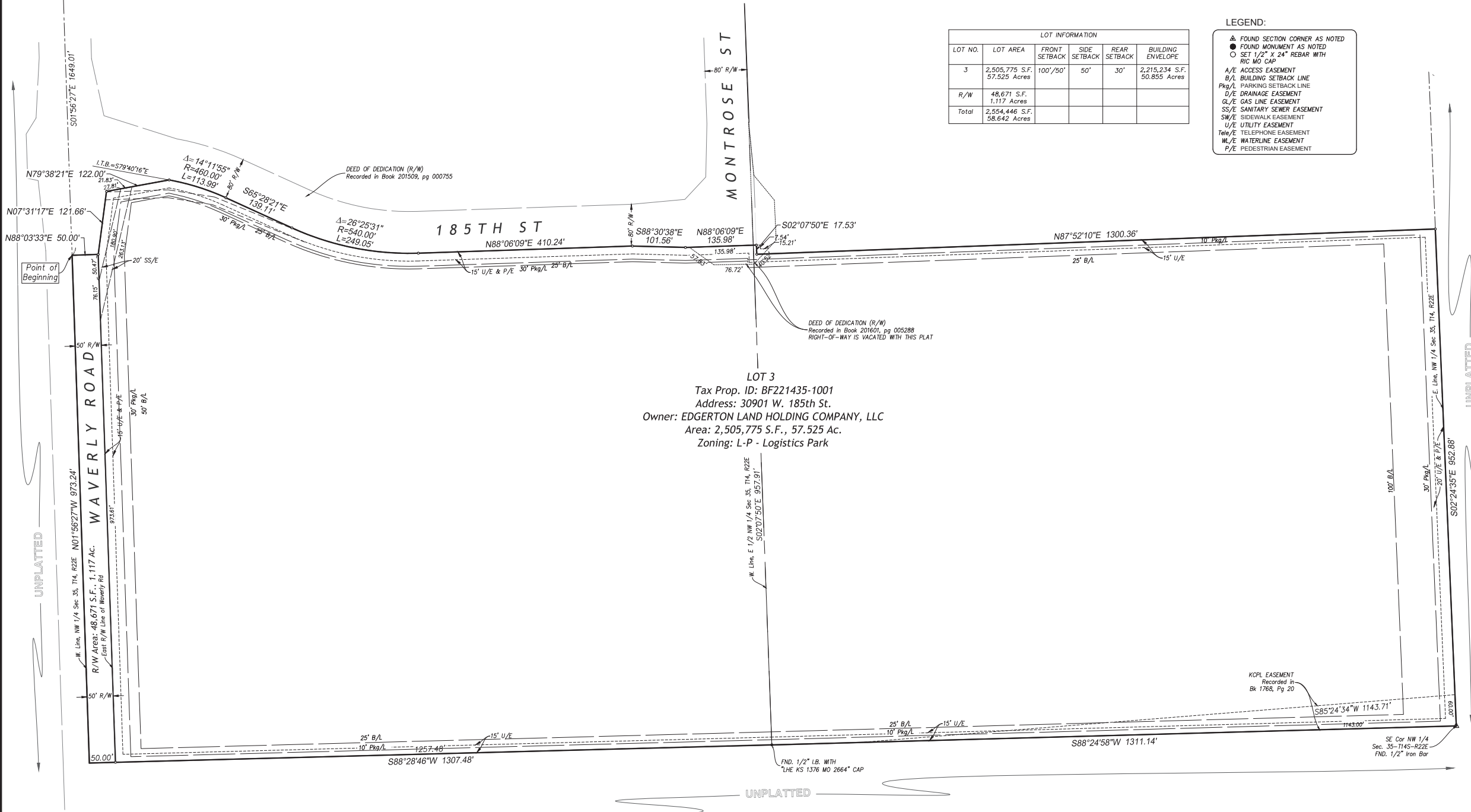
**SUBMITTAL DEADLINE:** The applicant shall submit an application at least forty-five (45) days prior to a scheduled meeting. If the final plat complies with the preliminary plat, Planning Commission and Governing Body may consider approval without notice or public hearing.



# FINAL PLAT

## LOGISTICS PARK KANSAS CITY PHASE VI - LOT 3

A PART OF THE NORTHEAST QUARTER AND THE NORTH ONE-HALF OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 14 SOUTH, RANGE 22 EAST, IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS



LOT INFORMATION					
LOT NO.	LOT AREA	FRONT SETBACK	SIDE SETBACK	REAR SETBACK	BUILDING ENVELOPE
3	2,505,775 S.F. 57.525 Acres	100'/50'	50'	30'	2,215,234 S.F. 50.855 Acres
R/W	48,671 S.F. 1.117 Acres				
Total	2,554,446 S.F. 58.642 Acres				

- LEGEND:
- ▲ FOUND SECTION CORNER AS NOTED
  - FOUND MONUMENT AS NOTED
  - SET 1/2" X 24" REBAR WITH RIC MO CAP
  - A/E ACCESS EASEMENT
  - B/L BUILDING SETBACK LINE
  - Pkg/L PARKING SETBACK LINE
  - D/E DRAINAGE EASEMENT
  - GL/E GAS LINE EASEMENT
  - SS/E SANITARY SEWER EASEMENT
  - SW/E SIDEWALK EASEMENT
  - U/E UTILITY EASEMENT
  - Tele/E TELEPHONE EASEMENT
  - WL/E WATERLINE EASEMENT
  - P/E PEDESTRIAN EASEMENT

LOT 3  
Tax Prop. ID: BF221435-1001  
Address: 30901 W. 185th St.  
Owner: EDGERTON LAND HOLDING COMPANY, LLC  
Area: 2,505,775 S.F., 57.525 Ac.  
Zoning: L-P - Logistics Park

#### Description:

A tract of land in the Northwest Quarter of Section 35, Township 14 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas being more particularly described as follows:

Commencing at the Northwest corner of said Northwest Quarter, thence South 01°56'27" East, along the West line of said Section 35, a distance of 1649.01 feet to the Point of Beginning; thence North 88°03'33" East, a distance of 50.00 feet to a point on the Easterly right-of-way line of Waverly Road as it now exists, thence along the Southerly right-of-way line of 185th Street as it now exists for the next seven courses: thence North 7°31'17" East, 121.66 feet; thence North 79°38'21" East, 122.00 feet to a point of curvature; thence along said curve to the right having an Initial Tangent Bearing of South 79°40'16" East, a radius of 460.00 feet, and a central angle of 14°11'55" an arc distance of 113.99 feet; thence South 65°28'21" East, 139.11 feet a point of curvature; thence along said curve to the left having a radius of 540.00 feet and a central angle of 26°25'31" an arc distance of 249.05 feet; thence North 88°06'09" East, a distance of 410.24 feet; thence South 88°30'38" East, a distance of 101.56 feet; thence North 88°06'09" East, a distance of 135.98 feet; thence along said East quarter line, a distance of 962.87 feet; thence South 88°24'58" West, a distance of 1311.14 feet; thence South 88°28'46" West, 1307.48 feet to a point on along the West line of said section 35; thence North 1°56'27" West, along the West line of said Section 35, a distance of 973.24 feet to the Point of Beginning. Containing 2,554,446 square feet, or 58.642 acres more or less, except any part used or dedicated for streets, roads or public rights of way.

#### NOTES:

Basis of Bearings: Kansas North Zone, U.S. State Plane, NAD 83  
N01°56'27"W, along the West line of the Northwest 1/4 of Section 35-T14S-R22E.

CLOSURE CALCULATIONS:  
Precision, 1 part in: 1,007,492.592'  
Error distance: 0.007'  
Error direction: N 13°45'54" E  
Perimeter: 7,306.17'

All bearings and distances shown on this plat are measured unless otherwise noted.

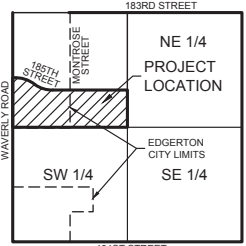
Flood Plain Note: According to the F.E.M.A. Flood Insurance Rate Map Number 20091C0119G, revised August 3, 2009, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.

#### SURVEYORS CERTIFICATION

This is to certify on the 25th day of May, 2016 this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Kansas Minimum Standards" for boundary surveys pursuant to K.S.A. 74-7037.



Roger B. Dill, Kansas LS-1408



#### LOCATION MAP

SECTION 35-14S-22E  
Scale 1" = 2000'

SHEET 1 OF 1

#### DEDICATION

The undersigned proprietors of the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as "LOGISTICS PARK KANSAS CITY PHASE VI - LOT 3".

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer pipes, poles, wires, drainage facilities, irrigation systems, ducts and cables, and similar facilities, upon, over and under these areas outlined and designated on this plat as "Utility Easement" or "U/E" is hereby granted to the City of Edgerton, Kansas with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for said purposes. Utility easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of public utilities located within the easement.

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction, maintenance or use of conduits, surface drainage facilities, subsurface drainage facilities, and similar facilities, upon, over and through those areas outlined and designated on this plat as "Drainage Easement" or "D/E" is hereby granted to the City of Edgerton, Kansas. Drainage easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities.

An easement to lay construct, alter, repair, replace or operate one or more sewer lines and all appurtenances convenient for the collection of sanitary sewage, together with the right of ingress and egress, over and through those areas designated as "Sanitary Sewer Easement" or "SSE" on this plat are hereby dedicated to the City of Edgerton, Kansas. Utility easements shall be kept clear of obstructions that impair strength or interfere with the use and/or maintenance of public utilities located within the easement.

Areas designated on the accompanying plat as "pedestrian access easement" are hereby dedicated to the public for the purpose of pedestrian access (P/E). No fence, wall, planting, structure or other obstruction may be placed or maintained in said P/E without approval of said City Community Development Director of the City of Edgerton, Kansas.

#### CONSENT TO LEVY

The undersigned proprietors of the above described tracts of land hereby consent and agree that the Board of County Commissioners and the City of Edgerton, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public use from the lien and effect of any special assessments, and that the amount of unpaid special assessments on such land dedicated, shall become and remain a lien on this land fronting and abutting on such dedicated public way or thoroughfare.

#### EXECUTION

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Edgerton Land Holding Company, LLC  
By: NorthPoint Development, LLC  
Its: Manager

Nathaniel Hagedorn, Manager

STATE OF MISSOURI )  
COUNTY OF PLATTE ) SS

BE IT REMEMBERED, that on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, before me a Notary Public in and for said County and State, came Nathaniel Hagedorn, Manager of NorthPoint Development, LLC, the Manager of Edgerton Land Holding Company, LLC, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said limited liability company, and he duly acknowledged the execution of the same to be the act and deed of said limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above,

My Appointment Expires:  
Notary Public

#### APPROVALS

APPROVED by the Planning Commission of the City of Edgerton, Johnson County, Kansas, on this \_\_\_\_ day of \_\_\_\_\_, 2017.

Chuck Davis, Chairperson Maria O'Neil, Secretary

APPROVED by the Governing Body of the City of Edgerton, Johnson County, Kansas, on this \_\_\_\_ day of \_\_\_\_\_, 2017.

Attest:  
Donald Roberts, Mayor Janeice Rawles, City Clerk

APPROVED by the Zoning Administrator, on this \_\_\_\_ day of \_\_\_\_\_, 2017.

Kenneth A. Cook, Zoning Administrator

#### LOGISTICS PARK KANSAS CITY PHASE VI - LOT 3

##### Prepared For:

Edgerton Land Holding Co., LLC  
5015 NW Canal Street  
Suite 200  
Riverside, Mo. 64150

Date of Preparation:  
June 7, 2017

By: RCW



207 S. 5th Street  
Leavenworth, Kansas 66048

913.317.9500  
www.ric-consult.com

**STAFF REPORT**

June 9, 2017

To: Edgerton Planning Commission  
Fr: Kenneth Cook, AICP, CFM, Community Development Director  
Re: PP-2017-03 Preliminary Plat for Logistics Park Kansas City Phase VI – Second Plat,  
located on the north side of 183rd Street and East of Waverly Road.

**APPLICATION INFORMATION**

**Applicant/Property Owner:** Aaron Burks, Edgerton Land Holding Company, LLC  
**Requested Action:** Preliminary Plat for Logistics Park Kansas City, Phase VI – Second Plat  
**Legal Description:** See Preliminary Plat attached  
**Site Address/Location:** Along the north side 183<sup>rd</sup> Street, east of Waverly Road.  
**Existing Zoning and Land Uses:** Zoned L-P: Logistics Park District & agriculture  
**Existing Improvements:** none  
**Site Size:** Approximately 80 acres

**PROJECT DESCRIPTION**

The current request is for preliminary plat of approximately 80 acres along the north side of 183<sup>rd</sup> Street and east of Waverly Road containing two lots accessed from 183<sup>rd</sup> Street. This application is part of Logistics Park Kansas City (LPKC) being developed by Edgerton Land Holding Company (ELHC), a subsidiary of NorthPoint Development. LPKC is a 1,700-acre master-planned distribution and warehouse development anchored by BNSF Railway's newest intermodal facility, which opened in late 2013.

The subject property is located to the north side of 183<sup>rd</sup> Street East of Waverly Road. The property is abutted by the City of Gardner, Kansas along its eastern property line. The property is zoned L-P, Logistics Park. The City's Unified Development Code (UDC) defines this district as a limited multimodal industrial zone created to support activities related to truck, rail and other transport services.

**PRELIMINARY PLAT REVIEW**

Staff reviewed the Preliminary Plat submittal for compliance with the requirements in Section 13.3 of Article 13 of the Edgerton UDC. The preliminary plat as submitted complies with all requirements except as noted below.

**Content of Preliminary Plat**

1. A legal description; and current zoning. *Current Zoning of the Subject property and adjacent properties is not included.*
2. Adequate legend; vicinity map. *The vicinity map should indicate city limits for Edgerton and Gardner. Change the symbol for monuments to be set as it matches the symbol that is being used for Section Corner Monuments.*
3. Complete outline drawing of all boundaries, lots, and streets, together with courses, distances and areas. Boundaries must be shown as solid lines and all easements as

dashed lines. *Please indicate current city limit boundaries for Gardner and Edgerton. The courses and distances for individual lot lines have not been shown. Existing easement should include recording information. It appears that the Section Monument for the Southeast Corner of the Southwest quarter should be shown (Southeast corner of subdivision). As the subdivision is being proposed as LPKC Phase VI – Second Plat, staff would suggest that the lot numbers should continue based upon the Phase VI first plat and the original preliminary plat for the subdivision. This would change these Lot numbers to Lot 4 and Lot 5 respectively.*

4. Rights-of-way and/or easements proposed to be created for all drainage purposes, utilities, walkways, access, and other purposes. *Add appropriate stormwater/drainage easements over the tracts and proposed conveyance system.*
5. Contours at vertical intervals of 4 feet or less. *Information not depicted on plat drawing but provided with site plan.*
6. Setbacks, yards and any entrance restrictions. Setbacks shall be shown as a building envelope representing that portion of the lot within the yards and setbacks that can reasonably contain, depending upon watercourses, topography or geology, the principal structure and the lateral field (if a lateral field is used). *Indicate appropriate information along all lot and tract lines. As Waverly Road is a three-lane road, it requires a 50 foot setback.*

#### General Design Standards

1. Rights-of-way must conform to the current standards of the American Public Works Association, and greater widths may be required by the Zoning Administrator after preliminary review; utility easements must be a minimum of fifteen (15) feet wide or, 7.5 feet for appurtenant utility easements on interior lots. Street lighting and fire hydrants must be indicated in areas planned for residential use. Cul-de-sacs are limited to 800 feet in length. *All utility & stormwater easements are not depicted, dimensioned and/or called out. Confirm and show right-of-way for 183<sup>rd</sup> Street. The City has typically required ROW of at least 25 feet from the Section line. No dimension of this distance is shown on the plan.*
2. Drainage and watercourse easements are required. Building setbacks from watercourses should be measured from the thread of the stream. Flowage easements may be used to calculate required minimum lot sizes. *Add drainage, storm sewer, and detention area easements where appropriate. The Floodplain notes specify that portions of the tract lie in a SFHA for the 1% annual chance flood. This appears to be incorrect.*

#### Other Comments

- Change Phase from VIII to VI in the label of Tract A.
- Site Plan certification in the dedications is not necessary.
- Identify the proposed 20' landscaping/trail easement along the eastern property line of Lot 2.
- Identify abutting property lines, zoning/uses and city limit boundaries.
- Indicate setback lines along all lot lines. Setbacks in the tract areas may not be required if these tracts will be limited for use as drainage facilities.
- Indicate and dimension all easements on all sheets.

**RECOMMENDATION**

City staff recommends approval of the Preliminary Plat for Logistics Park Kansas City, Phase VI – Second Plat, subject to compliance with the following stipulations:

1. All Preliminary Plat requirements of the City listed above shall be met or addressed.
2. Preliminary plat be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission upon submittal and approval of a written request may grant a one-year extension on the approval of the preliminary plat.
3. All infrastructure requirements of the City shall be met.

**ATTACHMENTS**

Application PP2017-03

Preliminary Plat for Logistics Park Kansas City Phase VI – Second Plat

NAME OF PROPOSED SUBDIVISION: Logistics Park Kansas City Phase VII, First Plat, Lot 1LOCATION OR ADDRESS OF SUBJECT PROPERTY: 183rd Street & Montrose StreetLEGAL DESCRIPTION: See AttachedCURRENT ZONING ON SUBJECT PROPERTY: L-P CURRENT LAND USE: \_\_\_\_\_TOTAL AREA: 36.356 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 36 Sq. Ft.DEVELOPER'S NAME(S): ELHC IX, LLC PHONE: 816-888-7380COMPANY: ELHC IX, LLC FAX: 816-888-7399MAILING ADDRESS: 4825 NW 41st Street, Suite 500, Riverside, MO 64150  
Street City State ZipPROPERTY OWNER'S NAME(S): ELHC IX, LLC PHONE: 816-888-7380COMPANY: ELHC IX, LLC FAX: 816-888-7399MAILING ADDRESS: 4825 NW 41st Street, Suite 500, Riverside, MO 64150  
Street City State ZipENGINEER'S NAME(S): Renaissance Infrastructure Consulting PHONE: (816) 800-0950COMPANY: Renaissance Infrastructure Consulting FAX: \_\_\_\_\_MAILING ADDRESS: 5015 NW Canal St #100, Riverside, MO 64150  
Street City State ZipSIGNATURE OF OWNER OR AGENT: *John A. Roman, Jr.*  
If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

## FOR OFFICE USE ONLY

Case No.: PP 2017-03 Amount of Fee Paid: \$ 310<sup>00</sup> Date Fee Paid: 4-20-17 ret 45290Received By: *Debra Stragg* Date of Hearing: \_\_\_\_\_

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-five (45) days prior to a scheduled meeting.

NOTICE REQUIREMENTS: The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper.



PRELIMINARY PLAT  
LOGISTICS PARK KANSAS CITY PHASE VI-SECOND PLAT  
A SUBDIVISION OF LAND IN CITY OF EDGERTON, JOHNSON COUNTY, KANSAS  
SECTION 26, TOWNSHIP 14 SOUTH, RANGE 22 EAST

INDEX OF SHEETS

C01 Preliminary Plat  
C02 Preliminary Utility Plan  
C03 Site Boundaries

Sheet  
C01

Preliminary Plat

17-0143  
Logistics Park Kansas City  
Phase VI-Second Plat

Preliminary Plat

Description

All that part of the Southwest Quarter of Section 26, Township 14 South, Range 22 East, Johnson County, Kansas being more particularly described as follows:

Commencing at the Southwest corner of Southwest Quarter of said Section 26; thence North 02°08'36" West, along the West line of said Southwest Quarter, a distance of 30.00 feet; thence North 88°32'07" East, a distance of 50.00 feet to the Easterly right-of-way line of Waverly Road, as now established, and the Point of Beginning; thence North 02°08'36" West, along the Easterly right-of-way line of said Waverly Road, a distance of 415.22 feet; thence departing said Easterly right-of-way line, North 31°46'13" East, a distance of 260.39 feet; thence North 55°20'16" East, along a line 40 feet South of and parallel with the Southerly right-of-way line of the BNSF Railroad, as now established, a distance of 2854.54 feet to the East line of the Southwest Quarter of said Section 26; thence South 02°00'08" East, along said East line, a distance of 2196.03 feet to the Northerly right-of-way line of 183rd Street, as now established; thence South 88°32'07" West, along said Northerly right-of-way line, a distance of 2547.05 feet to the Point of Beginning. Containing 3,475.054 square feet or 79.776 acres, more or less.

PROPERTY OWNER AND APPLICANT:

Edgerton Land Holdings Company, LLC  
4825 NW 41st Street  
Suite 500  
Riverside, Missouri 64150

Note: Property Last Surveyed March 2017

UTILITY SERVICE NOTE:

- This property to be served by Water District No. 7.
- This property to be served by City of Edgerton Public sanitary sewer.

FLOOD PLAIN NOTES:

- According to the F.E.M.A. Flood Insurance Rate Map Number 20091C0119G, revised August 3, 2009, portions of this tract lie in:

OTHER FLOOD AREAS, ZONE X (Future Base Flood), defined as areas of 1% annual chance flood based on future conditions hydrology. No Base Flood Elevations determined.

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, ZONE AE, defined as base flood elevations determined.

CERTIFICATE:

Received and placed on record this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_ Zoning Administrator.

Kenneth Cook

Approved by the Edgerton City Planning Commission this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_ Chair of Planning Commission.

Chuck Davis

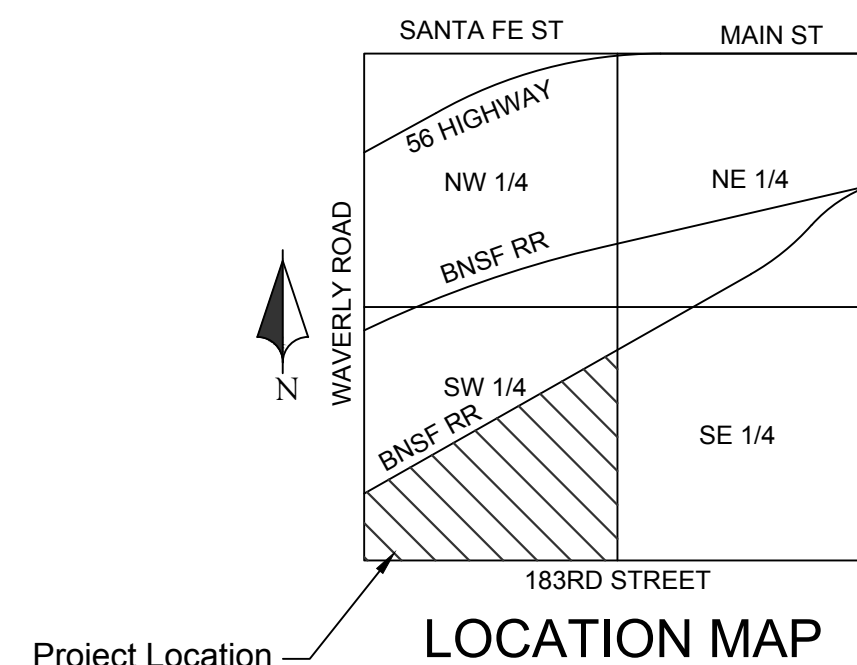
I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant signature \_\_\_\_\_ Date \_\_\_\_\_

Nathaniel Hagedorn, Manager  
Edgerton Land Holdings Company, LLC

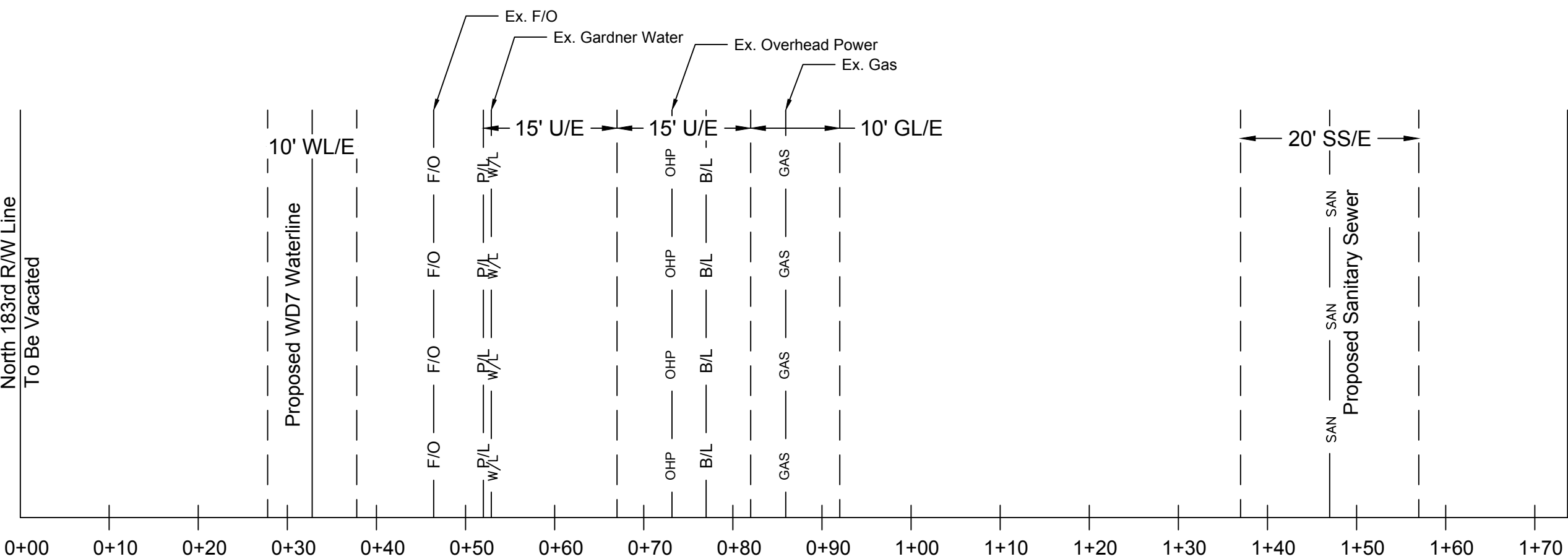
LEGEND

---	Existing Section Line	---	Proposed Right-of-Way
---	Existing Right-of-Way Line	---	Proposed Property Line
---	Existing Lot Line	---	Proposed Lot Line
---	Existing Easement Line	---	Proposed Easement
---	Existing Curb & Gutter	---	Proposed Curb & Gutter
---	Existing Sidewalk	---	Proposed Sidewalk
---	Existing Storm Sewer	---	Proposed Storm Sewer
---	Existing Storm Structure	---	Proposed Storm Structure
---	Existing Waterline	---	Proposed Fire Hydrant
---	Existing Gas Main	---	Proposed Waterline
---	Existing Sanitary Sewer	---	Proposed Sanitary Sewer
---	Existing Sanitary Manhole	---	Proposed Sanitary Manhole
---	Existing Contour Major	---	Proposed Contour Major
---	Existing Contour Minor	---	Proposed Contour Minor
---	2" x 24" Iron Bar to Be Set	---	Future Curb and Gutter
---		---	Proposed Building Setback
---		---	Proposed Parking Setback



1"=100'

0 50' 100'



Section A-A  
Looking West  
NTS

SITE DATA TABLE

Existing Zoning: L-P  
Proposed Zoning: L-P  
Lot 1 Acreage: 26.313 Acres  
Lot 2 Acreage: 36.670 Acres  
Tract A Acreage: 4.366 Acres  
Tract B Acreage: 7.071 Acres  
Tract C Acreage: 5.357 Acres  
Total Land Area: 79.776 Acres  
Street Right-of-Way: 0.00 Acres  
Net Land Area: 79.776 Acres

Inland Port IX Building Area: 492,283 SF  
Inland Port X Building Area: 682,500 SF  
Proposed Building Use: Industrial  
Total Number of Proposed Stalls: 1,202 Stalls  
Trailer Parking: 137 Stalls  
Future Trailer Parking: 78 Stalls  
Dock Parking: 234 Stalls  
Employee: 736 Stalls  
Total Number ADA Stalls: 17 Stalls  
Number of Employees: 400  
BOCA Building Code(500SF/person): 5.87  
Building Coverage (1,174,783/3,475,053): 33.8%

Tract B, Logistics Park Kansas  
City Phase VI-Second Plat  
308,002 SF, 7.071 Acres  
Proposed Detention Basin

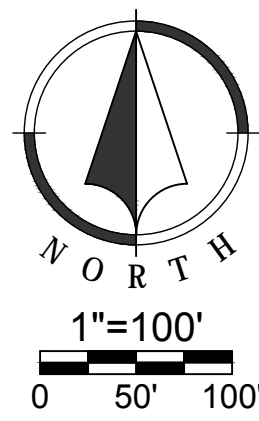
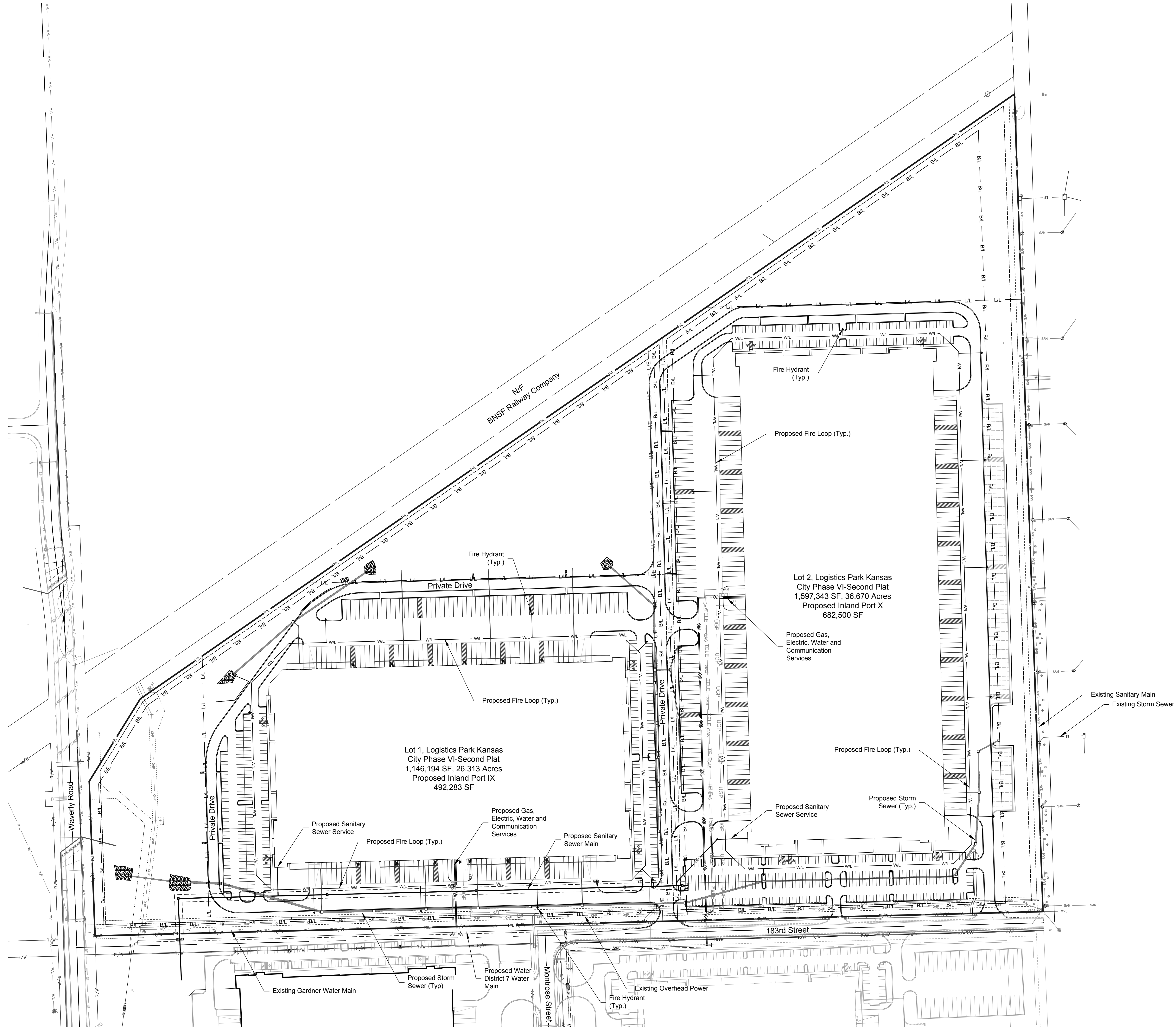
Tract C, Logistics Park Kansas  
City Phase VI-Second Plat  
233,342 SF, 5.357 Acres  
Proposed Detention Basin

Lot 2, Logistics Park Kansas  
City Phase VI-Second Plat  
1,597,343 SF, 36.670 Acres  
Proposed Inland Port X  
682,500 SF

Lot 1, Logistics Park Kansas  
City Phase VI-Second Plat  
1,146,194 SF, 26.313 Acres  
Proposed Inland Port IX  
492,283 SF

Tract A, Logistics Park  
Kansas City Phase VIII  
190,172 SF, 4.366 Acres  
Proposed Detention Basin





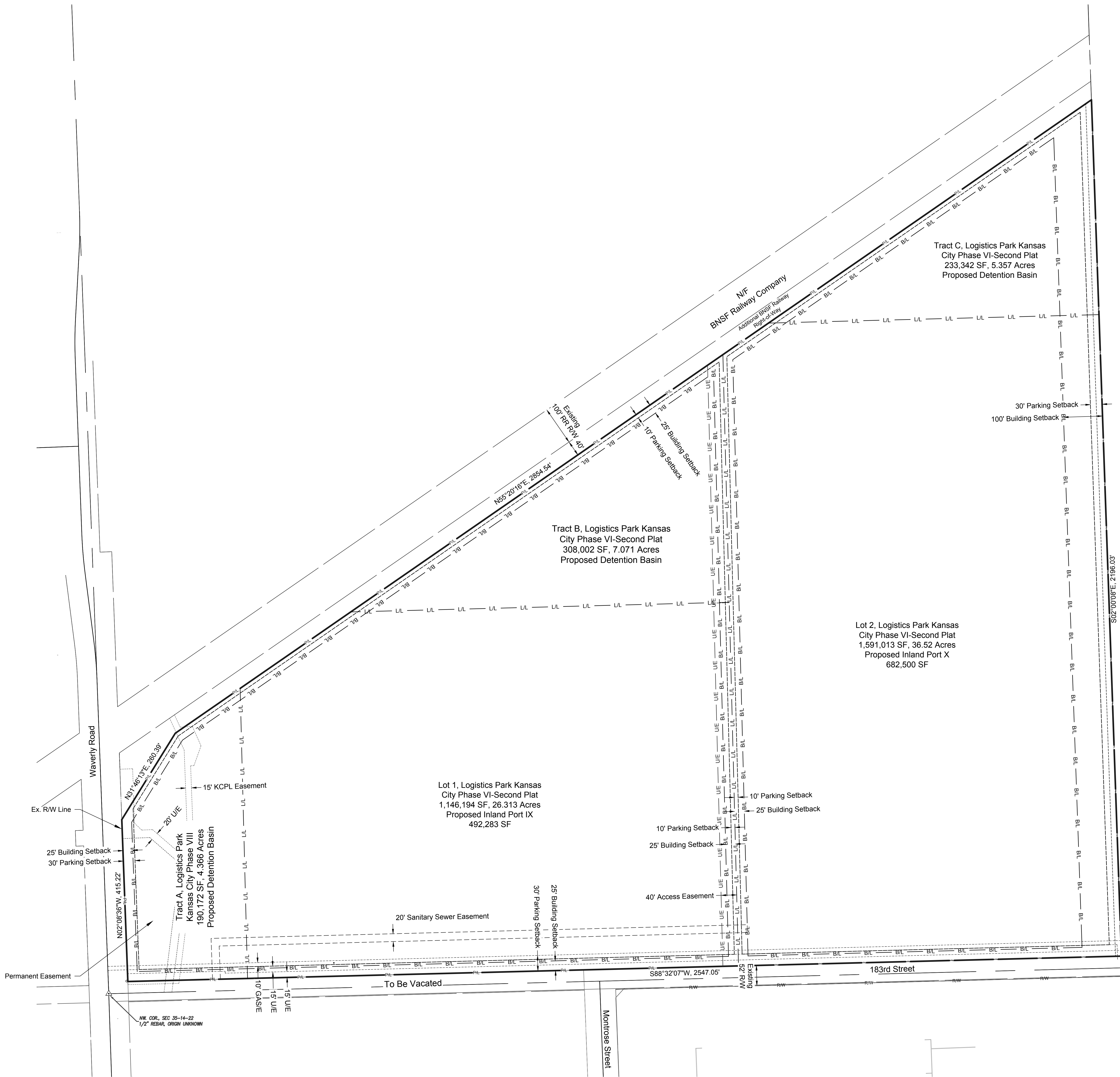
NO.	BY	DATE	REVISION
1.	JWD	05/17/17	RESUBMITTAL
	JWD	04/18/17	ORIGINAL SUBMITTAL

Preliminary Utility Plan

Preliminary Plat

17-0143  
Logistics Park Kansas City  
Phase VI-Second Plat

Sheet  
C02



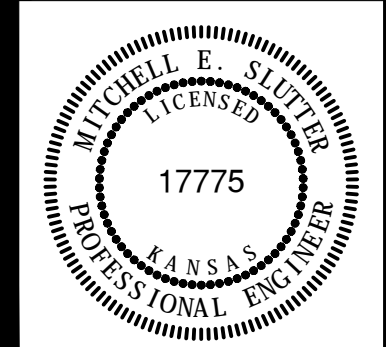
- LEGEND**
- L/L — Lot Line
  - P/L — Property Line
  - B/L — Building Setback Line
  - - - - - Parking Setback Line



**Renaissance Infrastructure Consulting**

5015 NW CANAL STREET, SUITE 100  
RIVERSIDE, MISSOURI 64150

816.800.0950  
WWW.RIC-CONSULT.COM



NO.	BY	DATE	REVISION
1	JWD	05/17/17	RESUBMITTAL
	JWD	04/18/17	ORIGINAL SUBMITTAL

Site Boundaries

Preliminary Plat

17-0143  
Logistics Park Kansas City  
Phase VI-Second Plat

Sheet  
C03



**STAFF REPORT**

June 9, 2017

To: Edgerton Planning Commission  
Fr: Kenneth Cook, AICP, CFM, Community Development Director  
Re: Application FP2017-03 for *Final Plat for Logistics Park Kansas City Phase VI- Second Plat*, located north side of 183<sup>rd</sup> Street just east of Waverly Road.

**APPLICATION INFORMATION****Applicant/Property Owner:**

Aaron Burks  
Edgerton Land Holding Company, LLC

**Requested Action:**

Final Plat Approval

**Legal Description:**

Part of the SW 1/4, Section 26, Township 14  
South, Range 22 East in the City of Edgerton,  
Johnson County, Kansas.

**Site Address/Location:**

30700 W 183<sup>rd</sup> Street - North side of 183<sup>rd</sup> Street  
just east of Waverly Road.

**Existing Zoning and Land Uses:**

City of Edgerton L-P, Logistics Park District and  
Agriculture.

**Existing Improvements:**

None.

**Site Size:**

Lot 1 - 26.006 acres, Tract A - 4.180 acres, Tract  
B - 6.170 Acres, Total Site - 35.356 Acres.

**PROJECT DESCRIPTION**

The applicant is seeking approval of a final plat based on the preliminary plat that has also been submitted for consideration by the Planning Commission and the L-P, Logistics Park District zoning requirements. The two lot, three tract Preliminary Plat will be considered prior to the Planning Commission considering this request. This plat is for property that is part of Logistics Park Kansas City. The subject property is located on the north side of 183<sup>rd</sup> Street just east of Waverly Road and is zoned L-P, Logistics Park. The City's Unified Development Code (UDC) defines this district as a limited multimodal industrial zone created to support activities related to truck, rail and other transport services.

**FINAL PLAT REVIEW**

Staff has reviewed the Final Plat submittal for compliance with the Approved Preliminary Plat and requirements in Section 13.3 of Article 13 of the Edgerton UDC. The final plat as submitted complies with all requirements except as noted below.

2. The words "FINAL PLAT" followed by the name of the subdivision at the top of the sheet, and then followed by a metes and bounds description of the tract. *There is a typo in the metes and bounds description of the title – "quareter". Update Final Plat*
3. The instrument of survey which shows the point of beginning, corners, bearings, courses, distances, exterior boundaries, interior lot boundaries, abandoned lot lines, pins, and monuments found or set. All P.I.'s corners, boundaries must be monumented with a 2" x 24" metal bar. *Update Final Plat*
  - a) *Show the south quarter corner (26-14-22) with dimensions.*
  - b) *Show the origin of the sectional corners. If unknown, state "origin unknown".*
  - c) *Identify adjoining parcels by description of record.*

- d) *Show set property corner for the southwest corner of Tract B.*
5. Individual notations and a table showing: lot and tract areas, setbacks, and building envelopes. *Please add table with the required information. **Update Final Plat.***
  6. A number for each lot, starting (if practical) in the northwest corner. *Staff typically recommends that the lot numbers match those of the preliminary plat. As the subject plat is the Second Plat of Phase VI, it is recommended that the lot number of this lot be adjusted to follow the numbers that were assigned on the original preliminary plat. Staff suggests this lot be numbered as Lot 5 to continue the counterclockwise numbering of lots in this phase. **Update Final Plat.***
  7. All easements with widths, and roads with curve data. *Drainage easements shall be provided for the detention and stormwater conveyance system. An access easement is needed for Tract B. An access easement may also be needed to provide access to Tract A across the South portion of Lot 1 as access to this area off of Waverly may be difficult and no access is expected to be granted off of Waverly. **Update Final Plat.***
  8. Ingress/egress limitations if required. *Label and hatch "No Access to Waverly Road" along the west line of Tract A. **Update Final Plat.***
  10. A written legal description from the survey. *The Legal description does not match the graphic portion of the plat. **Update Final Plat.***

## **RECOMMENDATION**

City staff recommends **approval** of FP2017-03 for the Final Plat, Logistics Park Kansas City Phase IV – Second Plat, subject to compliance with the staff report recommendations and following stipulations:

1. Adequate Drainage Easements be provided over Tract A, Tract B, and the stormwater conveyance system.
2. Adequate Access Easement be provided for Tract A and possibly across tract B.
3. All Final Plat requirements of the City listed above shall be met or addressed prior to recording of the Plat.
4. The commencement of any improvements shall not occur prior to the approval and endorsement of the final plat and the submittal to and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the final plat by the Governing Body.
5. Sanitary sewer drawings and specifications must be submitted to and approved by the City of Edgerton and Kansas Department of Health and Environment prior to the commencement of any improvements.
6. A Public Improvement Inspection Fee, established by the Fee Schedule for the Unified Development Code, shall be submitted with the document of financial assurance as defined in Section 13.7 prior to the commencement of any improvements.
7. The applicant shall meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton Unified Development Code, including payment of excise tax.
8. The applicant shall meet all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton Unified Development Code.

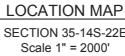
## **ATTACHMENTS**

Application FP2017-03

Final Plat Logistics Park Kansas City Phase VI- Second Plat






A SUBDIVISION OF LAND IN CITY OF EDGERTON, JOHNSON COUNTY, KANSAS  
SECTION 35, TOWNSHIP 14 SOUTH, RANGE 22 EAST



LOT AREA INFORMATION		
LOT NO.	LOT AREA SQUARE FEET	LOT AREA ACRES
1	1,861,724	42.739
2	2,203,790	50.592
RIGHT-OF-WAY	328,818	7.549
TOTALS	4,394,232	100.878

Flood Plain Note: According to the F.E.M.A. Flood Insurance Rate Map Number 20091C0119G, revised August 3, 2009, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.

- LEGEND:**
-  FOUND SECTION CORNER AS NOTED
  -  FOUND MONUMENT AS NOTED
  -  SET 1/2" X 24" REBAR WITH  
RIC MO CAP
  - A/E** ACCESS EASEMENT
  - B/L** BUILDING SETBACK LINE
  - Kg/L** PARKING SETBACK LINE
  - D/E** DRAINAGE EASEMENT
  - GL/E** GAS LINE EASEMENT
  - SS/E** SANITARY SEWER EASEMENT
  - SW/E** SIDEWALK EASEMENT
  - U/E** UTILITY EASEMENT
  - tele/E** TELEPHONE EASEMENT
  - WL/E** WATERLINE EASEMENT
  - P/E** PEDESTRIAN EASEMENT

\_\_\_\_\_  
Notary Public

My Appointment Expires: \_\_\_\_\_

[illegible]

**Renaissance  
Infrastructure  
Consulting**

Two New Century Parkway  
New Century, Kansas 66031  
913.317.9500  
[www.ri-consult.com](http://www.ri-consult.com)



## STAFF REPORT

June 9, 2017

To: Edgerton Planning Commission  
Fr: Kenneth Cook, AICP, CFM, Community Development Director  
Re: Application PS2017-03 for Preliminary Site Plan for Logistics Park Kansas City Phase VI, located on the north side of 183<sup>rd</sup> Street and East of Waverly Road.

### APPLICATION INFORMATION

**Applicant/Property Owner:** Aaron Burks, Edgerton Land Holding Company, LLC  
**Requested Action:** Preliminary Development/Site Plan – Logistics Park Phase VI – Second Plat  
**Legal Description:** SW ¼ of Section 26, Township 14, Range 22  
**Site Address/Location:** Approximately 80 acres located along the north side of 183<sup>rd</sup> Street, just east of Waverly Road  
**Existing Land Use:** vacant  
**Existing Zoning and Uses:** Zoned L-P, Logistics Park District & vacant  
**Existing Improvements:** none  
**Site Size:** Lot 1 at 26 acres, Lot 2 at 37 acres and Three Tracts for approximate total of 80 acres.

### Background Information

This application has been submitted for preliminary site plan of two lots and three tracts for a total of approximately 80 acres. The preliminary site plan includes two proposed buildings: Lot 1 – 492,283 SF and Lot 2 – 682,500 SQ.FT. The Preliminary Development/Site Plan sheets include general information about the development including items such as overall layout, access (including sight distance considerations), circulation and landscaping.

### Subject Property



### STAFF ANALYSIS

Staff has reviewed the Preliminary Site Plan submittal. The application is reviewed for compliance with Section 10.1 of Article 10 for Site Plan requirements. It is also reviewed for compliance with Section 5.2 Logistics Park (L-P) District regulations. The preliminary site plan complies with the

requirements except as noted below.

- Profile and detail for roads (if required). *As this project includes proposed connections to 183<sup>rd</sup> Street, the street will need to be reconstructed to handle the anticipated traffic and to match the city's typical cross section. Sidewalks should extend and connect to existing sidewalk. No profile and details have been submitted. **Update Preliminary Site Plan.***

## **DESIGN GUIDELINES:**

1. Buildings should be oriented so that the front or side of the building faces the public street frontage of the property. The City may consider an exception to orient a rear elevation towards a public street for unique situations due to the configuration of the lot. *The applicant needs to submit building elevations for IP IX on Lot 1 that depicts how the building is oriented and will appear from 183<sup>rd</sup> Street. The building is orientated so that the Eastern portion of the docks along the South wall face 183<sup>th</sup> Street. **If the Planning Commission allows this orientation, then Lot 1 will have docking doors face a public street (183<sup>rd</sup> Street).***
2. When development is proposed adjacent to any existing residential development, site plan approval, including building elevations, landscaping, and screening shall be approved by the City. *The eastern property line is the corporate city limits for the Cities of Edgerton and Gardner. The abutting property to the east has, and continues to, develop with two-family and single-family residential uses. Due to the adjacent use as residential staff recommends screening (achieved using combination of berm, varied placement of type 4 buffer and modified type 4 perimeter buffer) be provided to screen trucks (in trailer stalls or at the building) from view of a person just east of the eastern property line. The applicant is revising line of sight drawings to reflect these changes for review during Planning Commission meeting. It is anticipated the updated plan will also meet the required landscape standards. One area of challenge will be the wetland approximately 500 feet north of 183<sup>rd</sup> Street. **Update Preliminary Site Plan.***

## **ARCHITECTURAL DESIGN STANDARDS:**

1. Façade Guidelines
  - a. Horizontal Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the wall's height without having an off-set of ten percent (10%) of the wall's height (maximum of five (5) feet); the new plane shall extend for a distance equal to a minimum of twenty percent (20%) of the maximum length of the first plane. The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. Walls not facing a public right-of-way or a residentially zoned property and loading dock doors are exempt from the horizontal articulation requirement.
    - i. *Building IP IX (Lot1)*
      1. *The north wall faces railroad right-of-way and Tract B.*
      2. *While the South wall faces public ROW, the wall is exempt from the horizontal articulation requirement due to the location of loading dock doors.*
      3. *The east wall faces Building IP X (Lot 2).*
      4. *The west wall faces Tract A and Waverly Road right-of-way. The middle of the west wall measures 260'. The height of the wall ranges between 43'-6" and 48'-2". The maximum length of this wall without additional horizontal articulation is 192'-8". The required horizontal off-sets calculated for this wall is 4.3' & 4.8'. The off-sets provided are 5' & 10', respectively. This*

*means that the proposed building does not meet the horizontal articulation requirement due to the length of the middle section of this wall.*

ii. *Building IP X (Lot 2)*

1. *The north wall faces railroad right-of-way and Tract C*
2. *The south wall faces 183<sup>rd</sup> Street. The south wall faces and abuts 183<sup>rd</sup> street right-of-way. The middle of the south elevation (wall) measures 270'. The height of the wall ranges between 41'-0" and 48'-2". The maximum length of this wall without additional horizontal articulation is 192'-8". The required horizontal off-sets calculated for this wall is 4.1' & 4.8'. The off-sets provided are 5' & 10', respectively. This means that the proposed building does not meet the horizontal articulation requirement due to the length of the middle section of this wall.*
3. *While the east wall faces residentially zoned property, the wall is exempt from the horizontal articulation requirements due to the location of loading dock doors.*
4. *The west wall faces Building IP IX on (Lot 1).*

*Additional horizontal articulation could be provided in these areas or the articulation provided at the buildings corners could be extended to shorten these distances. This is the same issue that has been discussed as part of previous approvals. The Planning Commission has allowed exceptions to this requirement in the past based upon reviewing the building elevation and design and determining that the applicant is using some of the additional design elements listed in Section 5.2J.2 to give the appearance of breaking up the length of the building and to allow for a common design to be used between the buildings that are being proposed.*

***The Planning Commission may decide to approve exceptions to all or portions of this plan based upon the façade elevations that have been provided and to allow for this building to maintain a consistent appearance with the adjacent development.***

- b. Vertical Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the height of the wall without changing height by a minimum of ten percent (10%) of the wall's height (maximum of five (5) feet). The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. *Like the horizontal articulation requirement, walls not facing a public right-of-way or a residentially zoned property are exempt from this requirement. However, walls with loading dock doors are still required to meet this standard. Elevations for the north and south façades have not been provided.*
  - i. *Building IP IX (Lot 1). The minimum height change required is between 4.3 & 4.8 feet. The maximum change in height shown on the south elevation (across the entire length of the building) is 4'-8" feet (43'-6" to 48'-2"). While the articulation between the tops of the lowest and tallest walls exceed this requirement, the overall articulation does not comply as the 10% change in height is required to occur within each 192'-6" foot section of wall. While the elevations do not comply with this requirement more (while smaller) articulation is provided. The vertical articulation being provided appears to be the same as that shown on previous projects. **The elevation plans do not comply with this requirement. The Planning Commission may decide to approve an exception to this requirement based upon the façade elevations that have been provided.***

- ii. *Building IP X (Lot 2). The minimum height change required is between 4.3 & 4.8 feet. The maximum change in height shown on the south elevation (across the entire length of the building) is 4'-8" feet (43'-6" to 48'-2"). While the articulation between the tops of the lowest and tallest walls exceed this requirement, the overall articulation does not comply as the 10% change in height is required to occur within each 192'-6" foot section of wall. While the elevations do not comply with this requirement more (while smaller) articulation is provided. The vertical articulation being provided appears to be the same as that shown on previous projects. **The elevation plans do not comply with this requirement. The Planning Commission may decide to approve an exception to this requirement based upon the façade elevations that have been provided.***

## **OFF-STREET LOADING STANDARDS**

1. Temporary Outdoor Storage Regulations for Cargo Containers, Operational Trailers, and Tractors. The L-P District requires that outdoor parking or storage spaces for cargo containers, operational trailers and tractors must be screened from view by either a masonry wall of a type and style complementary to the primary materials of the building, wrought iron, decorative metal, living plant material or a combination of these. The height of the screening must be sufficient to block view of the equipment or vehicles from a public right-of-way. Where a masonry wall is used to satisfy this requirement, foundation planting must be provided on the exterior face of the wall. These spaces must be clearly demarcated solely for tractor and trailer storage. *The site plan shows the number of trailer parking stalls for each lot as the following:*
  - a. *IP IX (Lot 1) – 154 spaces. Some of the spaces for Lot 1 are located adjacent to 183<sup>th</sup> Street and will be visible to traffic.*
  - b. *IP X (Lot 2) – 142 proposed and 78 deferred spaces. Lot 2 has 144 (66 proposed & 78 deferred/future) trailers spaces that will abut residentially zoned property along the eastern side of the site. A screening plan complying with city regulations that adequately screens the dock doors and trailer stalls needs to be developed by the applicant for Lot 2. The applicant has submitted sight line drawings for the eastern side of Lot 2 (IP X) to help illustrate how the site will appear.*

*The proposal is similar to what has been approved previously on other projects. Also see above as applicant revising landscape plan to provide additional screening along the east side of property.*  
**Update Preliminary Site Plan.**

## **RECOMMENDATION**

City staff recommends the Planning Commission **approve** the proposed Preliminary Development/Site Plan, with the following stipulations:

1. The above recommendations are stipulated to as a part of approval and incorporated into the Preliminary Development/Site Plan document set.
2. A Final Development/Site Plan must be submitted and approved prior to commencement of uses and the property shall be developed in accordance with a Final Development/Site Plan, Landscaping Plan, and Photometric Plan as required by City approval of the submitted Preliminary Development/Site Plan, as amended by these stipulations, and approved by the City.
3. All Preliminary Development/Site Plan requirements of the City listed above shall be met or addressed during Final Development/Site Plan submittal as identified above.



4. No signage is proposed with this application. Signage proposed later shall receive separate approval according to the provisions of the UDC.
5. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City.

183rd Street & Montrose Street  
City of Edgerton, Johnson County, Kansas

May 18, 2017 4:28pm  
 2017-05-18 17:04:33 Northcott Island Bot 0/0/0 17.01.13 0000s done

- LAYOUT & PAVING NOTES**
- All construction shall conform to the City of Edgerton's minimum design standards.
  - Contractor shall keep a full set of KO-APWA Standard Details onsite at all times.
  - The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies to the architect/engineer prior to beginning work.
  - The contractor shall verify the exact location of all existing utilities, take care to protect utilities that are to remain, and repair contractor caused damage according to current local standards and at the contractor's expense. Coordinate all construction with the appropriate utility company.
  - The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work.
  - Prior to installing, constructing, or performing any work in the public right of way or on the public storm sewer line (including concrete pavement or connecting private drainage systems to the storm sewer), contact City of Edgerton Public Works at 913.853.6801 for inspection of the work. Contact must be made at least 24 hours prior to start of the work.
  - Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Adjust all utilities prior to installation of pavement.
  - The contractor shall protect all trees to remain, in accordance with the specifications. Do not operate or store heavy equipment, nor handle, nor store materials within the driplines of trees or outside the limit of grading.
  - Concrete walks and pads shall have a broom finish. All concrete shall be 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
  - All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
  - Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
  - Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
  - Parking stripes shall be 4-inch white pavement paint.
  - For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.

- PAVEMENT MARKING AND SIGNAGE NOTES**
- Parking stall marking stripes shall be four inch (4") wide white stripes. Handicap stall marking shall be furnished at locations shown on plans.
  - Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform Traffic Control Devices."
  - Traffic control and pavement markings shall be painted with a white Sherwin Williams S-W traffic marking series b-29/2 or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

**Paving Schedule**

7" Asphaltic Concrete Pavement



5" Asphaltic Concrete Pavement



8" Portland Concrete Pavement and 4" Concrete Sidewalk



Existing Pavement



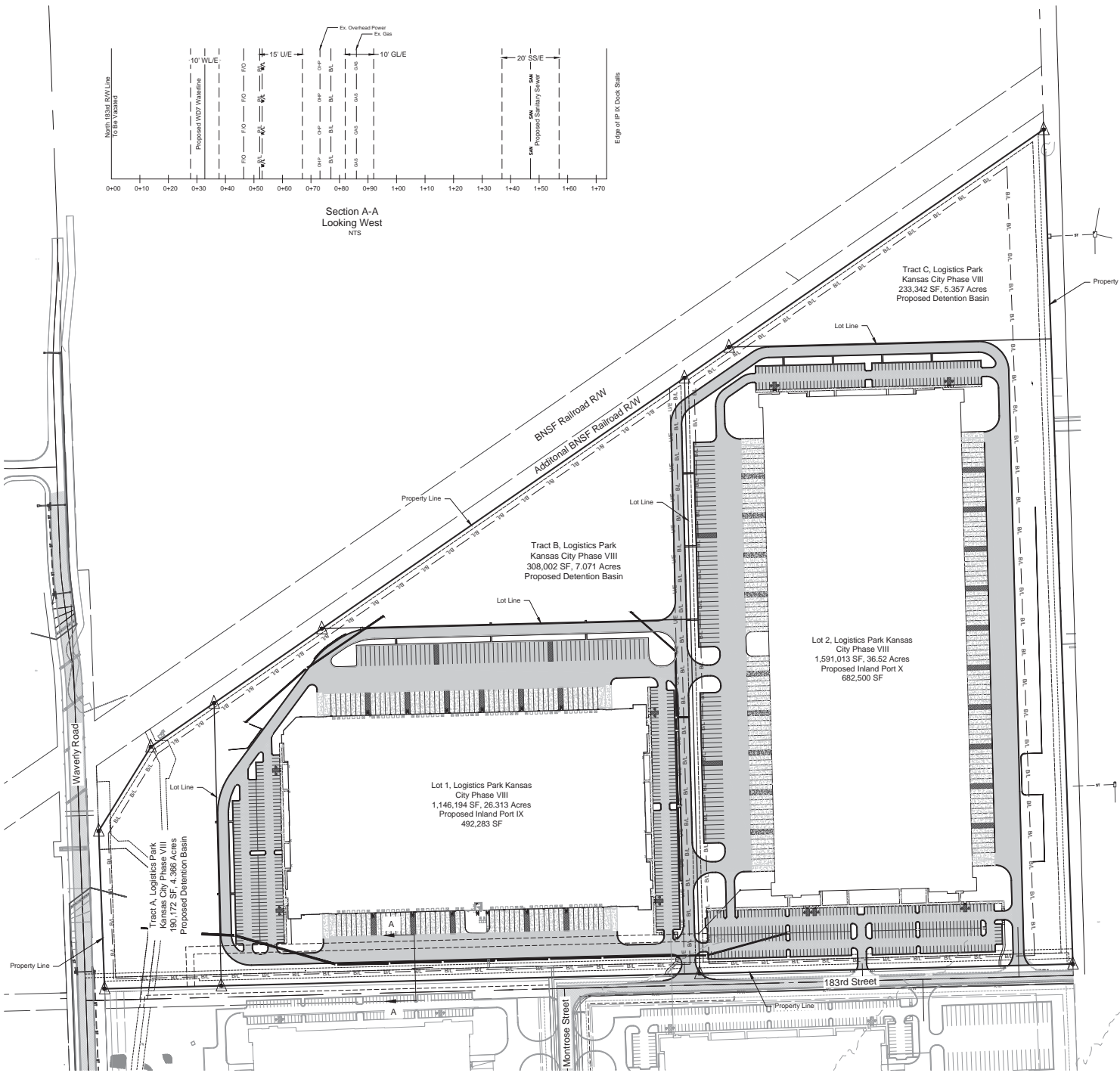
**Legend**

1/2"x24" Iron Bar to be Set

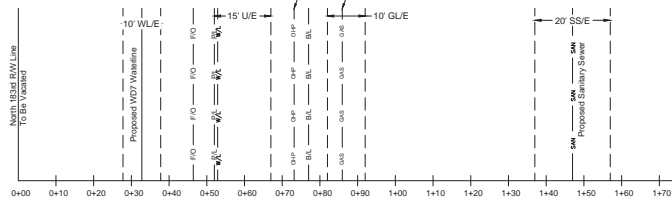


1"=100'

0 50 100'



Section A-A  
Looking West  
NTS





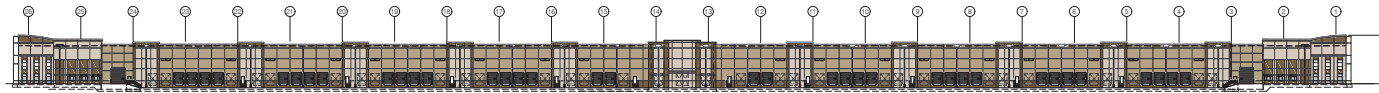




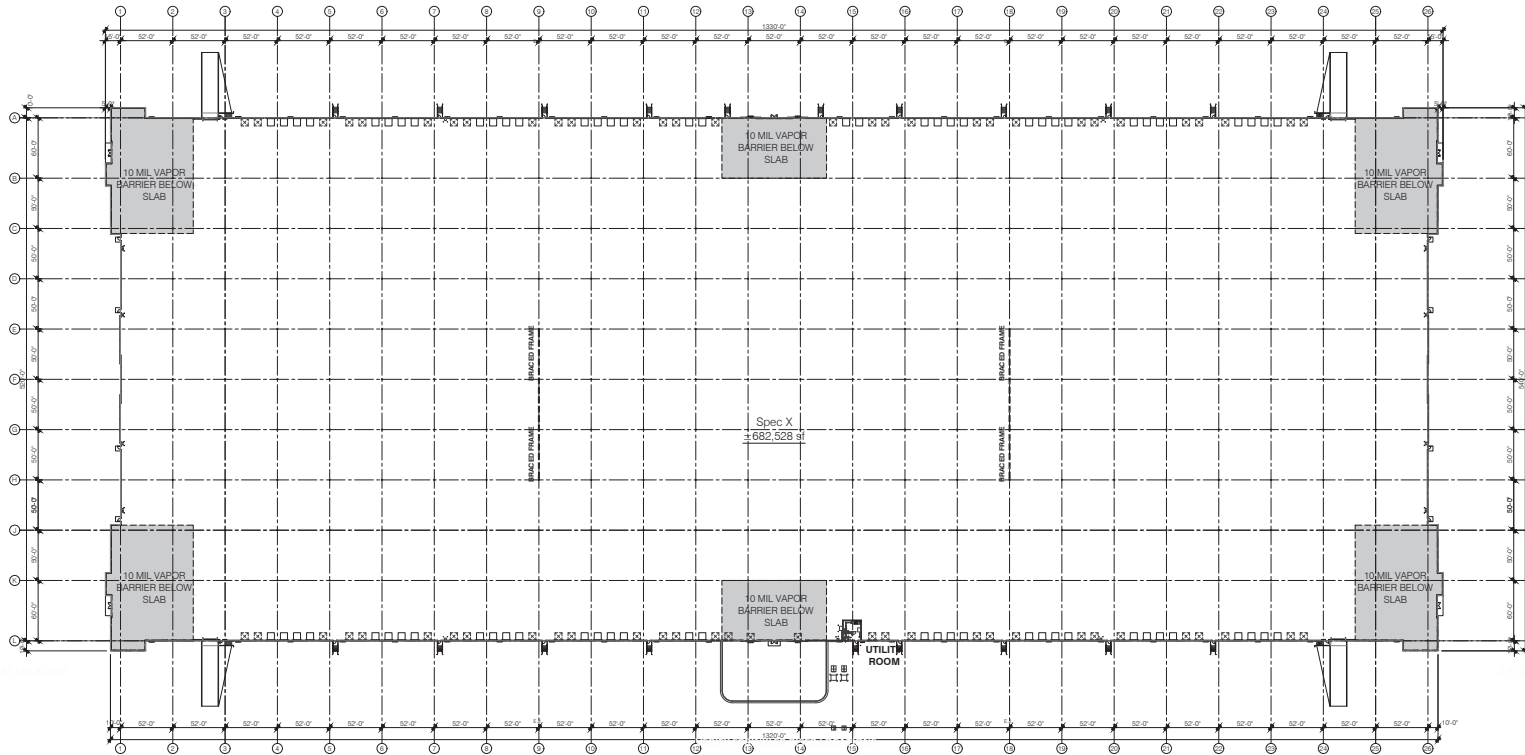








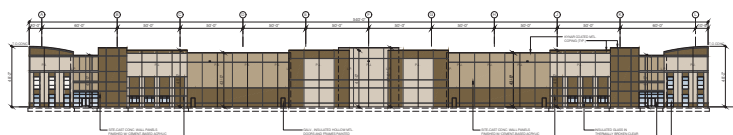
1 OVERALL EAST ELEVATION  
Scale: 1/32



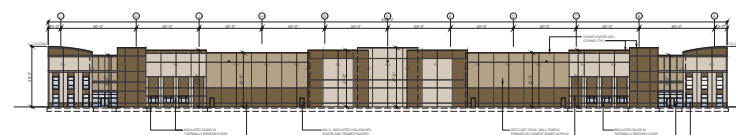
2 OVERALL FLOOR PLAN  
Scale: 1/32



3 OVERALL WEST ELEVATION  
Scale: 1/32

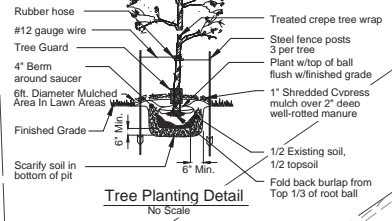
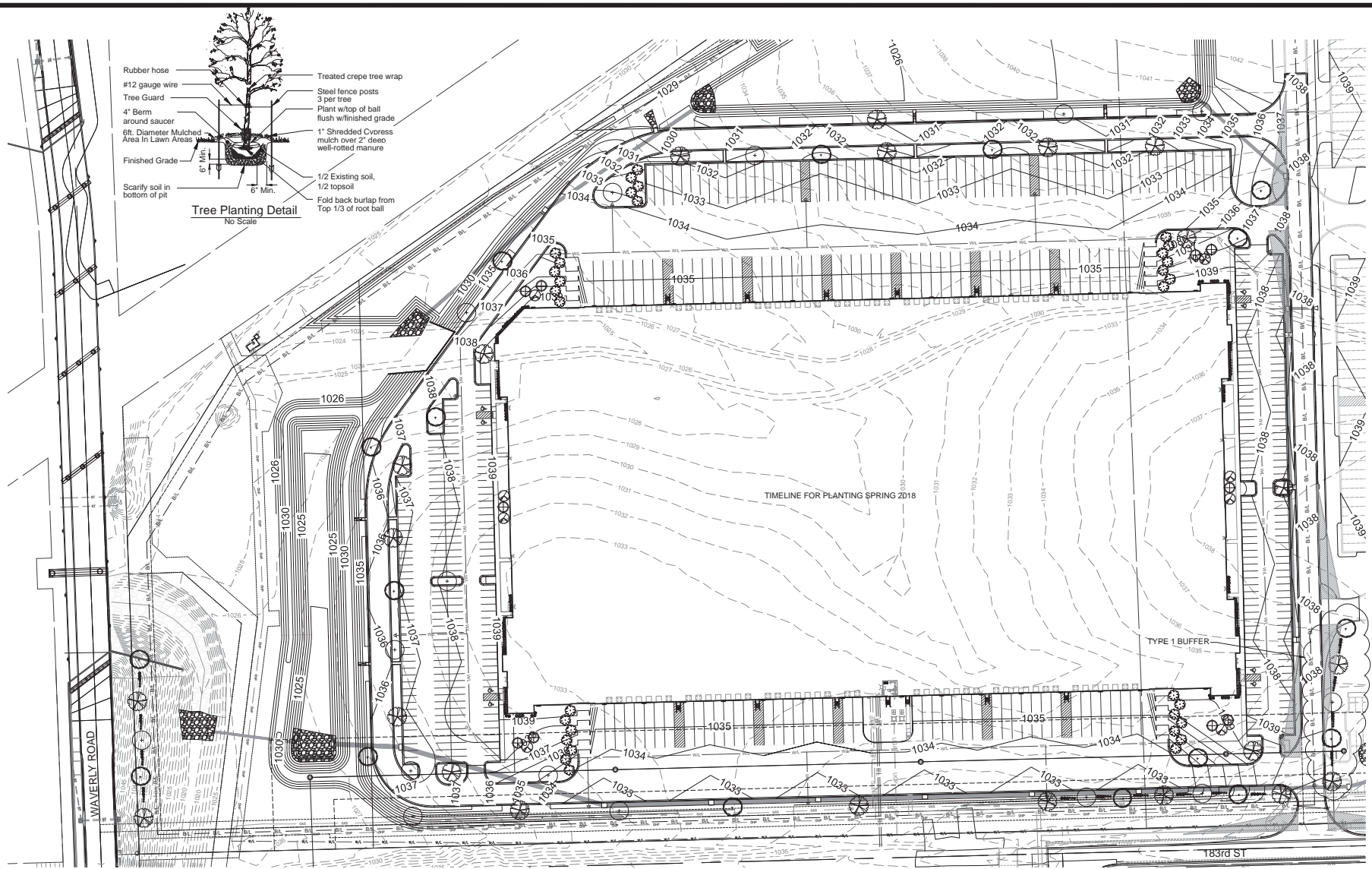


4 OVERALL NORTH ELEVATION  
Scale: 1/40

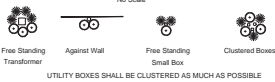


5 OVERALL SOUTH ELEVATION  
Scale: 1/40





Typical Utility Box Screening Details



Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	17	Autumn Blaze Maple	Acer fremanii	2" cal	BB	As Shown
	15	Celebration Maple	Acer x freemanii Celebration	2" cal	BB	As Shown
	6	Red Oak	Quercus Rubra	2" cal	BB	As Shown
	10	Regal Prince Columnar English Oak	Quercus x warei 'Long'	1.5" cal	BB	As Shown
	8	Prairiefire Crabapple	Malus Sp. 'Prairiefire'	1 1/2" cal	BB	As Shown
	33	Keteleeri Juniper	Juniperus chinensis 'Keteleeri'	6' hgt	Cont.	3'o.c.

#### LANDSCAPE NOTES

CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allow without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurserymen, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

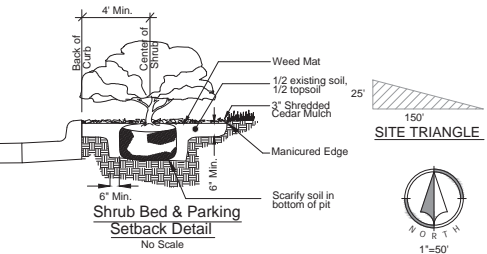
Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with 3" of shredded cedar mulch.

All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

All seed areas shall be hydro-seeded with a Turf-Type-Tall Fescue seed blend.

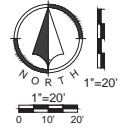


SITE TRIANGLE





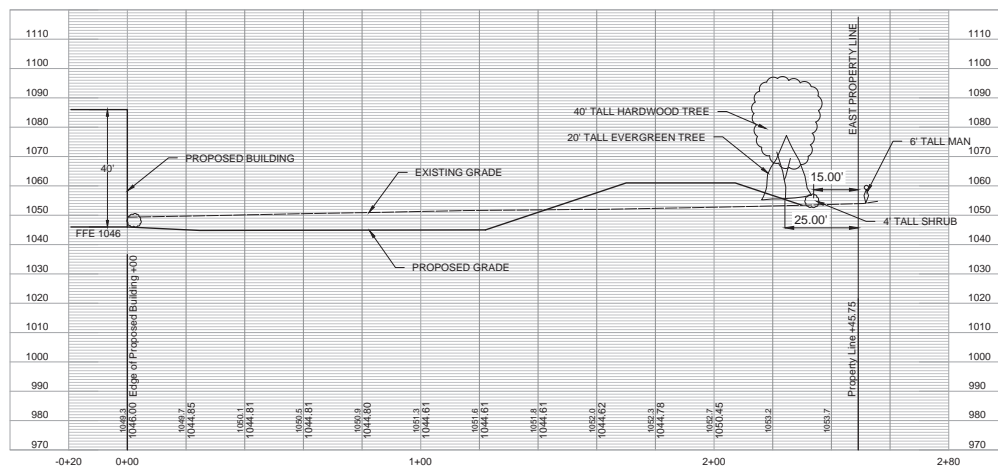








## SIGHT LINE 5





997.76

☒ PRELIMINARY SITE PLAN ☐ FINAL SITE PLAN

NAME OF PROPOSED SUBDIVISION: Logistics Park Kansas City Phase VII, First Plat, Lot 1 and 2

LOCATION OR ADDRESS OF SUBJECT PROPERTY: 183rd Street & Montrose Street

LEGAL DESCRIPTION: See Attached

CURRENT ZONING ON SUBJECT PROPERTY: L-P CURRENT LAND USE: AG

TOTAL AREA: 79.776 Acres NUMBER OF LOTS: 2 AVG. LOT SIZE: 40 Sq. Ft.

DEVELOPER'S NAME(S): Edgerton Land Holding Company, LLC PHONE: 816-888-7380

COMPANY: Edgerton Land Holding Company, LLC FAX: 816-888-7399

MAILING ADDRESS: 4825 NW 41st Street, Suite 500, Riverside, MO 64150

Street City State Zip

PROPERTY OWNER'S NAME(S): ELHC IX, LLC / ELHC X, LLC PHONE: 816-888-7380

COMPANY: ELHC IX, LLC / ELHC X, LLC FAX: 816-888-7399

MAILING ADDRESS: 4825 NW 41st Street, Suite 500, Riverside, MO 64150

Street City State Zip

ENGINEER'S NAME(S): Renaissance Infrastructure Consulting PHONE: (816) 800-0950

COMPANY: Renaissance Infrastructure Consulting FAX: \_\_\_\_\_

MAILING ADDRESS: 5015 NW Canal St #100, Riverside, MO 64150

Street City State Zip

SIGNATURE OF OWNER OR AGENT: 

If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

**FOR OFFICE USE ONLY**

Case No.: S- 201703 Amount of Fee Paid: \$ 997.76 Date Fee Paid: 5-11-17 rept # 73533  
943

Received By: Debra S Bragg Date of Hearing: 6/13/17

**SITE PLAN INSTRUCTIONS**

**SUBMITTAL DEADLINE:** The applicant shall submit an application at least thirty (30) working days prior to a scheduled meeting.

**NOTICE REQUIREMENTS:** The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.

vs. 9-9-11