



EDGERTON
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404 East Nelson
Edgerton, KS 66021
P: 913.893.6231
EDGERTONKS.ORG

STAFF REPORT

June 9, 2017

To: Edgerton Planning Commission
Fr: Kenneth Cook, AICP, CFM, Community Development Director
Re: Application FS2017-02, Inland Port IX, Final Site Plan for Logistics Park Kansas City Phase VI, Second Plat, Lot 1, located along the north side of 183rd Street just east of Waverly Road.

APPLICATION INFORMATION

Applicant/Property Owner: Aaron Burks, Edgerton Land Holding Company

Requested Action: Final Site Plan – LPKC IP IX

Legal Description: Part of the SW 1/4, Section 26, Township 14 South, Range 22 East in the City of Edgerton, Johnson County, Kansas.

Site Address/Location: North side of 183rd Street and just east of Waverly Road.

Existing Zoning and Land Uses: L-P, Logistics Park, Agriculture.

Existing Improvements: None

Site Size: Lot 1 - 26.313 Acres, Tract A - 4.366 Acres and Tract B - 7.071 Acres, Total Acreage - 37.750

PROJECT DESCRIPTION

The applicant is seeking approval of a final site plan based on an approved preliminary site plan, final plat and the L-P, Logistics Park District zoning requirements. The two (2) lot, three (3) tract, Preliminary Plat is also to be considered at the June 13, 2017 Planning Commission meeting.

The applicants now seek approval of a final site plan with one (1) lot and two (2) tracts. A final plat is also being considered for this application.

This lot is part of Logistics Park Kansas City. The subject property is located on the north side of 183rd Street just east of Waverly Road and is zoned L-P, Logistics Park. The City's Unified Development Code (UDC) defines this district as a limited multimodal industrial zone created to support activities related to truck, rail and other transport services.

STAFF ANALYSIS

Staff has reviewed the Final Site Plan submittal. The Final Site Plan is reviewed for compliance with Section 10.1 of Article 10 for Site Plan requirements. It is also reviewed for compliance

with Section 5.2 Logistics Park (L-P) District regulations. Staff has worked with the applicant to discuss comments on their original submittal and the applicant has expressed that they are working to address any concerns. Staff has removed items of which the applicant has complied with the requirements of the UDC and the following includes items that need to be discussed considered by the Planning Commission.

1. Sheet A1.00 (page #9)

- a) Scale drawings of all building elevations. *Building elevations for the east and west side have not been furnished. **Update Final Site Plan.***

Section 5.2 Logistics Park (L-P) District regulations

DESIGN GUIDELINES:

1. Buildings should be oriented so that the front or side of the building faces the public street frontage of the property. The City may consider an exception to orient a rear elevation towards a public street for unique situations due to the configuration of the lot. *The building is orientated on Lot 1 and has frontage onto two public streets on the West side and on the East of the South Side. The current plan shows dock doors facing public-right-of-way for 183rd Street on the Southeast side of the building and depict the office space entrances on the east and west sides of the building. Loading docks and trailer storage spaces would typically be considered items that would be oriented to the rear of the property and not directly adjacent to a public street, but the location of this property creates difficulty with this. The shape of this property also creates a unique situation as it appears to be a triangle and while the South side has frontage on a road, the majority of this side is adjacent to another Industrial zoned property. In the current plan, the façade with loading docks faces the street that would be considered more of a local road, with the side that does not have loading docks facing Waverly Road, which is considered a major arterial. The Planning Commission has approved previous requests in the past. **Thus, if the City approves the current application, it will thereby approve an exception to orient a side elevation (including dock doors) towards public streets (183rd Street) due to the configuration of a lot with public streets on two sides of the proposed building.***
2. The City may require that loading and service areas are screened from public view with landscaping, berming, facade walls, or fencing. *The applicant has prepared a site plan that complies with the ROW buffer requirements of the L-P District. While the plan meets the minimum standards to landscaping adjacent to ROW the planning commission will need to determine if what is proposed is adequate due to the orientation of the loading docks. **Staff recommends that the site plan matches the character of the neighborhood and meets the intent of the L-P District.***

LANDSCAPE STANDARDS – Sheets L01 thru L04

In general, the landscape plans that have been submitted comply with the standards of the L-P District. Staff has worked with the applicant in regards to the ROW buffer that was shown being located on the side of the approach to the Waverly Road Bridge. The applicant has agreed to work with staff and move this landscaping to the East side of the detention pond located in Tract A in order for it to be more effective

RECOMMENDATION

City staff recommends **approval** of FS2017-02 for the Final Site Plan IP IX LPKC Phase VI, Second Plat, Lot 1 (to be updated to Lot 5). subject to the conditions and stipulations of the staff report and the following;

1. All Site Plan requirements of the City shall be met as listed above, particularly including:
 - a. Submittal of a plan for pedestrian access to and within the development.
 - b. Submittal of photometric lighting plan in conformance with UDC especially regarding maximum average foot-candles and foot-candles at property line.
 - c. Construction plans for future public infrastructure be submitted and approved by the City. Any necessary permits obtained.
 - d. Submittal of architectural and landscaping plans will be required for trash enclosures if they become necessary. All landscaping shall be maintained in good condition and plants shall be replaced when dead.
2. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City.
3. All building permit and sign permit requirements of the City shall be met.
4. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

ATTACHMENT

Final Site Plan Application No. FS2017-02

Final Development/Site Plan IP IX LPKC Phase VI, Second Plat, Lot 1 (Updated to Lot 5).

Inland Port IX
Final Development Plan
Logistics Park Kansas City - Phase VI, Second Plat, Lot 1

183rd Street & Montrose Street
City of Edgerton, Johnson County, Kansas

Description

Lot 1, Logistics Park Kansas City Phase VI, Second Plat. A subdivision of land in the City of Edgerton, Johnson County, Kansas.

JOHNSON COUNTY BENCHMARK

JCVCN BM#1190
Bernsten Aluminum Disk Stamped BM 1190, Located on center North end of the West headwall RCB. From the intersection of Waverly Road and 183rd Street, go West 0.15 Miles to the RCB. ELEV: 1023.06

Note:
Screening of added site items and site signage will be the responsibility of the tenant. Tenant should adhere to the current City of Edgerton regulations.

Project Sponsor
ELHC IX, LLC
4825 NW 41st Street, Suite 500
Riverside, Missouri 64150

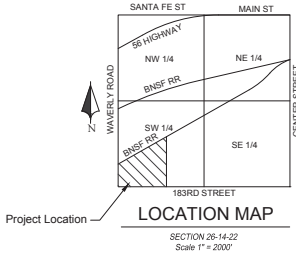
Project Architect
Studio North
4825 NW 41st Street, Suite 500
Riverside, MO 64150

Project Engineer
Renaissance Infrastructure Consulting, LLC
5015 NW Canal St. Suite 100
Riverside, Missouri 64150

Project Surveyor
Renaissance Infrastructure Consulting, LLC
5015 NW Canal St. Suite 100
Riverside, Missouri 64150



LOCATION MAP
SECTION 26-14-22
Not to Scale



LOCATION MAP
SECTION 26-14-22
Scale 1" = 200'

ZONING

The project is currently zoned L-P.

LEGEND

---	Existing Section Line	---	Proposed Right-of-Way
-----	Existing Right-of-Way Line	-----	Proposed Property Line
---	Existing Lot Line	---	Proposed Lot Line
-----	Existing Easement Line	---	Proposed Easement
---	Existing Curb & Gutter	---	Proposed Curb & Gutter
---	Existing Sidewalk	---	Proposed Sidewalk
---	Existing Storm Sewer	---	Proposed Storm Sewer
---	Existing Storm Structure	---	Proposed Storm Structure
---	Existing Waterline	---	Proposed Fire Hydrant
---	Existing Gas Main	---	Proposed Waterline
---	Existing Sanitary Sewer	---	Proposed Sanitary Sewer
---	Existing Sanitary Manhole	---	Proposed Sanitary Manhole
---	Existing Contour Major	---	Proposed Contour Major
---	Existing Contour Minor	---	Proposed Contour Minor
---		---	Future Curb and Gutter
---		---	Proposed Building Setback
---		---	Proposed Parking Setback

INDEX OF SHEETS

C01	Title Sheet
C02	General Layout
C03	Site Dimension Plan
C04	Grading Plan
C05	Storm Drainage Plan
C06	Storm Drainage Calculations
C07	Site Utility Plan
C08	Preliminary Storm Plan
A1.09	Overall Floor Plan/Elevations
L01	Overall Landscape Plan
L02	Building Entrance Landscape Plan
L03	East Landscape Plan
L04	South Landscape Plan

CERTIFICATE:

Received and placed on record this _____ day of _____, 20__ by _____

Kenneth Cook, Zoning Administrator

Approved by the Edgerton City Planning Commission this _____ day of _____, 20__ by _____

Chuck Davis, Chair of the Planning Commission

Permission for parking to encroach within setback lines is ___ is not___ granted according to my marked notations:
_____ Zoning Admin. _____ date

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant Signature _____ Date _____
Nathaniel Hagedorn, Manager
ELHC IX, LLC

SITE DATA TABLE

Lot 1 Acreage:	26.313 Acres
Tract A Acreage:	4.366 Acres
Tract B Acreage:	7.071 Acres
Total Land Area:	37.750 Acres

Building Area:	492,283 SF
Proposed Building Use:	Industrial
Total Number of Proposed Stalls:	482 Stalls
Trailer Parking:	62 Stalls
Dock Parking:	50 Stalls
Future Dock Parking:	42 Stalls
Employee:	320 Stalls
Total Number ADA Stalls:	8 Stalls
Number of Employees:	200
BOCA Building Code(500SF/person):	4.92
Building Coverage (492,283/1,518,859):	31.4%

FLOOD PLAIN NOTE

We have reviewed the "Flood Insurance Rate Map", Community Panel Number 20091C0119G, dated August 3, 2009, and 20091C0134G, dated August 3, 2009, as published by the Federal Emergency Management Agency. The above rate map places the property in Zone "X" for insurance purposes. Zone "X" is defined as Areas determined to be outside the 500-year flood elevation. No Base Flood Elevations have been determined.*

Sheet
C01

Final Development Plan

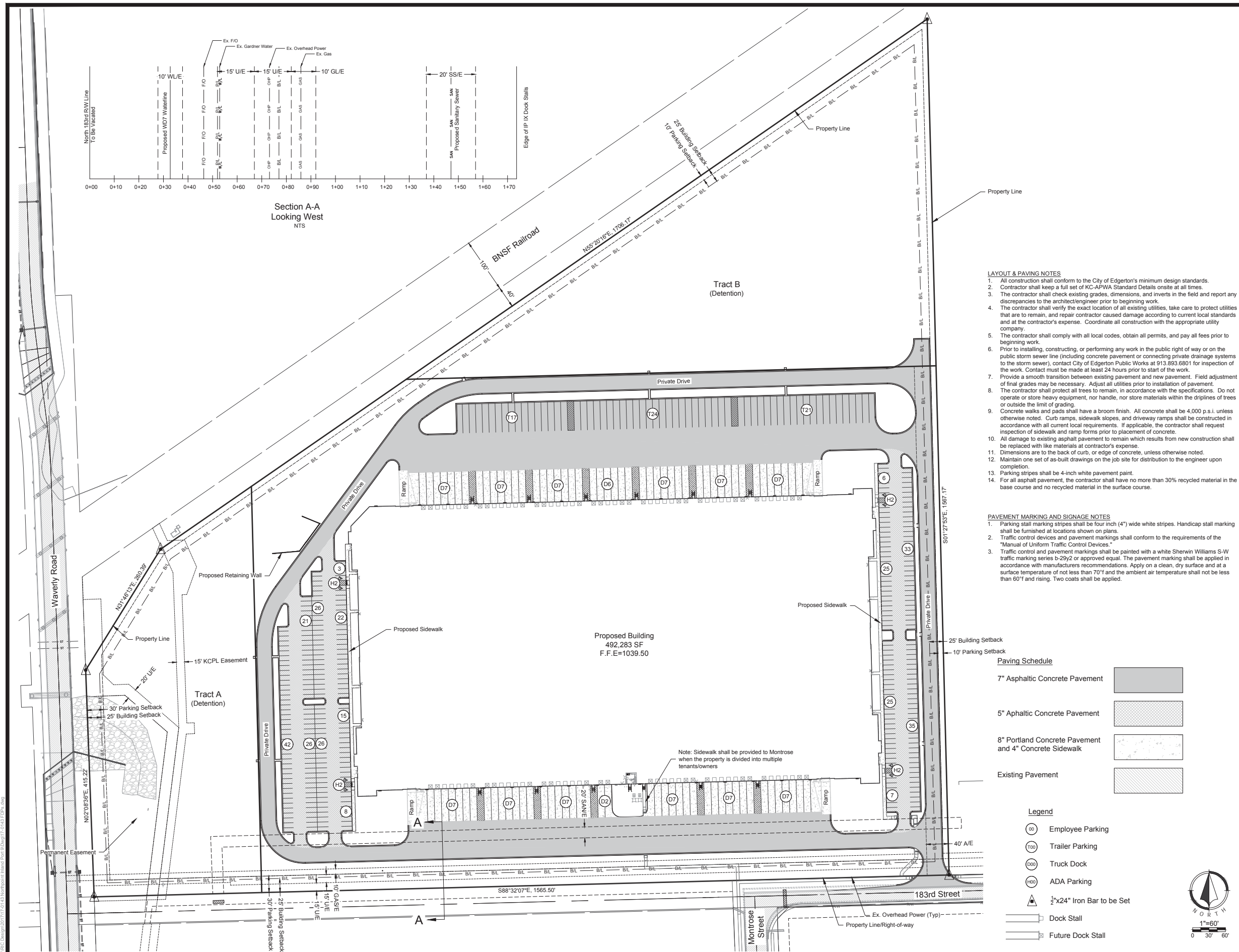
17-0143
Inland Port IX

Title Sheet

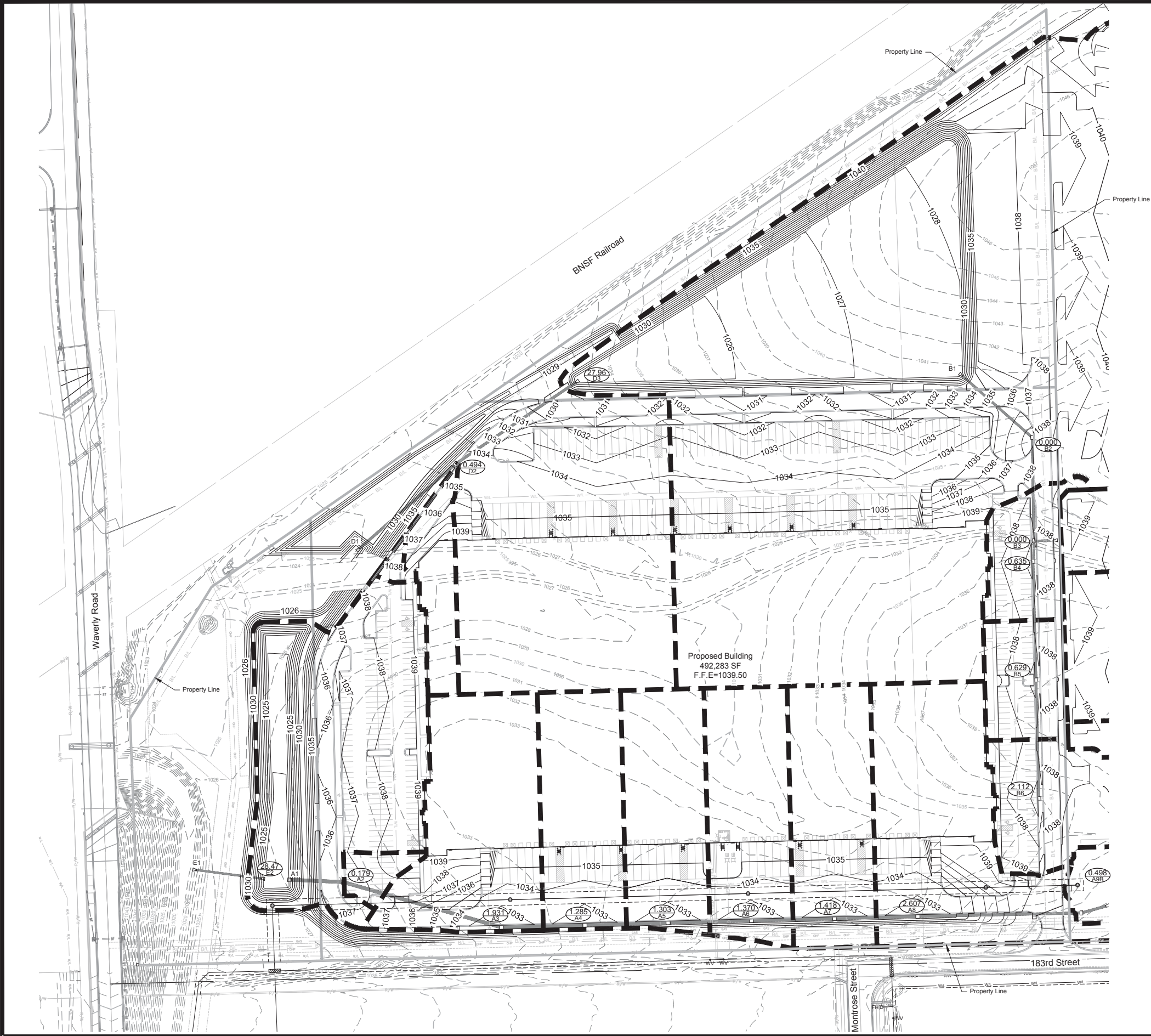


5015 NW CANAL STREET, SUITE 100
RIVERSIDE, MISSOURI 64150
WWW.RIC-CONSULT.COM





May 18, 2017 2:02pm
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LEGEND
XX
XX
Drainage Area
Structure

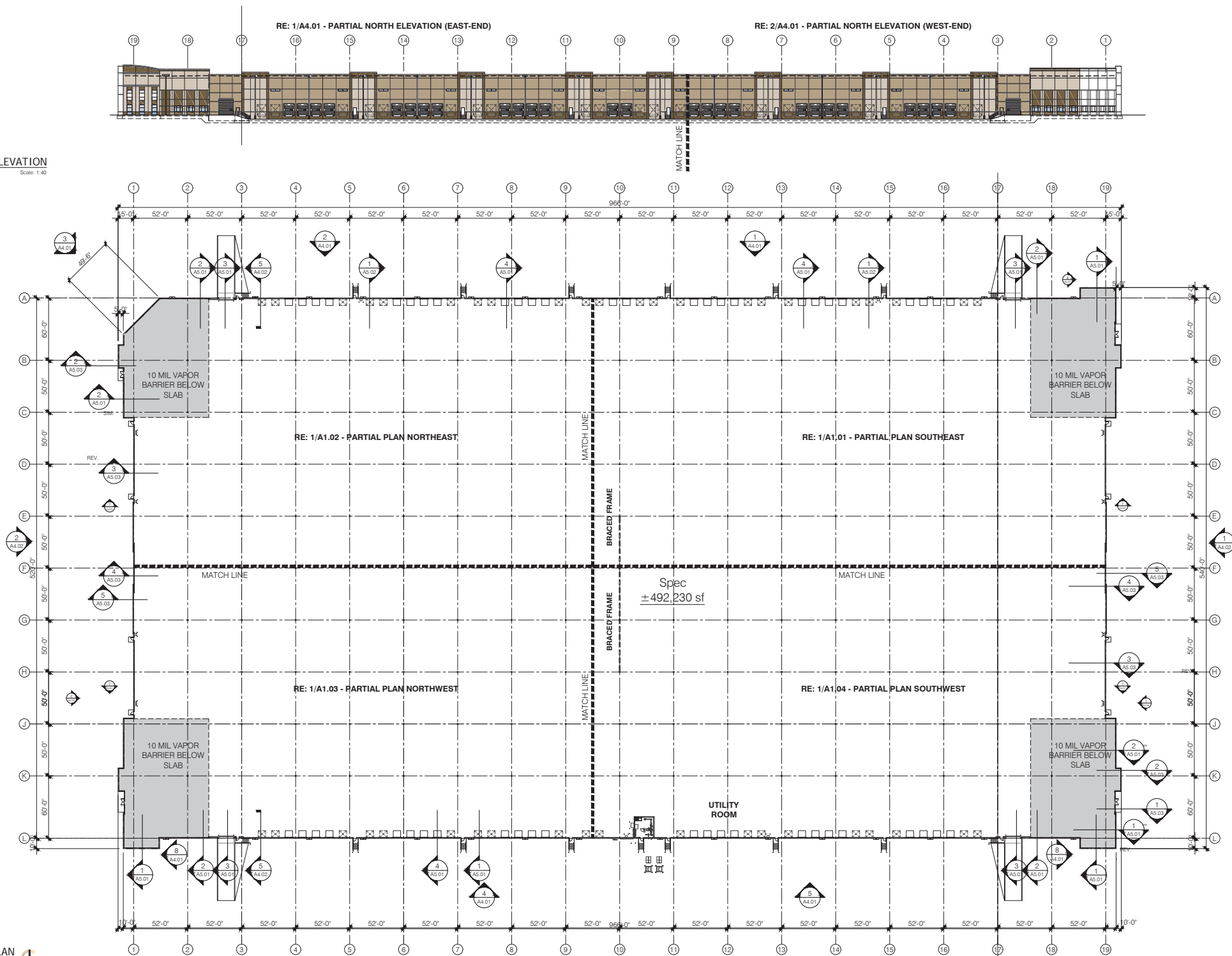
Drainage Boundary



Renaissance Infrastructure Consulting 3015 NW CAVAL STREET, SUITE 100 OVERLAND PARK, MISSOURI 66150 816.800.0950 WWW.RIC-CONSULT.COM	Storm Drainage Plan		Sheet C05
	Final Development Plan		17-0143 Inland Port IX

Overland Flow											System Flow					Pipe Design														Structure Design																																																																																																																																																																																																																																																																																																																												
Line	Point	Trib. Area (Ac.)	"C" Value	Design Storm	"K" Value	Time of Conc (min.)	Intensity (in/hr.)	Trib. Runoff (cfs)	Bypass flow (cfs)	Total Runoff (cfs)	Total Area (Ac.)	Total "K" (A/C)	Time of Conc (min.)	Intensity (in/hr.)	System Discharge (cfs)	U/S Node	D/S Node	Pipe Type	Pipe Shape	Pipe Diameter (in.)	Pipe Length (ft.)	Mannings "n" value	Pipe Slope (%)	Depth of Flow (ft.)	Design Flow (cfs)	Pipe Capacity (cfs)	Design Flow Velocity (ft/s)	Full Flow Velocity (ft/s)	Flow Time (min.)	U/S Invert El.	U/S Crown El.	D/S Invert El.	D/S Crown El.	U/S Depth of Cover (ft.)	D/S Depth of Cover (ft.)	Headwater Inlet Elev. (EGL)	Headwater Outlet Elev. (EGL)	Inlet/Outlet Control	Top Elevation																																																																																																																																																																																																																																																																																																																			
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	A7	1.418	0.85	10	1	5.00	7.35	8.91	0.00	8.91	11.49	11.49	9.80	6.68	66.69	A7	A6	HOPE	Round	48	140.00	0.013	0.50	3.13	60.26	101.57	8.96	9.09	0.32	1025.80	1029.90	1025.20	1028.20	2.75	-3.45	1029.04	1028.99	O	1032.65																																																																																																																																																																																																																																																																																																																			
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	A6	1.370	0.86	10	1	5.00	7.35	8.63	0.00	8.63	12.86	12.86	10.03	6.68	66.69	A6	A5	HOPE	Round	48	140.00	0.013	0.50	3.21	60.26	101.37	7.37	8.08	0.32	1025.10	1029.10	1024.40	1028.40	3.55	-4.25	1028.32	1028.40	O	1032.65																																																																																																																																																																																																																																																																																																																			
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A5	1.303	0.86	10	1	5.00	7.35	8.21	0.00	8.21	14.16	14.16	10.35	6.00	72.98	A5	A4	HOPE	Round	48	140.00	0.013	0.57	3.26	72.96	106.58	7.81	8.64	0.30	1024.30	1028.30	1023.00	1027.50	4.35	-5.15	1027.57	1027.71	O	1032.65																																																																																																																																																																																																																																																																																																																				
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A4	1.282	0.86	10	1	5.00	7.35	8.11	0.00	8.11	15.45	15.45	10.65	5.94	75.79	A4	A3	HOPE	Round	60	140.00	0.013	0.29	3.26	75.79	139.32	8.69	7.10	0.25	1023.40	1028.40	1023.00	1028.00	8.25	-4.65	1026.88	1026.87	O	1032.65																																																																																																																																																																																																																																																																																																																				
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A3	1.931	0.86	10	1	5.00	7.35	12.20	0.00	12.20	17.38	17.38	11.00	5.87	87.73	A3	A2	HOPE	Round	60	277.46	0.013	0.38	3.07	87.73	160.33	6.04	8.17	0.77	1022.90	1027.90	1021.86	1026.85	4.75	-10.15	1026.88	1026.39	I	1032.65																																																																																																																																																																																																																																																																																																																				
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1 OVERALL NORTH ELEVATION
Scale: 1:40



2 OVERALL FLOOR PLAN
Scale: 1:40

3 OVERALL SOUTH ELEVATION
Scale: 1:40

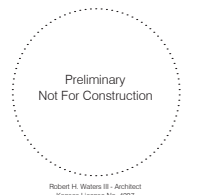


CIVIL RENAISSANCE INFRASTRUCTURE CONSULTING
LANDSCAPE RENAISSANCE INFRASTRUCTURE CONSULTING
FOUNDATIONS KRUKOWG STRUCTURAL ENGINEERS, INC.
STRUCTURAL KRUKOWG STRUCTURAL ENGINEERS, INC.
PLUMBING
MECHANICAL
ELECTRICAL
FIRE PROTECTION
CONTRACTOR



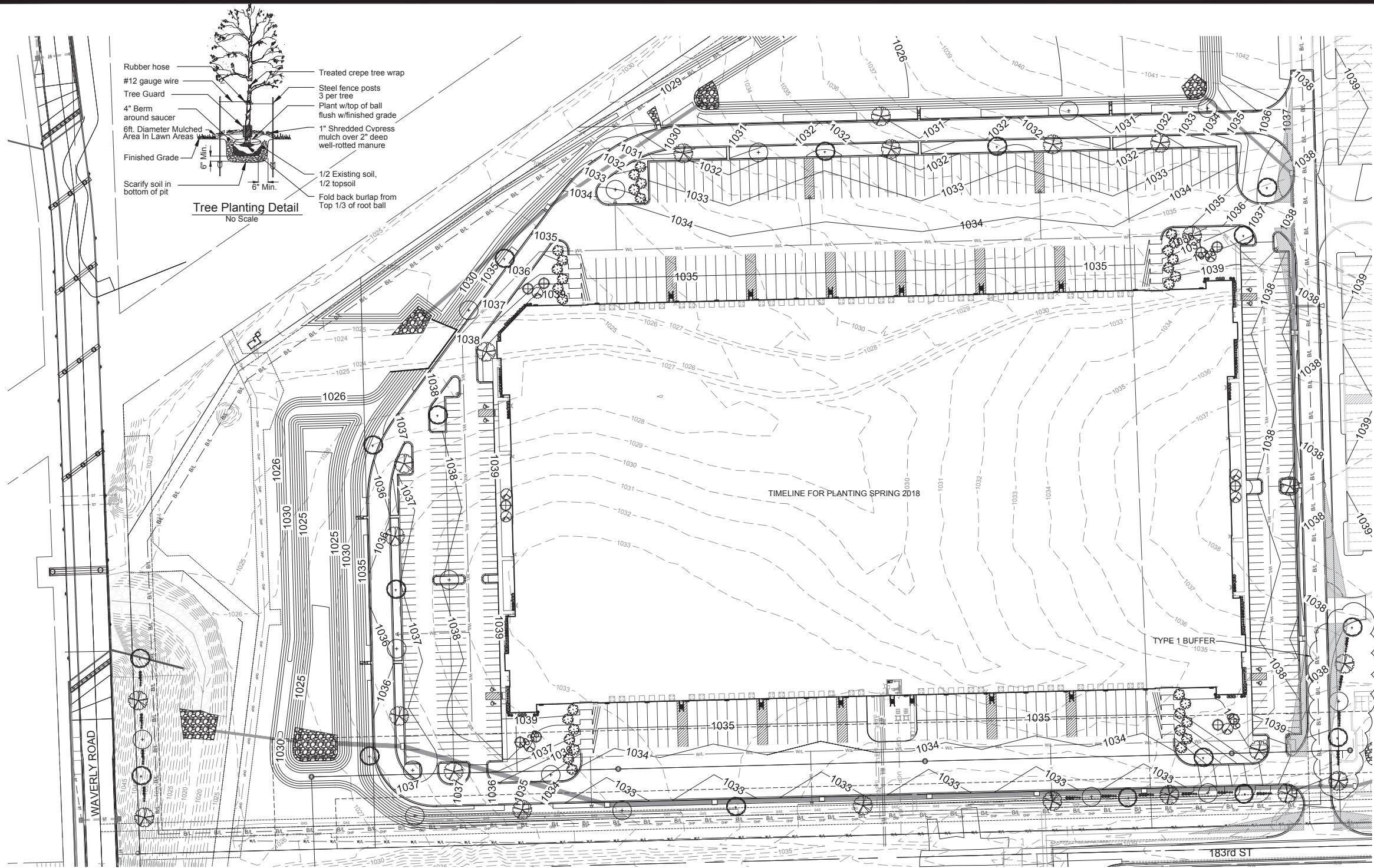
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Inland Port IX
30700 W 183rd St • Edgerton, KS

Project No.	2017-19	
Date:	04.21.17	
Issued For:	Structural Coordination	
Revisions:		
No.	Date	Description
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____



Robert W. Walters III - Architect
Kansas License No. 4297

A1.00
OVERALL FLOOR PLAN



Typical Utility Box Screening Details
No Scale



Tree List

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	17	Autumn Blaze Maple	Acer fremanii	2" cal	BB	As Shown
	15	Celebration Maple	Acer x fremanii Celebration	2" cal	BB	As Shown
	6	Red Oak	Quercus Rubra	2" cal	BB	As Shown
	10	Regal Prince Columnar English Oak	Quercus x warei 'Long'	1.5" cal	BB	As Shown
	8	Prairiefire Crabapple	Malus Sp. 'Prairiefire'	1 1/2" cal	BB	As Shown
	33	Keteleeri Juniper	Juniperus chinensis 'Keteleeri'	6' hgt	Cont.	3'o.c.

LANDSCAPE NOTES

CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allow without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

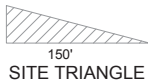
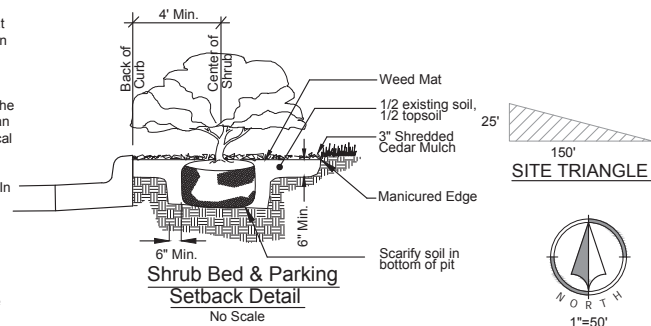
Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with 3" of shredded cedar mulch.

All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

All seed areas shall be hydro-seeded with a Turf-Type-Tall Fescue seed blend.



STAFF REPORT

July 11, 2017

To: Edgerton Planning Commission
Fr: Kenneth Cook, AICP, CFM, Community Development Director
Re: Application FS 2017-05, Final Site Plan for Dollar General, located on the south side of US-56 Hwy. (W. Morgan St.), approximately 540 feet west of 1st Street

APPLICATION INFORMATION

Applicant/Property Owner: Tyler Oliver, Colby Series 17 /
Larry & Donna Pearce (co-trustees)

Requested Action: Final Site Plan for Dollar General

Legal Description: See Final Site Plan attached

Site Address/Location: Along the south side of US-56 Hwy.,
approximately 540 feet west of 1st Street

Existing Zoning and Land Uses: C-1, General Commercial District

Existing Improvements: None

Site Size: Approximately 1.12 acres

PROJECT DESCRIPTION

The applicant has prepared a Final Site Plan based on a preliminary plat and C-1, Commercial General District zoning requirements. The current application proposes to construct a 7,500 square foot retail store on proposed Lot 1, Edgerton Dollar General. A final plat for the subject property has been submitted for concurrent consideration.

STAFF ANALYSIS

Staff has reviewed the Final Site Plan submittal for compliance with Article 10, Site Plans and Design Standards. It has also been reviewed for compliance with Article 4.2, C-1 General Commercial District and Article 12, Sign Regulations. The combined details of that review are listed below.

Article 10.1.D -- Contents of Site Plans

1. Front or cover sheet (Sheet FSP-1).
 - a) A scale vicinity map showing the relationship of the site to surrounding neighborhoods, roads and other physical features. *Move site location box northwest to abut US-56 and the abutting school district property. **Update Final Site Plan.***

- b) An index to contents, and a data table which, at a minimum, includes: Acreage of the site and number of units per acre (if applicable); gross square feet of the building(s) area; the proposed use of each building; number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load and, the total number of parking places. ***Staff will verify with the Building Official that the Final Site Plan complies.***
- c) The specified certificates and signature blocks. ***Add zoning administrator block regarding parking within setbacks. Update Final Site Plan.***
- 2. Landscape plan and table (Sheet FSP-2)
 - a) A landscape plan drawn to scale, showing the site, building location, planting and seeding schedules, refuse and outdoor storage screening and boundary screening. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. ***A landscape note regarding grass and sod/seed areas is provided at the top of the sheet. Grass and sod/seed areas are also noted on the site plan but a landscape plan is not provided. Provide Landscape Plans.***
 - b) A table entitled "Planting Schedule" which lists the common name, size and condition of all planting materials, together with a timetable for planting. ***A planting schedule table is not provided. Provide information on Landscape Plan.***
- 3. Site map (Sheet FSP-2)
 - a) A site map with the following features.
 - i) Exterior lot lines with any survey pins. ***Add survey pins. Update Final Site Plan.***
 - ii) Parking areas, paths, walks with sizes and surfaces material specifications. ***Staff is working with KDOT to identify timing of construction of sidewalk or trail. Applicant will at minimum dedicate easement. Update Final Site Plan.***
 - iii) Exterior lighting specifications. ***A sight lighting note is provided at the top of the sheet. The Applicant will need to provide a photometric plan with the Final Site Plan.***
 - iv) Site entrance and connections to street. ***Construction of street will be to entrance of into site at minimum. Applicant will bid constructing the street to back property line as an alternate. Update Final Site Plan.***
 - v) The location of easements. ***Add 15 foot utility easements along the west and south property lines. Update Final Site Plan.***
 - b) Profile and detail for roads (if required). ***The new street must meet construction standards. Access to US-56 must be approved by KDOT. Update Final Site Plan.***

Article 10.2 -- Parking and Loading Standards

- 1. Parking spaces. ***"Retail - General Merchandise" uses require one parking space per 200 sq. ft. to one per 50 sq. ft. Based on one space per 200 sq. ft. and a building of 7,500 sq. ft., thirty-eight (38) spaces are required. Thirty spaces are provided on the site plan. The applicant has indicated that they will seek a variance to allow 30 spaces rather than 38. Final Site Plan will need revised if the variance is not approved.***
- 2. Access to parking. ***Each space is required to open directly on an aisle or driveway to provide safe and efficient means of ingress and egress. However, some spaces along the eastern side of the building will not be accessible when a truck is backed into the loading ramp area. Update Final Site Plan.***

3. Screening. *All parking areas with more than 6 spaces are to be screened on each side that adjoins property in a residential district with a 6 to 8 foot wall, fence or evergreen hedge. The school district property to the west is zoned R-1. Screening is not shown on the Site Plan. **Provide a separate Landscape plan.***
4. Parking lot pavement edges. *To avoid vehicle drop-offs or driving onto the grass curbs need to be provided at the west end of the east/west aisle and along the aisle located east of the building. **Update Final Site Plan.***

Article 12 -- Signage Regulations

Size and height. Pole signs in the C-1 District are allowed to be up to 48 sq. ft. in area and the height of the main building plus 8 feet. Maximum allowable area of a wall sign in C-1 is 16 sq. ft.

- *Two signs are proposed: 1) a 96 sq. ft. pole sign 21 feet in height; and 2) an approximately 100 sq. ft. wall sign.*
- *The building is 21 feet high, so the maximum allowable height for a pole sign at this location is 29 feet.*
- *Both the pole sign and the wall sign exceed the maximum allowable area.*

Staff recommends the applicant utilize a monument sign that does not exceed the maximum allowable area.

Update the Final Site Plan.

Article 4.2.E -- C-1 Setback, Yard and Area Regulations

Regulations -- 20 percent of net site area must be minimum open space; 15 foot front yard setback; 20 foot side yard setback if abutting residentially zoned property; side yard setback of 15 feet on the street side of a corner lot; and rear yard setback of 15 feet when a structure abuts residentially zoned property. *Setbacks meet code, though. Percentage of net site area open space is not provided but appears to be around 20 to 25%. Add percentage to the Site Plan. **Update Final Site Plan.***

Article 4.2.F, G & H

1. Outside storage. No merchandise shall be stored or displayed outside a building and no equipment shall be stored outside a building.
2. Appearance. Buildings with a metal exterior must have a fascia of stone, brick, wood, or custom siding that covers three-quarters (3/4) of the total surface of the building front and any other surface required by the Planning Commission. All areas used for refuse and refuse containers shall be screened from view.
 - *Exterior walls on the north, east and west sides are proposed to have an EIFS (exterior insulation finishing system) surface with 4 feet of brick along the bottom. Additional information is needed regarding the long-term maintenance and appearance of this material. Additional information regarding economy brick would like to be seen and if acceptable the material extended higher up the exterior walls.*
 - *The south exterior wall is proposed to be all metal. The building orientation on a corner lot would place the rear of the building in general view of future development. C-1 Zoning District regulations provides discretionary authority for the city staff and planning commission to require fascia (surface covering material) for exterior walls. Given that the vacant property to the south could have residential uses in the future, and the building orientations on a corner lot,*

staff recommends the City require the south wall have the same materials as the rest of the building.

- *A wood trash enclosure is proposed. The location of the enclosure does not permit the southernmost parking space adequate space to back out. The enclosure shall be constructed of the same materials as the building. **Update Final Site Plan.***

3. Parking and loading

- *4 spaces per 1,000 sq. ft. of building area = 30 spaces for this 7,500 sq. ft. building. The applicant intends to request a variance to allow 30 spaces rather than the 38 required in Article 10-2, Site Plan Parking and Loading Standards.*
- *15' open space setback from street right of way required. PC may require trees or shrubs. 15 feet of open space from the street right of way is provided at the south end of the lot but open space tapers off to about 12 feet near the driveway. "Seed/sod" is noted in this open space area; trees and/or shrubs are not proposed on any of the property.*
- *A designated off-street space is required for the loading and unloading of goods and merchandise. As noted previously, trucks backing into the loading ramp will block some of the parking spaces. **Update Final Site Plan.***

Other Comments

1. *The driveway access for the parking lot is dimensioned as being 115' from edge of paving. We believe this should be measured from the proposed right-of-way. Verify with KDOT.*
2. *Add a landscape plan sheet. **Update Final Site Plan.***
3. *Extend and build the proposed street to the south property line. **Update Final Site Plan.***
4. *Add 15' utility easements along the west and south property lines. **Update Final Site Plan.***
5. *Obtain KDOT approval of access to US-56 for the proposed street.*
6. *Obtain approval of a variance for 30 parking spaces rather than the 38 spaces required in Article 10.2 **Update Final Site Plan.***
7. *Some of the parking spaces will be blocked when trucks are backed up to the loading ramp. **Update Final Site Plan.***
8. *Reduce the overall size of the wall sign. **Update Final Site Plan.***
9. *Utilize a monument sign instead of a pole sign. **Update Final Site Plan.***
10. *Additional discussion with the City regarding the south wall and the use of EIFS materials on the other three walls.*
11. *HVAC rooftop units shall be screened from view with parapets or other architectural design features so as not visible from street rights-of-ways nor residentially zoned property. **Update Architectural Elevations Drawings.***
12. *All exterior lighting shall be designed in accordance with applicable Illuminating Engineering Society of North America (IESNA). Site lighting and lighting fixtures shall be designed and of the type of fixtures with cut-off illuminations to reflect illumination away from any adjacent properties.*
13. *No merchandise or equipment is allowed to be stored outside of building.*
14. *Indicate color of exterior building finishes.*

Comments from the City Engineer:

2.a. A landscape plan drawn to scale, showing the site, building location, planting and seeding schedules, refuse and outdoor storage screening and boundary screening. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives.

- No landscape plan provided.
- Mechanical units on the roof are not screened.

2.b. A table entitled "Planting Schedule" which lists the common name, size and condition of all planting materials, together with a timetable for planting.

- Not provided.

3.a.i. Topography at reasonable intervals.

- The grading on the east side of the site should be modified to prevent the storm water flowing from the south from running onto the public street. This can be done with either an additional inlet or regrading to drain to the east side of the public street.
- A storm water culvert is needed for the ditch flows on the south side of US 56 Highway.
- No outlet pipe is shown for the detention basin.

3.a.iv. Parking areas, paths, walks with sizes and surfaces material specifications.

- The south curb return for the driveway apron connecting to the public street should be constructed as part of this project.
- The proposed sidewalks should be a minimum of 5' wide.
- Room should be left on the north side of the property for a 10' wide multi-use trail.

3.a.vi. Site entrance and connections to streets.

- The driveway apron is required to be concrete up to at least the R/W line.

3.a.vii. The location of easements.

- The proposed detention basin should be located in a drainage easement.
- A pedestrian easement should be provided for the multi-use trail on the north side of the property.
- A utility easement should be provided for the water line on the north side of the property. It may be combined with the pedestrian easement.
- A utility easement should be provided for the sanitary sewer main on the south side of the property.

3.a.viii.Connection point for utilities.

- Public improvement plans for the proposed sanitary sewer line are required. The plans should be submitted to the City for review and once all comments have been addressed the City will submit them to KDHE for approval. The public main should extend at least 10' into the property.

3.b. A sketch of the entry sign, and all other free-standing, façade, and building signs to be used on the premises.

- Consider monument sign.

3.c. Features to facilitate handicapped access.

- The accessible parking spaces and access areas should not exceed 2% slope in any direction.
- The grade of the driveway aprons should be constructed so that the cross slope where the sidewalk crosses shall not exceed 2%.
- The grade of the public street should be constructed so that the cross slope where the future multi-use path crosses shall not exceed 2%.

3.d. Profile and detail for roads (if required).

- Not provided.

Other Comments

- A storm water management report has not been submitted.
- An erosion and sediment control plan has not been submitted. A NOI will be required.

RECOMMENDATION

City staff recommends **approval** of FS2017-05 for the Final Site Plan, Dollar General subject to the suggested stipulations below.

1. All Site Plan requirements of the City shall be met as listed above, particularly including:
 - a. Provide Landscape Plan in conformance with City regulations and conditions in this staff report.
 - b. Construction plans for future public infrastructure be submitted and approved by the City. Any necessary permits obtained.
 - c. All landscaping shall be maintained in good condition and plants shall be replaced when dead.
2. All infrastructure requirements of the City shall be met.
3. All building permit and sign permit requirements of the City shall be met.
4. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all

specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

ATTACHMENT

Final Site Plan Application No. FS2017-05

Final Site Plan – Dollar General

☐ PRELIMINARY SITE PLAN

☒ FINAL SITE PLAN

NAME OF PROPOSED SUBDIVISION: County Clerk's Subdivision

LOCATION OR ADDRESS OF SUBJECT PROPERTY: 56 Highway

LEGAL DESCRIPTION: See Attached

CURRENT ZONING ON SUBJECT PROPERTY: C-1 CURRENT LAND USE: Ag

TOTAL AREA: 1.12 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: _____ Sq. Ft.

DEVELOPER'S NAME(S): Tyler Oliver PHONE: 913.738.9100

COMPANY: Colby Series 17 FAX: _____

MAILING ADDRESS: 13356 Metcalf Ave Overland Park KS 66213
Street City State Zip

PROPERTY OWNER'S NAME(S): Larry & Donna Pearce (Co-Trustee's) PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: 20315 S Gardner Road Gardner Kansas 66030
Street City State Zip

ENGINEER'S NAME(S): _____ PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State Zip

SIGNATURE OF OWNER OR AGENT: Larry & Donna Pearce Co-Trustee

If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

Case No.: 15-2017-05 Amount of Fee Paid: \$ 220.00 Date Fee Paid: 6/7/17 rcpt #45779
Received By: Debra S Bragg Date of Hearing: 6/7/17

SUBMITTAL DEADLINE: The applicant shall submit an application at least thirty (30) working days prior to a scheduled meeting.

NOTICE REQUIREMENTS: The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.

vs. 9-9-11

404 East Nelson • Edgerton, KS 66021 • P: 913.893.6231 • F: 913.893.6232

Public Works: 816.893.6801 • EDGERTONKS.ORG

VICINITY MAP

N.T.S.



INDEX OF DRAWINGS

FSP-1 GENERAL INFORMATION / VICINITY MAP / EXTERIOR ELEVATIONS
FSP-2 SITE PLAN / GRADING PLAN
FSP-3 BUILDING FLOOR PLAN / PROTOTYPICAL SIGNAGE

Preliminary
Not for Construction

Certificates:

Received and placed on record this _____ day of _____, 20__ by _____

(Zoning Administrator)

Approved by the Edgerton City Planning Commission this _____ day of _____, 20__ by _____

(Chair of Planning Commission)

I certify that I have reviewed this Site Plan and will comply iwth all specifications, changes, and amendments therein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

_____(Applicant Signature) _____(Date)

General Information:

Developer/Owner:

Colby Series 17, LLC - Tyler Oliver
13356 Metcalf Ave.
Overland Park, KS 66213
913.738.9100

Architect:

Abeln & Associated Architects, P.A - Mark Abeln
11827 W. 112th Street, Suite 102
Overland Park, KS 66210
913.345.8833

Surveyor:

J&J Survey, LLC - John Melton
6500 NW Tower Drive, Suite 102
Platte Woods, MO 64151
816.741.1017

Civil Engineer:

Napier Engineering - Brett Napier
207 South 5th Street
Leavenworth, KS 66048
913.682.860

Site Legal Description:

A tract of land being part of Lot 4, COUNTY CLERKS SUBDIVISION, a subdivision of land in the Northwest Quarter of Section 7, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas, being more particularly described as follows:
Commencing at the Northeast corner of said Northwest Quarter; thence South 88°17'14" West, along the North line of said Northwest Quarter, 774.09 feet; thence South 01°42'46" East, 36.75 feet to a point on the South Right-of-Way line of 56 Highway, as now established and recorded in Book 155 at Page 47, said point also being the Point of Beginning; Thence South 01°49'35" East, 244.00 feet; thence South 88°11'08" West, 200.00 feet to a point on the West line of said Lot 4; thence North 01°49'35" West, along said West line, 244.00 feet to a point on said South Right-of-Way line; thence North 88°11'08" East, along said South Right-of-Way line, 200.00 feet to the Point of Beginning. Contains 48,800 square feet or 1.120 acres more or less.

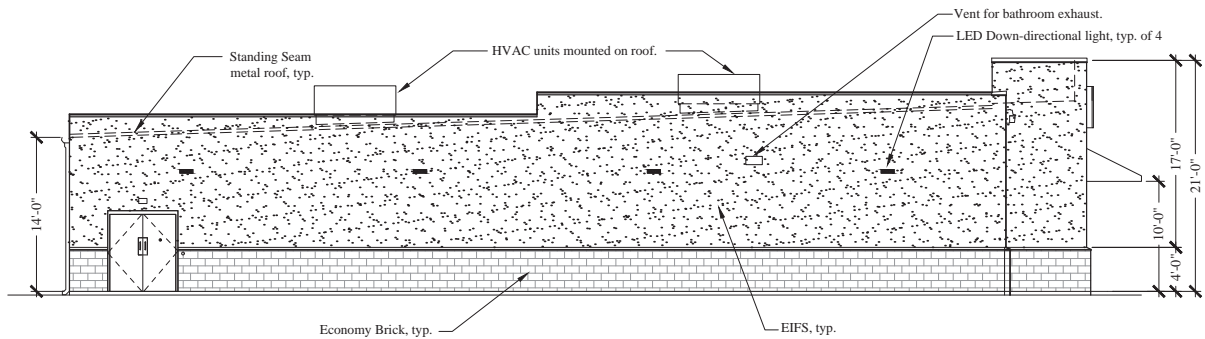
Site Information:

Current Zoning: C-1
Number of Lots: 1
Lot Acreage: 1.120 Acres
(48,800 sq. ft.)
Required Parking Stalls: 38
Proposed Parking Stalls: 30 (w/ variance approval)
Site Address: TBD

Building Information:

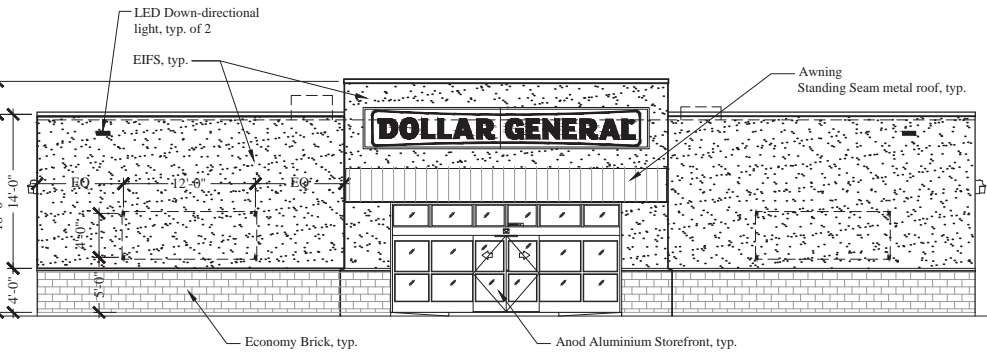
Gross Sq. Ft. : 7,500 sq. ft.
Number of Buildings: 1
Proposed use: Commercial Retail Store
Number of Employees: 4
IBC/NFPA Design Load:
CHAPTER 10 - MEANS OF EGRESS
Occupancy (Table 1004.1.2)
Business Areas: 100 s.f. gross
Mercantile (Grade floor areas) 30 gross
Storage, stock, shipping area 300 gross

Actual Occ. load based on Egress Req's: **203 persons**
Mercantile Area: 30s.f./person = 198
Business Areas: 100s.f./person = 2
Storage Area: 300s.f./person = 3



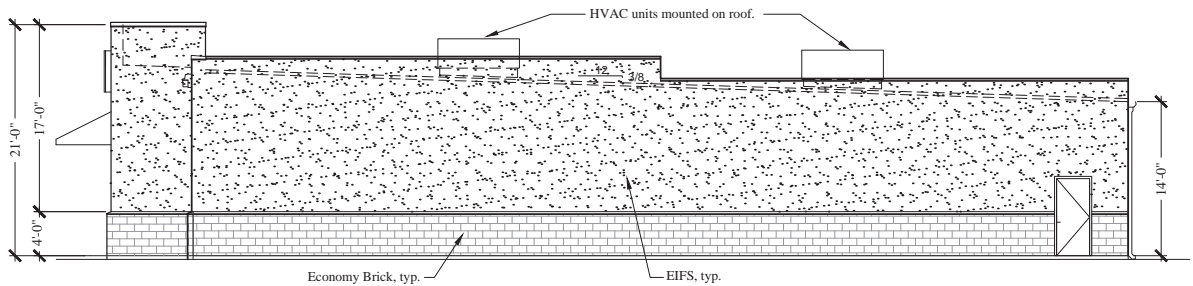
4 Side Elevation

1/8" = 1'-0"



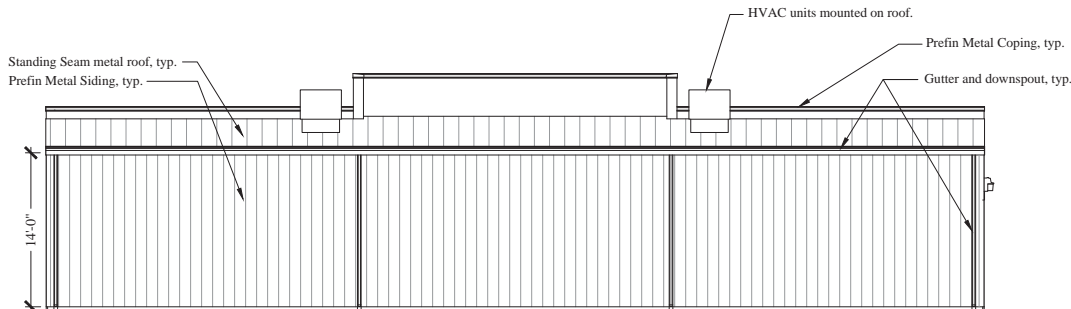
2 Front Elevation

1/8" = 1'-0"



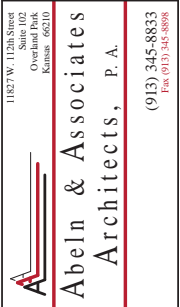
3 Side Elevation

1/8" = 1'-0"



1 Rear Elevation

1/8" = 1'-0"



MLA/HLH

DOLLAR GENERAL
South of W Morgan Street
Edgerton, Kansas

Project # - 1675

DATE

April 28, 2017
revisions

SHEET NUMBER

FSP-1

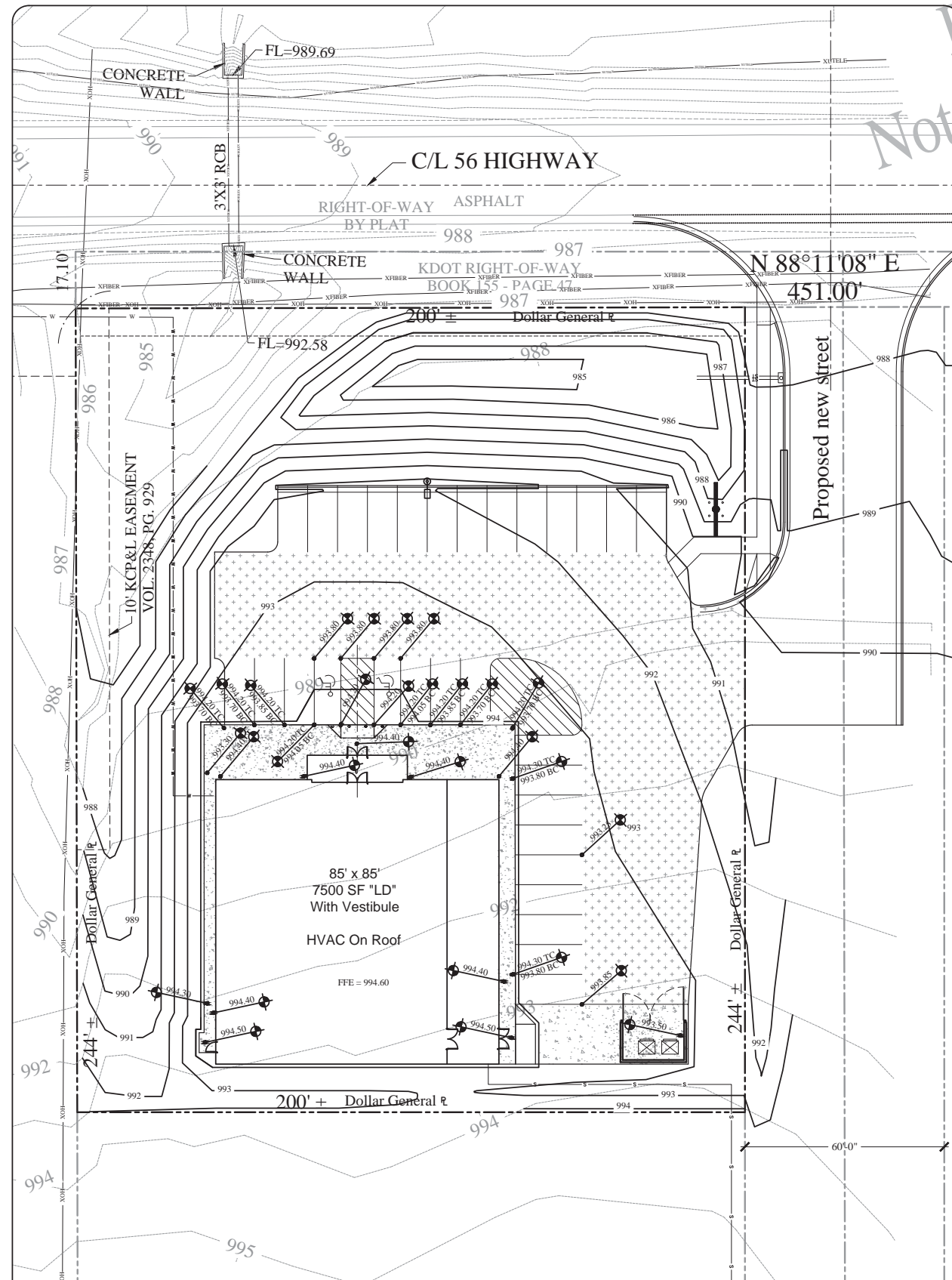
FINAL SITE PLAN

Site Lighting Notes:

All building and poles lights shall be down directional, minimizing impact on adjacent properties and road ROW's.

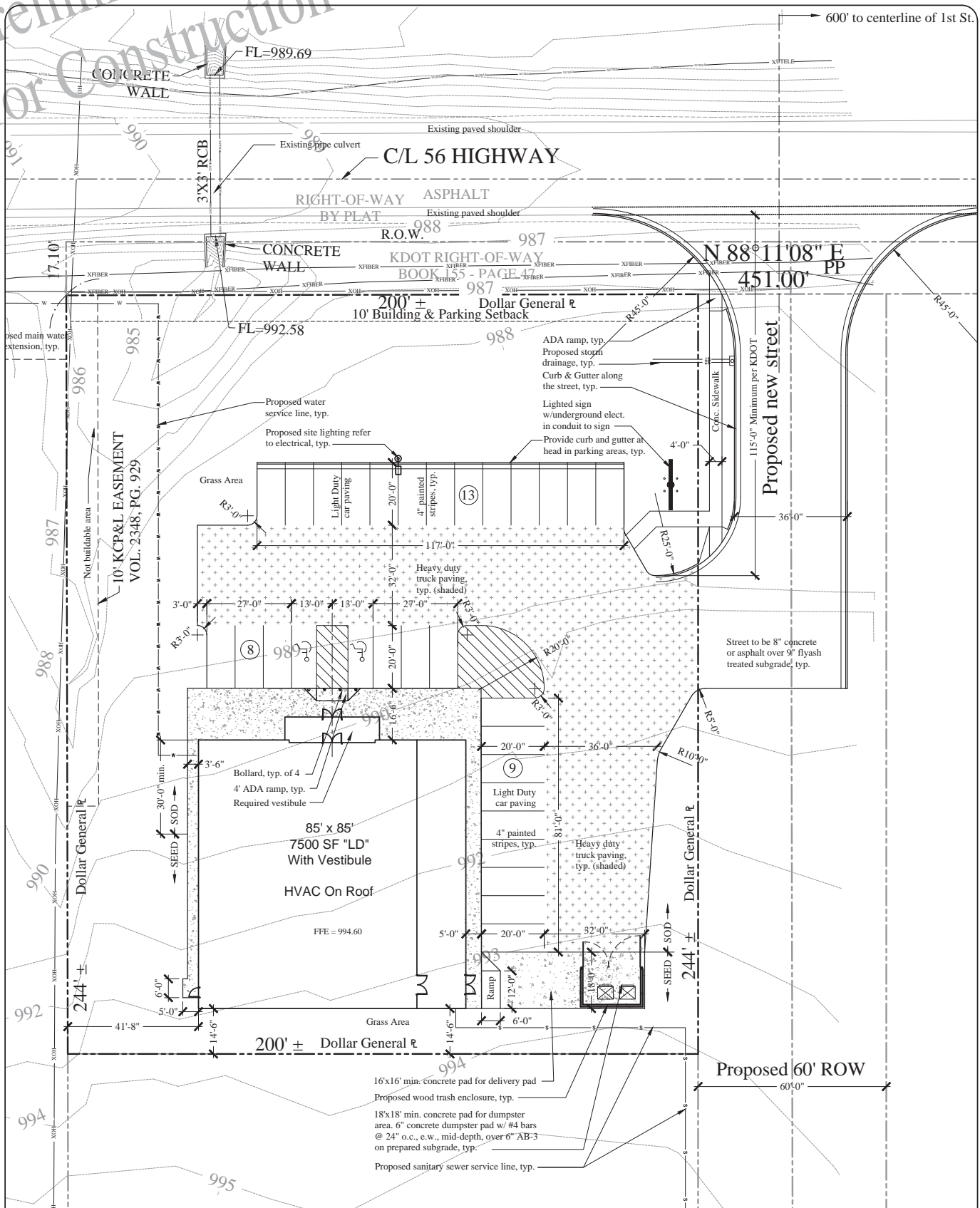
Landscape Notes:

All disturbed areas and grass lawn areas not otherwise noted for landscaping shall be sodded and seeded as shown with Kentucky Bluegrass, and lawns shall have a straw broadcast over seed.



2 Grading Plan

1/8" = 1'-0"



1 Site Plan

1/8" = 1'-0"

11827 W. 12th Street
Suite 102
Overland Park, Kansas 66210
Abeln & Associates
Architects, P.A.
(913) 345-8833
Fax (913) 345-8898

MLA/HLH

DOLLAR GENERAL
South of W Morgan Street
Edgerton, Kansas

Project # - 1675

DATE

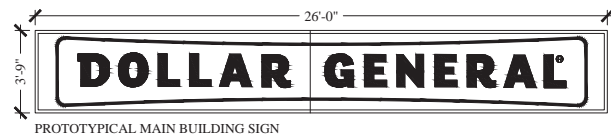
April 28, 2017
revisions

SHEET NUMBER

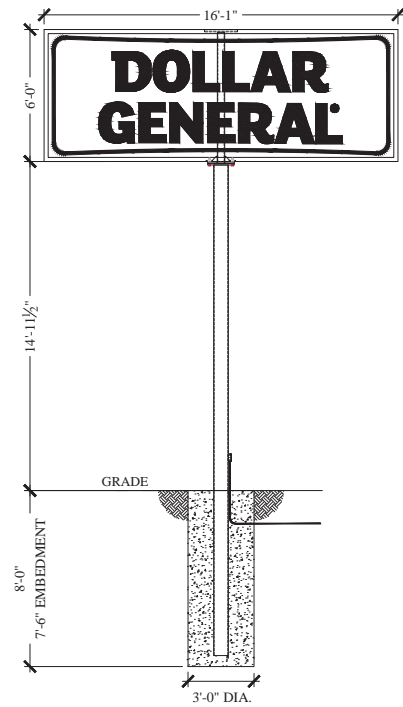
FSP-2

FINAL SITE PLAN

Preliminary
Not for Construction



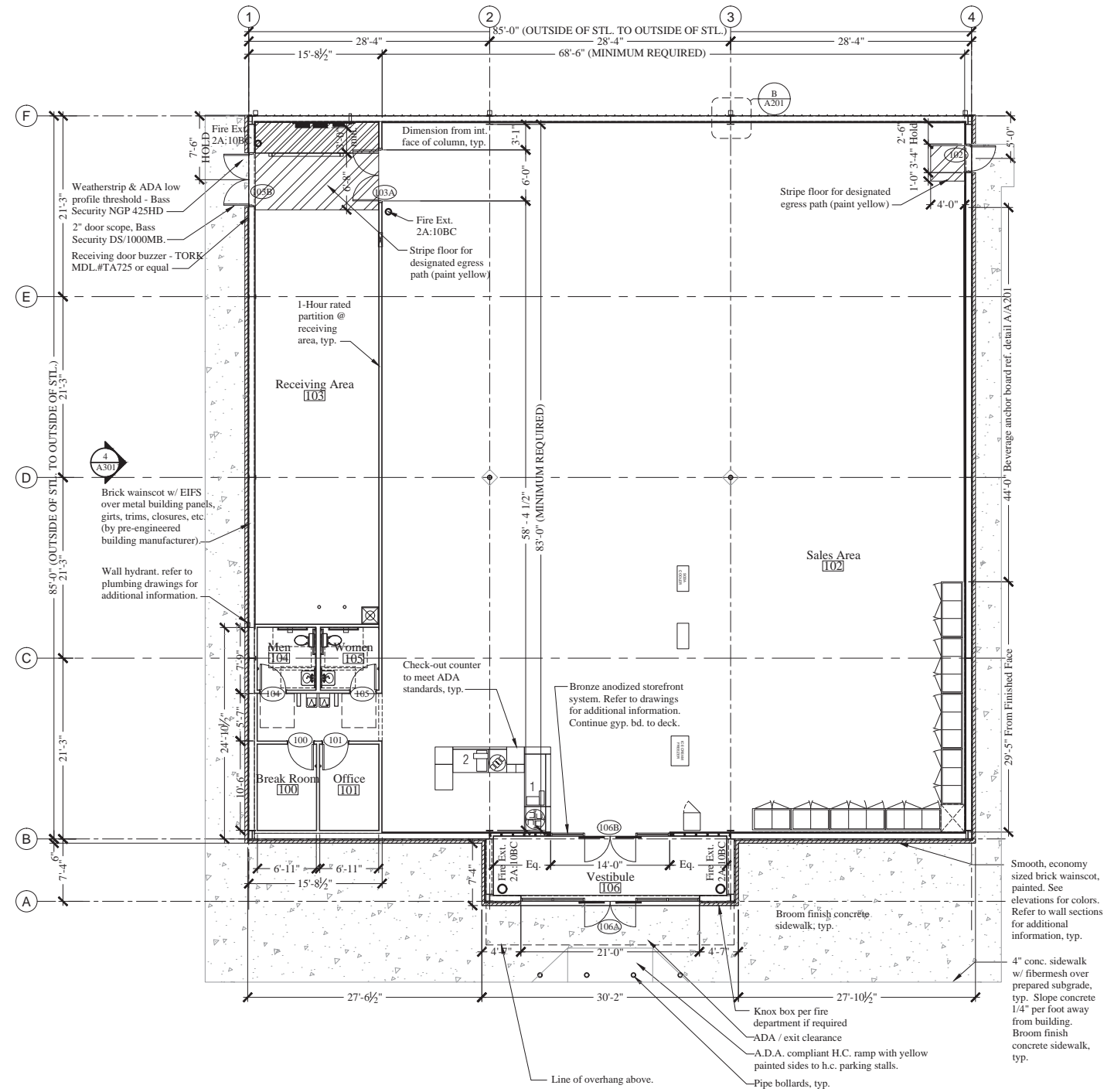
PROTOTYPICAL MAIN BUILDING SIGN



PROTOTYPICAL POLE SIGN DETAIL

2 Prototypical Signage Information

1/4" = 1'-0"



1 Floor Plan

1/8" = 1'-0"

© 2017 Abeln & Associates Architects, P.A.

11827 W. 128th Street
Suite 102
Overland Park, Kansas 66210
Abeln & Associates
Architects, P.A.
(913) 345-8833
Fax (913) 345-8898

MLA/HLH

DOLLAR GENERAL
South of W Morgan Street
Edgerton, Kansas

Project # - 1675

DATE

April 28, 2017
revisions

SHEET NUMBER

FSP-3

FINAL SITE PLAN

STAFF REPORT

July 11, 2017

To: Edgerton Planning Commission
Fr: Beth Linn, City Administrator
Re: Application PS-2017-06 for Preliminary Development/Site Plan for *Logistics Park Kansas City Phase VI, Lot 3*, (Inland Port VII) located in the southeast corner of the intersection at 185th & Montrose Streets.

APPLICATION INFORMATION

Applicant/Property Owner: Aaron Burks, Edgerton Land Holding Company, LLC

Requested Action: Preliminary Development/Site Plan for Logistics Park Phase VI, Lot 3, IP VII.

Legal Description: The south ½ of the NW ¼ of Section 35, Township 14 South, Range 22 East in the City of Edgerton, Johnson County, Kansas.

Site Address/Location: Approximately 57 acres located along the south side of 185th Street and along the east of Waverly Road.

Existing Land Use: Ready mix batch plant & vacant

Existing Zoning and Uses: Zoned L-P (Logistics Park District).

Existing Improvements: none

Site Size: Lot 3, 57.525 acres.

Background Information

The current Preliminary Development/Site Plan depicts one (1) warehouse buildings on a single lot with associated parking and stormwater detention facilities. The proposed building size is 1,115,163 SQ.FT. The conceptual building floor plan includes conceptual building elevations. No lighting plans have been provided by the applicant. The current Site Plan requirements in the UDC do not delineate any differences as to what is required to be submitted for Preliminary and Final Site Plan applications. While not for this application, the applicant has submitted line of sight drawings for Lot 2 of *Logistics Park Kansas City, Phase VI* for consideration. The Preliminary Development/Site Plan sheets include general information about the development including items such as overall layout, access (including sight distance considerations), circulation and screening concepts where the property is adjacent to uses that would be impacted. The additional, more detailed information which is listed in the Site Plan requirements need to be included with the Final Site Plan. It appears that the information submitted is sufficient for the Preliminary Site Plan.

Subject Property



Infrastructure and Services:

1. The recently constructed Waverly, Montrose and 185th Streets are concrete surfaced roads which are designated as heavy-haul surface corridors. Waverly Road is a concrete surfaced road abutting the west side of the site.
2. The property is located within the Big Bull Creek watershed, which flows south from 167th Street to the southern edge of the county at Homestead Lane. A stormwater plan should be submitted to the City Engineer prior to development of the property.
3. No base flood elevations have been determined within this project area.
4. The property is currently served by Big Industrial Lift Station.
5. The property will be served by Johnson County Water District No. 7.
6. Police protection is provided by the Johnson County Sheriff's Department under contract with the City of Edgerton. Fire protection is provided by Johnson County Fire District No. 1. A fire station is located in the City of Edgerton, approximately 1.5 miles to the west.

STAFF ANALYSIS

Staff has reviewed the Preliminary Development/Site Plan submittal. The application is reviewed for compliance with Section 10.1 of Article 10 for Site Plan requirements. It is also reviewed for

compliance with Section 5.2 Logistics Park (L-P) District regulations. The combined details of that review are listed below.

Section 10.1 of Article 10 for Site Plan requirements

1. Sheet C02
 - a) A site map with the following features.
 - i. Topography at reasonable intervals. *Information needs to be added. **Revise Preliminary Development/Site Plan.***
 - ii. Exterior lot lines with any survey pins. *Preliminary. Please indicate city limit boundaries. **Revise Preliminary Site Plan.***
 - iii. Exterior lighting specifications. ***Details, locations and photometric plan have not been provided.***
 - iv. Site entrance and connections to streets. *Verify connections with the City Engineer, to be coordinated with the development of the final site plan.*
 - v. The location of easements. Label all easements. ***Update Preliminary Development/Site Plan and coordinate with the Plat.***
 - vi. Connection point for utilities. ***Update Preliminary Development/Site Plan and coordinate with the Plat***
 - b) A sketch of the entry sign, and all other free-standing, façade, and building signs to be used on the premises. *No signage was submitted with the application. Signage proposed later shall receive separate approval according to the provisions of the UDC. Sheet C01 assigns responsibility for signage and screening to the tenant.*
 - c) Features to facilitate handicapped access. *Accessible parking spaces and access areas are shown on the plan. Applicant should confirm that these spaces not exceed 2% slope in any direction.*
 - d) Profile and detail for roads (if required). *Not applicable. However the vacation document/instrument for those portions of 185th and Montrose Street rights-of-way that are to be vacated should be consistently identified throughout the plan set. **Revise Preliminary Development/Site Plan.***
2. Sheets C03 & C04 & A1.10
 - a) Scale drawing of building floor plans. ***Will be reviewed at Building Permit Review.***
 - b) Dimensions and use of rooms and areas. ***Will be reviewed at Building Permit Review.***
 - c) Dimensions of entrances/exits and corridors. ***Will be reviewed at Building Permit Review.***
 - d) Interior specifications for handicapped accessibility as required by ANSI 117.1 and this ordinance. ***Will be reviewed at Building Permit Review.***
 - e) Scale drawings of all building elevations. ***Will need to be submitted with Final Site Plan.***
 - f) Roof pitch and materials. ***Will need to be submitted with Final Site Plan.***
 - g) Siding type and materials, including fascia. ***Will need to be submitted with Final Site Plan.***

DESIGN GUIDELINES:

1. Buildings should be oriented so that the front or side of the building faces the public street frontage of the property. The City may consider an exception to orient a rear elevation towards a public street for unique situations due to the configuration of the lot. *The applicant has submitted building elevations for IP VII on Lot 3. Current building is orientation will place dock*

areas and doors facing 185th and Montrose Street right-of-way. If the Planning Commission allows this orientation, then Lot 3 will have docking doors face a public street (185th and Montrose Streets).

1. The City may require that loading and service areas are screened from public view with landscaping, berming, facade walls, or fencing. ***Similar to Inland Port VI and the proposed Site plan at Inland Port X, staff recommends the following landscaping:***
 - a. Minimum 6-foot berm to shield the view of a 6-foot person just east of property line (except in areas of building that transition to office corners)
 - b. Use of Perimeter Buffer to screen view of truck with trailer at either parking lot or building
 - c. Type 4 Perimeter Buffer as described in the code
 - d. Canopy Tree planted as base of berm to provide shade for trail
 - e. Placement of shrub/evergreen changes based on topography
 - f. Use of Type 4 "Modified" Perimeter Buffer to allow change in placement evergreen and/or shrub up/on berm to shield view. Allow for continuous use of "hedge screen" to achieve continuous green screening
2. Pedestrian access within a development and adjacent public and private property shall be considered as a component to the design of an employment center. *The pedestrian access afforded by the sidewalks for the western and northern side of the building are connect to the sites overall sidewalk system. The sidewalk located along the south side of 185th Street should show a ramp (connection) to the north to the sidewalk shown along the east side of Montrose Street. Please identify and label the trail easement along the eastern property line of Lot 3.*
Revise Preliminary Development/ Site Plan.

ARCHITECTURAL DESIGN STANDARDS:

1. Building Materials. One hundred percent (100%) of the surface of each exterior wall (excluding doors and windows) facing a public street, residential use or public open space shall consist of materials including but not limited to stone, brick, glass block, tile, cast metal, cast or cultured stone, concrete (tilt-up walls), glass, or a combination of these materials.
2. Facade Guidelines
 - a. Horizontal Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the wall's height without having an off-set of ten percent (10%) of the wall's height (maximum of five (5) feet); the new plane shall extend for a distance equal to a minimum of twenty percent (20%) of the maximum length of the first plane. The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. Walls not facing a public right-of-way or a residentially zoned property and loading dock doors are exempt from the horizontal articulation requirement.
 - i. *Staff has done a preliminary review for horizontal articulation. Staff will work with the applicant in preparation of the final site plan to achieve required articulation and/or color blocking.*
 - b. Vertical Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the height of the wall without changing height by a minimum of ten percent (10%) of the wall's height (maximum of five (5) feet). The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. *Like the horizontal articulation requirement, staff has done a preliminary review for vertical articulation, and will work with the applicant in preparation of the finale site plan to achieve the required articulation and/or color blocking.*

- c. Screening of Rooftop Equipment. For buildings within the L-P District, all rooftop mounted mechanical, air conditioning, electrical, and satellite dish equipment shall not be visible. Rooftop equipment shall be screened from ground and street level view with parapets or other architectural design features constructed of the same materials used on the exterior walls. ***Rooftop equipment is not shown on the proposed building elevations. If rooftop equipment visible from the ground and street level is planned, parapets to conceal it from the ground and the streets shall be required prior to building permit approval.***
- d. Color Palette. Earth tones, muted hues, and natural tones are permitted as structures' basic colors. Brighter hues are permitted only as an accent color on building elements such as awnings, doors, and trim. A mixed color palette on a single building should be carefully selected so all colors harmonize with each other. ***Color blocking is used effectively in the elevations provided. Though staff has not done percentage calculations to evaluate strict compliance with the above chart, staff believes the uses of color on the building follow the pattern of previously approved buildings and are otherwise consistent with the identity of LPKC.***

Accent colors should be applied using the following guidelines:

	Required	Allowed
1 st Accent Color	10%	20%
2 nd Accent Color	0%	10%
3 rd Accent Color	0%	10%

*Percentage calculations shall utilize the entire façade area.

PARKING AND LOADING:

1. General. The plan addresses the general parking and loading requirements as follows:
 - a. Sufficient off-street parking spaces. Parking space dimensions of at least 9 by 20 feet per space are required. ***Parking spaces are not consistently dimensioned. On Sheet C01, please add dimensional information for both vehicle and trailer parking spaces and label as typical.***
2. Warehouse/Distribution Center and Large Building Parking Space Exceptions. Parking shall be required per City standard based upon individual land use, except Warehouse or Distribution Center land uses, which shall require one (1) space per two thousand (2,000) square feet of building area. Buildings in excess of one hundred thousand (100,000) square feet or users with specific parking needs may provide an independent parking study to the City for approval. ***The preliminary development/site plan depicts 419 employee and 9 ADA parking stalls for a total of 427 stalls. Based on a 1,115,050 sq.ft building, city parking standards require 558 employee and 11 ADA stalls, of which 2 must be van accessible. The application does identify the number of employees at 400.***

OFF-STREET PARKING STANDARDS:

1. Parking Space and Aisle Dimensions. ***Parking space dimensions of at least 9 by 20 feet per space are required. Please add the required information to Sheet C01 and label as typical. Other parking spaces and aisle dimensions should conform to Article 10.2, Parking and Loading Standards, as required.***

OFF-STREET LOADING STANDARDS

1. Minimum Loading Space Dimensions. *Loading spaces shall be a minimum of twelve (12) feet in width, sixty-five (65) feet in length, and fourteen (14) in height except as may otherwise be approved by the City. Please add this information to the sheet set and label as typical.*
2. Number of Loading Spaces Required. A use which receives or distributes material, supplies or merchandise by motor vehicle is required to provide spaces based upon the following requirement: (a) 0-9,999 square feet – None; (b) 10,000-100,000 square feet – 1 spaces; 50,000-100,000 – 2 spaces; and, 100,001+ - 1 additional space per 100,000 square feet. *Based upon this standard the building needs to provide 12 total loading spaces. While not labeled, the site plan appears to identify 4 loading spaces. Under this requirement 8 additional spaces should be provided.*

PHOTOMETRICS:

1. General. All lighting shall be designed in accordance with applicable Illuminating Engineering Society of North America (IESNA) practices as applied to specified applications within the L-P District. Cut-off design is specified within the development. *A photometric plan has not been provided. Photometric plans submitted in the future shall satisfy the above requirements.*

LANDSCAPE STANDARDS:

1. Dumpster screening. *Trash enclosures or screening are not shown. Plans shall be updated to satisfy the dumpster screening requirements in Article 5.2 K 8.*
2. Additional Notes.
 - a) Sheet C01
 - a. Verify parking stall (vehicle & trailer) numbers.
 - b. Add typical dimensions for parking (vehicle & trailer) stalls.
 - b) Sheet C02
 - a. Identify and/or reference cross access easement.
 - b. Verify 20' U/E & P/E is consistent with what is being provided on Lot 2 to the north.
 - c) Sheet C07
 - a. Please identify sewer line.
 - d) Sheet L01
 - a. Identify landscape/trail easement along east side of property line of Lot 3.
 - e) Sheet L02
 - a. Building ends are mislabeled as north and south and north arrow orientated incorrectly.
 - f) Sheet L04
 - a. Label 20' U/E & P/E and verify width is consistent with U/E & P/E lot abutting on the north.
 - b. Is north arrow orientated correctly?

DIESEL EMISSION REQUIREMENTS:

The following diesel emission requirements shall apply:

1. Except for loading and unloading operations, heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds shall be restricted from idling on-site for no more than 5 minutes

in any 60 minute period. For loading and unloading operations, idling shall be restricted to no more than 30 minutes in any 60 minute period.

2. One electrical hook-up shall be provided for "trucker plug-ins" equal to a minimum of one-third (1/3) of the total number of truck bays at the facility to eliminate excessive idling by heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds. Approval to use alternative technologies to eliminate excessive idling may be requested, but shall not be approved unless the applicant demonstrates that they are at least as effective as electrical hook-ups.
3. Signs shall be posted by owner(s) of the facility at each vehicle entrance to the facility notifying drivers of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds to turn off engines when not in use.
4. The operation and idling of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds, including circulation, shall be restricted within 300 feet of any property zoned for or committed to residential use, or the owner/developer shall provide alternative measures including the possible installation of a wall or other mitigating measures to assure buffering of residences from heavy-duty truck operations, unless the owners of property located adjacent to said heavy duty diesel truck operations consent and agree, in writing to:
 - a. Allow the location of heavy-duty diesel truck operations within 300 feet of their property zoned for and committed to residential use, and
 - b. Restrict areas of their property located within 300 feet of adjacent trucking operations to only non-residential uses;
5. Warehouse managers and employees shall be trained by the employer(s) or operator(s) of the facility to use efficient scheduling and load management to eliminate unnecessary operation, queuing, or idling of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds.
6. Warehouse managers and employees shall be provided by the employer(s) or operator(s) of the facility with information about the possible effects of diesel emissions on their own health and the importance of being a good neighbor by minimizing idling and avoiding other potentially adverse impacts on adjacent or nearby residences;
7. On-site services shall be made available to vehicle drivers to reduce idling. These services may include restroom facilities, seating for drivers waiting for their cargo to be loaded or unloaded, and/or food/beverage vending machines.
8. Any motorized equipment used within the proposed development should utilize clean technology propulsion and/or alternative fuels such as biodiesel, electricity, or propane;
9. If fuel dispensing facilities are provided on-site, alternative clean fuels such as (but not limited to) bio-diesel blended fuel should be provided at these dispensing facilities.

Other Comments

1. Scale shown on sheets is not consistent between the sheets. Please evaluate and revise accordingly.

RECOMMENDATION

City staff recommends the Planning Commission **approve** the proposed Preliminary Development/Site Plan, with the following stipulations:

1. The above recommendations are stipulated to as a part of approval and incorporated into the Preliminary Development/Site Plan document set.

2. A Final Development/Site Plan must be submitted and approved prior to commencement of uses and the property shall be developed in accordance with a Final Development/Site Plan, Landscaping Plan, and Photometric Plan as required by City approval of the submitted Preliminary Development/Site Plan, as amended by these stipulations, and approved by the City.
3. All Preliminary Development/Site Plan requirements of the City listed above shall be met or addressed during Final Development/Site Plan submittal as identified above.
4. No signage is proposed with this application. Signage proposed later shall receive separate approval according to the provisions of the UDC.
5. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City.

**\$775.25**☒ PRELIMINARY SITE PLAN☐ FINAL SITE PLANNAME OF PROPOSED SUBDIVISION: Logistics Park Kansas City Phase VII, First Plat, Lot 1LOCATION OR ADDRESS OF SUBJECT PROPERTY: 30901 W. 185th Street, Edgerton, KS 66030LEGAL DESCRIPTION: See AttachedCURRENT ZONING ON SUBJECT PROPERTY: L-P CURRENT LAND USE: _____TOTAL AREA: 57.525 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 2,505,775 Sq. Ft.DEVELOPER'S NAME(S): Edergeton Land Holding Company, LLC PHONE: 816-888-7380COMPANY: Edgerton Land Holding Company, LLC FAX: 816-888-7399MAILING ADDRESS: 4825 NW 41st Street, Suite 500, Riverside, MO 64150

Street City State Zip

PROPERTY OWNER'S NAME(S): ELHC VII, LLC PHONE: 816-888-7380COMPANY: ELHC VII FAX: 816-888-7399MAILING ADDRESS: 4825 NW 41st Street, Suite 500, Riverside, MO 64150

Street City State Zip

ENGINEER'S NAME(S): Renaissance Infrastructure Consulting PHONE: (816) 800-0950COMPANY: Renaissance Infrastructure Consulting FAX: _____MAILING ADDRESS: 5015 NW Canal St #100, Riverside, MO 64150

Street City State Zip

SIGNATURE OF OWNER OR AGENT: 

If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLYCase No. S- 2017-06 Amount of Fee Paid: \$ 775.25 Date Fee Paid: 6-13-17Received By: Nelura Strozzy Date of Hearing: 7/11/17
CC 71718310**SITE PLAN INSTRUCTIONS****SUBMITTAL DEADLINE:** The applicant shall submit an application at least thirty (30) working days prior to a scheduled meeting.**NOTICE REQUIREMENTS:** The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.

vs. 9-9-11

Logistics Park Kansas City Phase VI, Third Plat Preliminary Site Plan

Current Zoning: L-P
Proposed Zoning: L-P
Applicant: Edgerton Land Holding Company, LLC
185th Street & Montrose Street
City of Edgerton, Johnson County, Kansas

Description

Lot 3, Logistics Park Kansas City Phase VI, a subdivision of land in the City of Edgerton, Johnson County, Kansas.

JOHNSON COUNTY BENCHMARK

JCVN BM1190
Bernsten Aluminum Disk Stamped BM 1190, Located on center North end of the West headwall RCB. From the intersection of Waverly Road and 183rd Street, go West 0.15 Miles to the RCB.
ELEV: 1023.06

Note:

Screening of added site items and site signage will be the responsibility of the tenant. Tenant should adhere to the current City of Edgerton regulations.

Project Sponsor

Edgerton Land Holdings Company, LLC
4825 NW 41st Street, Suite 500
Riverside, Missouri 64150

Project Engineer

Renaissance Infrastructure Consulting, LLC
5015 NW Canal St. Suite 100
Riverside, Missouri 64150

Project Architect

Studio North
4825 NW 41st Street, Suite 500
Riverside, MO 64150

Project Surveyor

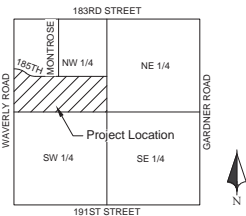
Renaissance Infrastructure Consulting, LLC
5015 NW Canal St. Suite 100
Riverside, Missouri 64150

UTILITIES	
ELECTRIC	Sewer
Kansas City Power & Light	City of Edgerton
Phone: 816.471.5275	404 East Nelson
	P.O. Box 255
	Edgerton, Kansas
GAS	
Kansas Gas Service	Phone: 913.893.6231
11401 West 89th Street	
Overland Park, Kansas	TELEPHONE
Phone: 913.599.8981	Century Link
	Phone: 800.788.3500
WATER	
Johnson Rural Water District 7	CABLE
534 West Main	Century Link
P.O. Box 7	Phone: 877.837.5738
Gardner, Kansas	
Phone: 913.856.7173	



LOCATION MAP

SECTION 35-14-22
Not to Scale



LOCATION MAP

SECTION 35-14-22
Scale 1" = 200'

LEGEND

---	Existing Section Line	---	Proposed Right-of-Way
----	Existing Right-of-Way Line	----	Proposed Property Line
-----	Existing Lot Line	-----	Proposed Lot Line
-----	Existing Easement Line	---	U/E
=====	Existing Curb & Gutter	=====	Proposed Easement
=====	Existing Sidewalk	=====	Proposed Curb & Gutter
=====	Existing Storm Sewer	=====	Proposed Sidewalk
□	Existing Storm Structure	=====	Proposed Storm Sewer
---	Existing Waterline	□	Proposed Storm Structure
---	Existing Gas Main	A	Proposed Fire Hydrant
---	Existing Sanitary Sewer	---	Proposed Waterline
---	Existing Sanitary Manhole	---	Proposed Sanitary Sewer
---	Existing Contour Major	●	Proposed Sanitary Manhole
---	Existing Contour Minor	---	Proposed Contour Major
-----		---	Proposed Contour Minor
---		-----	Future Curb and Gutter
---		---	Proposed Building Setback
---		---	Proposed Parking Setback

INDEX OF SHEETS

C01	Title Sheet
C02	Overall General Layout
C03	West General Layout
C04	East General Layout
C05	West Grading Plan
C06	East Grading Plan
C07	Site Utility Plan
L01	Overall Landscape Plan
L02	Building Ends Landscape Plan
L03	Waverly Road Landscape Plan
L04	185th St. Landscape Plan
L05	East Property Line Landscape Plan

SITE DATA TABLE

Existing Zoning:	L-P
Proposed Zoning:	L-P
Total Land Area:	58.64 Acres
Street Right-of-Way:	1.11 Acres
Net Land Area:	57.53 Acres
Proposed Building Area:	1,115,050 SF
Proposed Building Use:	Industrial
Total Number of Proposed Stalls:	967 Stalls
Future Trailer Parking:	289 Stalls
Dock Parking:	251 Stalls
Employee:	418 Stalls
Total Number ADA Stalls:	9 Stalls
Number of Employees:	400
BOCA Building Code(500SF/person):	5.57
Building Coverage (1,115,163/2,506,007):	44.49%

CERTIFICATE:

Received and placed on record this _____ day of _____, 20__ by _____

Kenneth Cook, Zoning Administrator

Approved by the Edgerton City Planning Commission this _____ day of _____, 20__ by _____

Chuck Davis, Chair of the Planning Commission

Permission for parking to encroach within setback lines is ___ is not___ granted according to my marked notations:
_____ Zoning Admin. _____ date

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant Signature _____ Date _____
Nathaniel Hagedorn, Manager
Edgerton Land Holding Company, LLC

FLOOD PLAIN NOTE

We have reviewed the "Flood Insurance Rate Map", Community Panel Number 20091C0119G, dated August 3, 2009, and 20091C0134G, dated August 3, 2009, as published by the Federal Emergency Management Agency. The above rate map places the property in Zone "X" for insurance purposes. Zone "X" is defined as Areas determined to be outside the 500-year flood elevation. No Base Flood Elevations have been determined."



Sheet
C01

Preliminary Site Plan

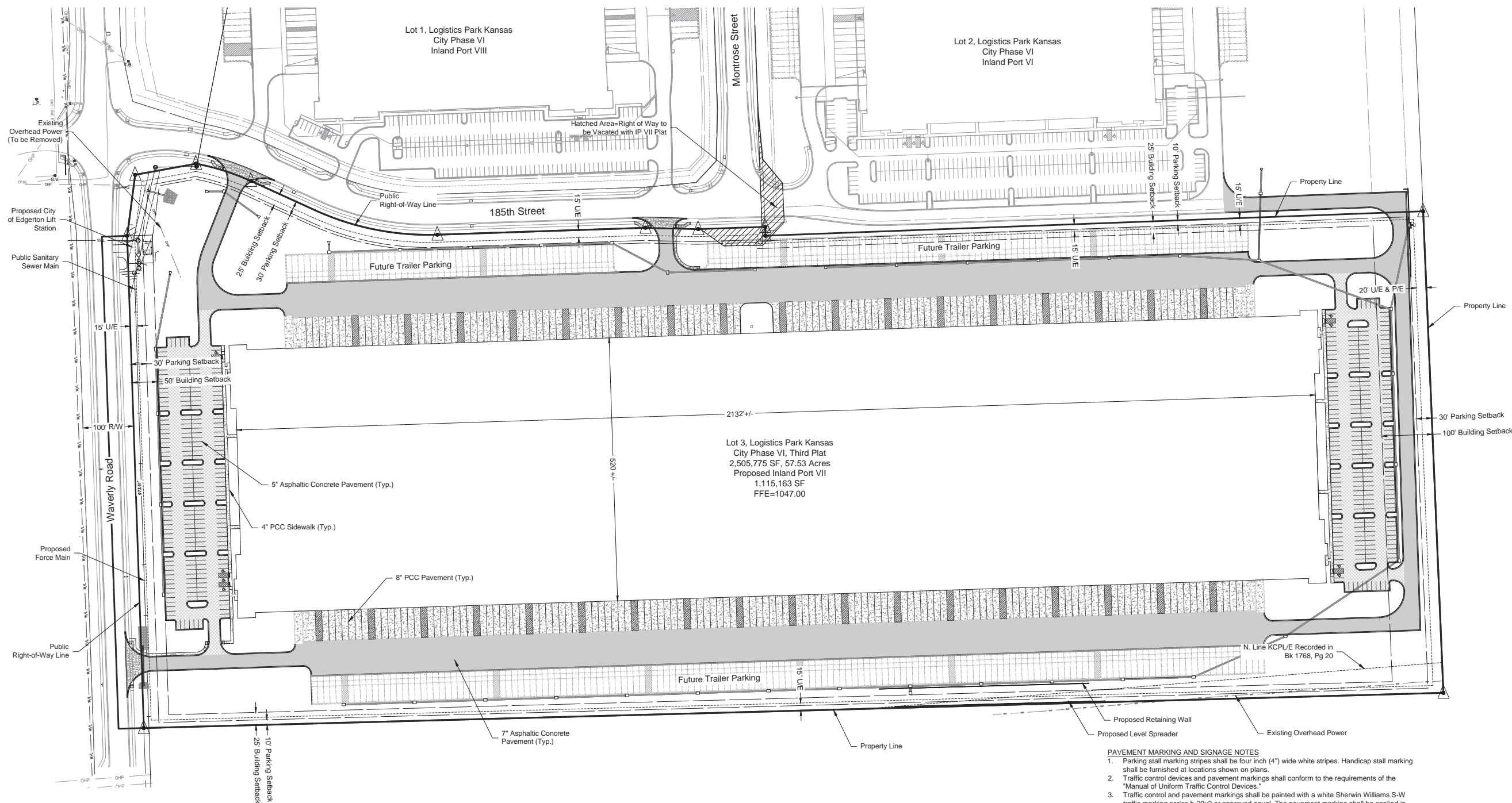
16-0137
Logistics Park Kansas City
Phase VI

Title Sheet

ORIGINAL SUBMITTAL
REVISION

DATE
BY
CHKD
DATE





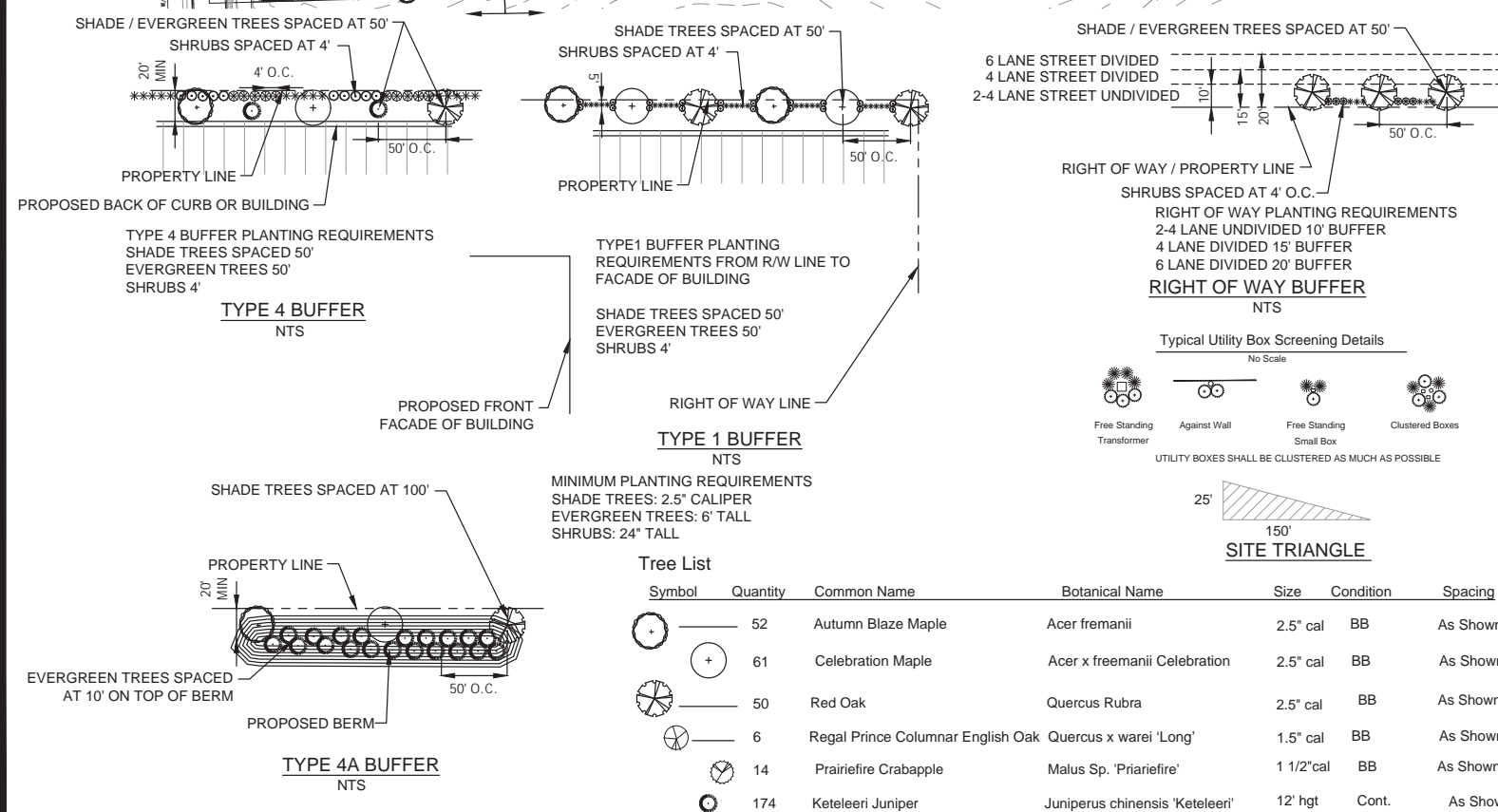
PAVEMENT MARKING AND SIGNAGE NOTES

1. Parking stall marking stripes shall be four inch (4") wide white stripes. Handicap stall marking shall be furnished at locations shown on plans.
2. Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform Traffic Control Devices."
3. Traffic control and pavement markings shall be painted with a white Sherwin Williams S-W traffic marking series b-29y2 or approved equal. The pavement marking shall be applied in accordance with manufacturer's recommendations. Apply on a clean, dry surface and at a surface temperature of not more than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

LAYOUT & PAVING NOTES

- ### LAYOUT & PAVING NOTES
1. All construction shall conform to the City of Edgerton's minimum design standards.
 2. Contractor shall keep a full set of KC-APWA Standard Details onsite at all times.
 3. The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies to the architect/engineer prior to beginning work.
 4. The contractor shall verify the exact location of all existing utilities, take care to protect utilities that are to remain, and repair contractor caused damage according to current local standards and at the contractor's expense. Coordinate all construction with the appropriate utility company.
 5. The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work.
 6. Prior to installing, constructing, or performing any work in the public right of way or on the public storm sewer line (including concrete pavement or connecting private drainage systems to the storm sewer), contact City of Edgerton Public Works at 313.893.6801 for inspection of the work. Contact must be made at least 24 hours prior to start of the work.
 7. Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Adjust all utilities prior to installation of pavement.
 8. The contractor shall protect all trees to remain, in accordance with the specifications. Do not operate or store heavy equipment, nor handle, nor store materials within the driplines of trees or outside the limit of grading.
 9. Concrete walks and ramps shall have a broom finish. All concrete shall be 4,000 p.s.i., unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
 10. All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
 11. Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
 12. Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
 13. Parking stripes shall be 4-inch white pavement paint.
 14. For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.





CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE
INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allow without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with 3" of shredded cedar mulch.

All sod areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

All seed areas shall be hydro-seeded with a Turf-Type-Tall Fescue seed blend.

