

EDGERTON PLANNING COMMISSION AGENDA
REGULAR SESSION
Edgerton City Hall
May 10, 2016
7:00 PM

1. Call meeting to order

2. Pledge of Allegiance

3. Roll Call

A. Members:

Chuck Davis, Chair

Present / Absent

Ron Conus, Vice-Chair

Present / Absent

Bob O'Neill

Present/ Absent

Maria O'Neill

Present/Absent

Andrea Lucero

Present/ Absent

Elliot Lahn

Present/Absent

Leslie Hardin

Present/Absent

Desiree Goans

Present/ Absent

4. Minutes

A. Consideration of Special Session Minutes of April 19, 2016

5. Guests Present

6. Communications from Staff

7. New Business

FINAL SITE PLAN – AMENDMENT OF APRIL 19, 2015 APPROVAL

A.. Consideration of Amended Final Site Plan, FS2016-04, requesting approval of an amended final site plan for Logistics Park Kansas City Phase IV, Second Plat, Lot 1 (IPXXXI) located 2000 feet west of 196th and Waverly Road (31800 W 196th Street), on a tract of land consisting of one (1) lots, containing approximately 21.781 acres. Applicant: John Thomas, Edgerton Land Holding Company. Engineer: Mick Slutter, Renaissance Infrastructure Consulting.

Action requested: Consider motion to approve, deny, or table.

FINAL SITE PLAN – AMENDMENT OF JUNE 9, 2015 APPROVAL

B. Consideration of Amended Final Site Plan, FS2015-002, requesting approval for an amended final site plan for Inland Port V located in the northwest corner of 191st and Waverly Road, a tract of land consisting of two (2) lots, containing approximately 43.076 acres, more or less. Applicant: John Thomas, ELHC V, LLC. Engineer: Chip Corcoran, R-I-C.

Action requested: Consider motion to approve, deny, or table.

8. Old Business

PUBLIC HEARING- Cont'd – UNIFIED DEVELOPMENT CODE AMENDMENT

- A. Consideration of a continued public hearing in regards to UDCA-01, Unified Development Code Amendment 01, pertaining to Article 3 in regards to use of acceptable building materials and accessory structures. Applicant: City of Edgerton.

Action requested: Consider continued hearing and consider motion to close or continue hearing.

PUBLIC HEARING- Cont'd - UNIFIED DEVELOPMENT CODE AMENDMENT

- B. Consideration of a continued public hearing in regards to UDCA-02, Unified Development Code Amendment 02, pertaining to fencing standards, setback, and bulk and yard requirements. Applicant: City of Edgerton.

Action requested: Consider continued hearing and consider motion close or continue hearing.

9. Future Meeting – Regular meeting – June 14, 2016

10. Commissioners Comments

11. Adjournment:

EDGERTON COMMUNITY BUILDING
PLANNING COMMISSION MEETING
Special Session
April 19, 2016
Minutes

The Edgerton Planning Commission met in a special session with Vice-Chair Conus calling the meeting to order at 7:00 p.m.

All present participated in the Pledge of Allegiance.

The Roll Call was answered, indicating those present were: Commissioners Ron Conus, Elliot Lahn, Leslie Hardin, Desiree' Goans, and Andrea Lucero. Absent were: Commissioners Chuck Davis, Maria O'Neill, and Bob O'Neill. Also present were Community Development Director Kenneth Cook and Recording Officer Debra Gragg.

The Recording Officer announced a quorum was present.

MINUTES – March 8, 2016

Approval of the minutes from the regular session of March 8, 2016 was considered.

Motion by Lahn, seconded by Lucero, to approve the minutes as presented. Motion was approved, 5-0.

GUESTS

Guests attending were: John Thomas, Northpoint – LPKC, and Charlie Troutner, Edgerton City Council.

COMMUNICATIONS FROM STAFF

Kenneth Cook, Community Development Director, thanked all for coming this evening due to the tight time-frame of applications.

He informed the Commissioners of the recent Open House for 8th Street sidewalk project. He noted this is the first capital improvement project on the Capital Improvement Plan approved by the Council. This project is to address west side pedestrian movements north and south. Mr. Cook indicated the east side appears to be the best side to place the sidewalk due to the already existing right-of-way. He overviewed the goals and plans with the intent of opening the sidewalk by start of school year beginning in August. He noted an update will be provided at the next meeting.

Ms. Goans asked if there were any concerns raised by the adjacent residents. Mr. Cook stated most of the concerns noted were the resident's responsibility for maintenance of sidewalks.

Ms. Lucero stated concern with the length of time to complete, adding this shouldn't take that long. Mr. Cook indicated engineer's design, Americans with Disabilities (ADA) requirements, drainage and acquisition of easements/right-of-way are needed in order to complete plans and advertise for bids and award of a contract.

Mr. Cook also informed the members that Mid-America Regional Council announced the 2017 Sustainable Places program for funding projects that assist in advance sustainable development

objectives. He noted the program will offer funding to advance detailed local activity center or small area plans and supporting implementation activities, which will support and position projects to move from planning to implementation. He indicated as more information/options are available, it will be provided to the members.

TEMPORARY CONSTRUCTION ACTIVITIES

An application for temporary construction activities for Edgerton Land Holding Company property at 31100 W. 196th Street (Inland Port XXXIII – northwest of 196th and Waverly Road) for placement of a Concrete Batch Plant was considered. Applicant: Edgerton Land Holding Company/Clayco Co., Inc.

Mr. Cook stated this is a somewhat different request in that the batch plant proposed is only for the projects located around this site. He displayed a map of the location for the request. He noted Clarkson's lime plant is now out as most of Waverly Road is complete. In addition, Mr. Cook overviewed the past sites for the temporary concrete and lime batch plants. He stated North Point is requesting the batch plant at this site to complete three structures in the area, and with such, may cut down on some traffic concerns. He noted the expiration date is November 1, 2016. He added the applicant may be requesting this at other future sites.

John Thomas, North Point, overviewed the depiction of the area and reviewed current status of the buildings and potential future development. He briefly addressed rail-serve areas.

Staff offered the same stipulations as prior projects.

Motion by Hardin, seconded by Lucero, to approve the request for Temporary Construction Activities with the following stipulations: 1.) Temporary living quarters are not permitted on-site unless prior authorization has been provided by the Planning Commission; 2.) All occupied buildings shall have access to potable water from an approved water source; 3.) All signage shall be placed pursuant to applicable sign regulations in Chapter 1, Article 12 of the Unified Development Code of the City of Edgerton; 4.) All buildings, outdoor storage, machinery yards, and similar uses shall be able to be fully secured when not in use; 5.) All vertical structures shall require a building permit pursuant to the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton prior to being occupied; 6.) Contractors shall obtain all required permits pursuant to the Code of Regulations for Buildings and Construction, 2010 Edition or other applicable chapter of City Code; 7.) Off-site impacts from on-site construction-related activities shall be minimized to the extent possible; 8.) On-site Stormwater Management Plan shall be approved by City prior to the disturbance of land; 9.) Land disturbance activities shall be done pursuant to Article 12 of the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton; 10.) Contractors agree to address any issues that affect off-site properties or public rights-of-way or easements in a reasonable time period; 11.) All blasting shall be done according to Article 13 of the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton; 12.) Hours of operation shall be limited to 7:00 am to 7:00 pm unless otherwise approved by staff; 13.) Holding tanks shall be used in lieu of sanitary sewer service, and shall be permitted and inspected pursuant to the Johnson County Environmental Sanitary Code; 14.) Portable concrete and asphalt plants shall be approved by staff prior to use on-site, and staff shall have the ability to establish reasonable requirements for their operation; 15.) Property owner and/or general contractors shall provide City and emergency response agencies a copy of a site-specific Safety Action Plan; 16.) Property owner and/or general contractors shall provide a Construction Management Plan to the City; 17.)

Maintain a valid City of Edgerton Business License; and 18.) Permission for temporary construction activities is granted for a period ending November 1, 2016. Motion was approved, 5-0.

FINAL SITE PLAN – FS2016-04

Final Site Plan, FS2016-04, requesting approval of a final site plan for Logistics Park Kansas City Phase IV, Second Plat, Lot 1 (IPXXXI) located 2000 feet west of 196th and Waverly Road (31800 W. 196th Street), on a tract of land consisting of one (1) lot, containing approximately 21.781 acres. Applicant: John Thomas, Edgerton Land Holding Company. Engineer: Mick Slutter, Renaissance Infrastructure Consulting.

Mr. Cook introduced the plan and overviewed its location. He reported this is similar to the last two final site plans presented and approved by the Commissioners. He added the items noted as needed may be approved by staff at building permit review. He noted this request does include alternative landscape plans. He also noted additional items, such as dumpster and screening will be reviewed in conjunction with the building permit. He also overviewed comments from Rural Water District No. 7 and city engineer.

Staff recommends approval with noted stipulations.

Mr. Conus asked how staff addresses screening and other items. Mr. Cook indicated through discussions and negotiation upon how the building will be constructed and the needs for loading operations versus public view of same.

Mr. Conus spoke about the south wall articulation in the fact it does not meet the requirement. He asked if this has been the case in the past. The response was affirmative. It was noted the exception granted provides for a better quality design elements than required.

John Thomas, applicant, informed the Commissioners, this project is a build to suit. He noted the project client needs extreme security and in a recent conversation noted the need for a separate employee entrance located in the middle of the building. He requested the Commission consider an amendment to the presented site plan. Mr. Thomas overviewed the proposed site for the additional secured entry for employees.

Mr. Conus asked the Community Development Director if he had any concerns with the applicant's last minute amendment to this final site plan.

Mr. Cook stated he would want to check out the details with the city engineer.

Ms. Lucero noted that she did not believe it would be fair to consider this request when other projects/applicants were required to re-submit revised final site plans for Planning Commission consideration.

After discussion, it was decided the Commissioners should consider tonight's presentation/request and consider any amendments to the final site plan at the May 10, 2016 meeting, if so desired.

Ms. Goans left the meeting at 8:13 p.m.

Ms. Goans returned to the meeting at 8:14 p.m.

Motion by Lahn, seconded by Lucero, to approve the final site plan, with a notation the applicant would bring back amended plans for an additional entrance at a future date; with the following stipulations: 1.) All Site Plan requirements of the City shall be met as noted, particularly including: a) submittal of photometric lighting for Inland Port XXXI in conformance with UDC especially with regard to maximum foot-candles at property line. b) construction plans for future public infrastructure be submitted and approved by City; any necessary permits obtained; and c) all landscaping shall be maintained in good condition and plants shall be replaced when dead; 2.) All infrastructure requirements of the City shall be met; 3.) All building permit and sign permit requirements of the City shall be met; 4.) Applicant/Owner Obligation – the site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein; and 5.) Review by City Engineer to determine security entrance impacts. Motion was approved, 5-0.

FUTURE MEETING – REGULAR MEETING May 10, 2016

COMMISSIONERS COMMENTS

Mr. Lahn questioned needs for an additional planner. Mr. Cook spoke about potential assistance for planner/planning services with contracted consultant.

OTHER COMMENTS

John Thomas thanked the Commissioners for meeting tonight, stating these projects are fast tracking.

The Commissioners all noted desire to tour the intermodal area. Staff will coordinate.

ADJOURNMENT

Motion by Hardin, seconded by Lucero, to adjourn the meeting. Motion by approved, 5-0.

The meeting adjourned at 8:25 p.m.

Submitted by:

Debra S. Gragg
Recording Officer

STAFF REPORT

May 6, 2016

To: Edgerton Planning Commission
Fr: Kenneth A. Cook, Community Development Director
Re: Amended FS2016-04 for the Final Site Plan for Logistics Park Kansas City
Phase IV, Second Plat, Lot 1 (IP XXXI)

APPLICATION INFORMATION

Applicant/Property Owner: John Thomas, Edgerton Land Holding Company

Requested Action: Amended Final Site Plan – Logistics Park Kansas City – Phase IV, Second Plat, Lot 1 (Inland Port XXXI)

Legal Description: Part of Section 3, Township 15, Range 22

Site Address/Location: 31800 W 196th Street

Existing Zoning and Land Uses: City of Edgerton L-P Logistics Park on vacant land

Existing Improvements: None

Site Size: 21.781 Acres

PROJECT DESCRIPTION

The applicant has prepared an Amended Final Site plan based on the previously approved Final Site Plan, the L-P, Logistics Park District zoning requirements and discussions from the Planning Commission Meeting of April 12, 2016, when the original request was considered and approved by the Planning Commission. This project is considered part of LPKC Phase IV. The current application is proposing a 378,022 square foot warehouse on the 21.781 acre lot. During the presentation by the applicant at the pervious public hearing, the applicant requested that the Planning Commission consider allowing an additional entrance that would be used as an employee entrance. The Planning Commission approved the original request with the stipulation that the applicant bring back an amended Final Site Plan for additional consideration after staff has had a chance to review the request.

The applicant has made additional updates to the drawings including showing a sidewalk along the East side of the building that provide pedestrian access to a possible tenant in the Northern portion of the building. Some changes have also been made to the elevations of the buildings including the addition of doors and windows to the South Elevation, lowering of the building from 36 feet clear height to 32 feet clear height. The Landscaping Plan being

submitted is considered an Alternative Landscape Plan and is being submitted to deal with the unique conditions of the site. Additional details have been provided from the original submittal which shows details for the proposed fence and additional landscaping.

STAFF ANALYSIS

Staff has reviewed the Final Site Plan submittal. The Final Site Plan is reviewed for compliance with Section 10.1 of Article 10 for Site Plan requirements. It is also reviewed for compliance with Section 5.2 Logistics Park (L-P) District regulations. The combined details of that review are listed below.

Section 10.1 of Article 10 for Site Plan requirements

1. Front or cover sheet.

- a) A scale vicinity map showing the relationship of the site to surrounding neighborhoods, roads and other physical features. ~~The bottom location map included on the Title Sheet includes the wrong section number for the property.~~ Staff suggests that 196th Street should be added onto the location maps and that the line representing Interstate 35 should be extended. **Update Final Site Plan.**
- b) A project title, zoning designation and project sponsor. A street, lot or tract address of the project. **Final Site Plan Complies.**
- c) An index to contents, and a data table which, at a minimum, includes: Acreage of the site and number of units per acre (if applicable); gross square feet of the building(s) area; the proposed use of each building; number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load and, the total number of parking places. ~~The table does not include the anticipated number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load. It also appears that the number of Trailer Parking (65) and Future Trailer Parking (44) stalls is slightly off. The index of sheets also does not include the building elevation plans.~~ **Update Site Data Table**
- d) The name of the architect, engineer, surveyor or draftsman. **Final Site Plan complies.**
- e) The specified certificates and signature blocks. ~~Names and titles of the individuals signing the site plan should be included under the signature lines.~~ **Update signature blocks.**

2. Sheet #2

- a) A landscape plan drawn to scale, showing the site, building location, planting and seeding schedules, refuse and outdoor storage screening and boundary screening. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. **Update Final Site Plan.**
 - ~~Trash containers and screening have not been shown.~~
 - ~~The current plan appears to anticipate the division of the structure for two separate tenants. A sidewalk connection should also be made to the Northern portion of the site.~~
- b) A table entitled "Planting Schedule" which lists the common name, size and condition of all planting materials, together with a timetable for planting. ~~No timeline for planting is included.~~ **Update Final Site Plan.**

3. Sheet #3

- a) A site map with the following features.
 - i) Topography at reasonable intervals. *Contours are included in the grading plan and landscape plan. Final Site Plan complies.*
 - ii) Exterior lot lines with any survey pins. *Final Site Plan does not show any survey pins.*
 - iii) Location of buildings. *Final Site Plan complies.*
 - iv) Parking areas, paths, walks with sizes and surfaces material specifications. *A sidewalk connection needs to be shown to the Northern portion of the site. Final Site Plan complies.*
 - v) Exterior lighting specifications. *Details, locations and photometric plan have not been provided. Staff suggests that the photometric plan must be reviewed and approved by staff prior to the approval of a Building Permit including any exterior lighting.*
 - vi) Site entrance and connections to streets. *The site plans currently show two points of access for this site with an additional one proposed as an optional entrance that could be used by employees. The first access point is from the Southwest corner of the site and which can be considered as the primary access point for the front and rear of the building. A second access point has been provided through a cross access easement and which provides a point of access for trucks needing to access the Southeast portion of the building. The addition of the cross access easement across Lot 2 has been included as part of the updated Final Plat drawing that has been submitted for staff's review. The optional access would be located at the center of the site's frontage onto 196th Street. It appears that the possible tenant has decided this additional access point may not be needed but, NorthPoint is requesting that the Planning Commission consider approving it as an option. Final Site Plan Complies.*
 - vii) The location of easements. *A temporary easement will need to be shown on the plan for the location of the cul-de-sac. Staff understands that the applicant is planning to have this easement dedicated as part of a separate document apart from the Final Plat which is currently being reviewed. Staff would suggest that a reference be made on the Final Site Plan to the Book and Page number for this easement once it is filed. Update Final Site Plan.*
 - viii) Connection point for utilities. *The city is currently working with Northpoint on the extension of a sewer main from Homestead Lane to Inland Port XIV. This sewer line extends across the Northern portion of Tract A and the Western portion Lot 4 and will provide sewer service to this project. Water service, gas and power are currently shown as being extended from 196th Street. Final Site Plan Complies.*
- b) A sketch of the entry sign, and all other free-standing, façade, and building signs to be used on the premises. *No signage was submitted with the application. Signage proposed later shall receive separate approval according to the provisions of the UDC.*
- c) Features to facilitate handicapped access. *The accessible parking spaces and access areas should not exceed 2% slope in any direction. Final Site Plan Complies.*
- d) Profile and detail for roads (if required). *No roads are included as part of this project.*

4. Sheet #4

- a) Scale drawing of building floor plans. *These plans do not currently include interior*

improvements as the building is being constructed speculatively. Will be reviewed at Building Permit Review.

- b) Dimensions and use of rooms and areas. *Will be reviewed at Building Permit Review.*
- c) Dimensions of entrances/exits and corridors. *Will be reviewed at Building Permit Review.*
- d) Interior specifications for handicapped accessibility as required by ANSI 117.1 and this ordinance. *Will be reviewed at Building Permit Review.*

5. Sheet #5

- a) Scale drawings of all building elevations. *Final Site Plan complies*
- b) Roof pitch and materials. *Final Site Plan complies*
- c) Siding type and materials, including fascia. *Final Site Plan complies*

Section 5.2 Logistics Park (L-P) District regulations

SETBACK, YARD, AND AREA REGULATIONS:

1. Building Coverage: The maximum building coverage in the L-P District is 50%. With a current site size being shown of 957,083 square feet and a building containing 378,022 square feet, building coverage is within the maximum at 39.5%. *Final Site Plan complies.*
2. Setbacks from the street right-of-way or property line: *Final Site Plan complies.*
 - a. Front. A 50-foot minimum setback is required with an allowable reduction to 25-feet when adjacent to two-land collectors. *The Southern property line is considered to be the front property line and is currently shown as being located 177 feet from the Southeast corner of the structure.*
 - b. Side (Typical). A minimum 25 feet is required from the East and West property lines with 130 feet and 207 feet being shown.
 - c. Side at Street (Typical). *Not Applicable.*
 - d. Rear. The North side exceeds the minimum 25 feet required as 140 feet is provided.
3. Maximum Building Height. The Maximum building height was originally shown as 47 feet and has been revised to 43 feet. This is under the maximum height of 110 feet. *Final Site Plan complies.*
4. Building Separation. A minimum building separation of twenty (20) feet is required. There is only a single building proposed with this final site plan. *Future building separations will need to be evaluated when adjacent final site plans are submitted. Final Site Plan complies.*
5. Accessory Building and Structure Regulations. No accessory buildings are proposed with this application. *Final Site Plan complies.*

DISTRICT REGULATIONS:

1. A minimum of three exterior walls shall be of materials other than metal. *All exterior walls of the proposed warehouse are tilt-up concrete, meeting this requirement. Final Site Plan complies.*
2. All operations other than limited storage of motorized machinery and equipment, materials, products or equipment, shall be conducted within a fully enclosed building. *The East and West sides of the building are both proposed to have loading docks with trailer*

*parking shown along a portion of the West side of the property. No other activities are shown as occurring outside on the proposed site plan. While the property located to the East of the subject property is proposed to be a similar use, the property located to the West is currently being used as part of a commercial landscaping operation, but it is anticipated will eventually be developed as a similar use. **Final Site Plan Complies.***

3. All storage of motorized machinery and equipment, materials, products or equipment shall be within a fully enclosed building, or in a storage area or yard. Said storage shall be limited to twenty percent (20%) of the ground floor area of the building or tenant space. All storage materials shall be one hundred (100) percent screened from public view, except when adjacent to another storage area, which is one hundred (100) percent screened from public view. For the purposes of this section, the phrase "screened from public view" means not visible at eye level from adjoining properties or any street right-of-way. Use of landscaping materials is encouraged in lieu of privacy fencing. All storage areas shall be paved or surfaced. *The current request does not show any storage areas being located outside other than the Future Trailer Parking. Temporary Outdoor Storage Regulations for Cargo Containers, Operational Trailers and Tractors are discussed later. **Final Site Plan Complies.***

DESIGN GUIDELINES:

1. When more than one (1) building is planned for L-P district property, the development plan shall demonstrate integration and coordination of the architectural design for buildings, structures, and landscaping and open space. *The proposed building, landscaping, and open space design is generally consistent with previously approved projects in the Logistics Park. **Final Site Plan complies.***
2. Buildings should be oriented so that the front or side of the building faces the public street frontage of the property. The City may consider an exception to orient a rear elevation towards a public street for unique situations due to the configuration of the lot. **Final Site Plan complies.**
3. The City may require that loading and service areas are screened from public view with landscaping, berming, facade walls, or fencing. *The orientation of the building allows for very minimal exposure of the loading and service area which are located to the sides of the structure. The applicant is currently proposing the use of evergreens to the South of the loading docks to provide some screening of this area. ~~Additional landscaping or screening should be placed in these areas to allow for additional screening. Staff would suggest that this screening could be located behind the proposed connection drives that are shown in the updated exhibit. Placing additional screening in these locations will not fully meet the requirement of Section 5.2M.2.g, but will provide better screening of these loading and service areas.~~ The amended Landscape Plan and additional documents show the proposed fence for the site and also additional landscaping that has been proposed in front of the fence. Staff would suggest that the additional landscaping and fencing would appear to be sufficient as long as the outside storage of materials does not occur. Staff would also suggest that the wrought iron fencing should be placed in all areas to the front of the structure. **Additional screening should be placed to better screen loading and service areas from public view.***
4. When development is proposed adjacent to any existing residential development, site plan approval, including building elevations, landscaping, and screening shall be approved by the City. *The adjacent property to the West is currently zoned County RUR but is being used as part of a commercial landscaping operation and is not a residential use. **Final Site Plan Complies.***

5. Pedestrian access within a development and adjacent public and private property shall be considered as a component to the design of an employment center. ~~A sidewalk needs to be provided to the rear of the property as the current site plan is anticipating that the property will be divided for two users.~~ **A Sidewalk has been added along the East side of the property to provide pedestrian access to the rear of the property. Final Site Plan complies.**

ARCHITECTURAL DESIGN STANDARDS

1. Building Massing and Scale. A building's massing is defined as its exterior volume. The height, width and depth of a structure create the overall massing of a building. A building's scale is the relationship of its overall size and its component parts with its adjoining spaces and buildings. **Final Site Plan complies.**
2. Large expanses of blank walls of any material or metal siding are not allowed. Building facades over one hundred feet (100') long facing public right of way or residential property shall break up massing of buildings by dividing building façade into smaller components with a minimum of three (3) of the following elements:
 - a. articulating details around doors, windows, balconies, plate lines, providing details such as "belly-bands," recessed design elements, interesting cornice treatment details, exposed expansion joints, reveals, change in texture, or other such methods of visual relief;
 - b. Avoiding long, repetitive, monotonous facades – particularly those that repeat the same design element several times along the same elevation
 - c. Use of darker building color and varied wall treatments
 - d. Varying roof lines (see Vertical Articulation section)
 - e. Change of wall plane (see Horizontal Articulation section)

The proposed elevations appear to be consistent with buildings approved and constructed in earlier LPKC phases. The South elevation of the building is the only side that faces a public right-of-way. The north and south elevations use vertical and horizontal articulation, windows, and color blocking to effectively break up building massing. The west and east façades again use vertical articulation, color blocking, and windows effectively, though the great lengths on these sides provide more opportunities for varying techniques than are taken advantage of in the design. Final Site Plan complies.

3. Building Materials. One hundred percent (100%) of the surface of each exterior wall (excluding doors and windows) facing a public street, residential use or public open space shall consist of materials including but not limited to stone, brick, glass block, tile, cast metal, cast or cultured stone, concrete (tilt-up walls), glass, or a combination of these materials. *All walls are concrete tilt-up, which meets this requirement. Final Site Plan complies.*
4. Façade Guidelines
 - a. Horizontal Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the wall's height without having an off-set of ten percent (10%) of the wall's height (maximum of five (5) feet); the new plane shall extend for a distance equal to a minimum of twenty percent (20%) of the maximum length of the first plane. The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. Walls not facing a public right-of-way or a residentially zoned property and walls with loading dock doors are exempt from the horizontal

articulation requirement. *The middle of the south wall measures approximately 205 feet, which appears to be the slightly less than the dimension that has been used on previous plans. With the height of the wall ranging between 42'-6" and 47'-6" and 43 feet the maximum length of this wall without additional horizontal articulation should be 188 172 feet. The required horizontal off-set along this wall is between 3.85 and 4.3 feet. The off-sets that are provided are 5 and 10 feet, respectively. This means that the proposed building does not meet the horizontal articulation requirement due to the length of the middle section of this wall. The change in the proposed height of the structure does create the issue that the building is technically further out of compliance than was originally requested. However, this is only a very minimal change. Additional articulation could be provided in this area or the articulation provided at the East and West portions of this wall could be extended to shorten this distance. This is the same issue that has been discussed as part of previous approvals. The Planning Board has allowed exceptions to this requirement in the past based upon reviewing the building elevation and design and determining that the applicant is using some of the additional design elements listed in Section 5.2J.2 to give the appearance of breaking up the length of the building and to allow for a common design to be used between the buildings that are being proposed. **The south wall does not meet this requirement. The Planning Commission may decide to approve exceptions to all or portions of this plan based upon the façade elevations that have been provided and to allow for this building to maintain a consistent appearance with the adjacent development.***

- b. Vertical Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the height of the wall without changing height by a minimum of ten percent (10%) of the wall's height (maximum of five (5) feet). The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. *Like the horizontal articulation requirement, walls not facing a public right-of-way or a residentially zoned property are exempt from this requirement. However, walls with loading dock doors are still required to meet this standard. The minimum height change required is between 4.3 & 4.7 3.85 and 4.3 feet. The maximum change in height shown on the south elevation (across the entire length of the building) is 4'-6" feet (42'-6" to 47') (38'-6" to 43'). This articulation just barely misses full compliance as the vertical articulation on the building stays slightly below the 4.3 feet, however, more (while smaller) articulation is provided along the elevations. The vertical articulation being provided appears to be the same as that shown on previous projects. **The elevation plans do not comply with this requirement. The Planning Commission may decide to approve an exceptions to this requirement based upon the façade elevations that have been provided.***
- c. Screening of Rooftop Equipment. For buildings within the L-P District, all rooftop mounted mechanical, air conditioning, electrical, and satellite dish equipment shall not be visible. Rooftop equipment shall be screened from ground and street level view with parapets or other architectural design features constructed of the same materials used on the exterior walls. **Rooftop equipment is not shown on the proposed building elevations. If rooftop equipment visible from the ground and street level is planned, parapets to conceal it from the**

ground and the streets shall be required prior to building permit approval.

- d. Color Palette. Earth tones, muted hues, and natural tones are permitted as structures' basic colors. Brighter hues are permitted only as an accent color on building elements such as awnings, doors, and trim. A mixed color palette on a single building should be carefully selected so all colors harmonize with each other. ***Color blocking is used effectively in the elevations provided. Though staff has not done percentage calculations to evaluate strict compliance with the above chart, staff believes the uses of color on the building follow the pattern of previously approved buildings and are otherwise consistent with the identity of LPKC.***

Accent colors should be applied using the following guidelines:

	Required	Allowed
1 st Accent Color	10%	20%
2 nd Accent Color	0%	10%
3 rd Accent Color	0%	10%

*Percentage calculations shall utilize the entire façade area.

PARKING AND LOADING

1. General. The plan addresses the general parking and loading requirements as follows:
 - a. Parking space dimensions of at least 9 by 20 feet per space are required. *The Final Site Plan currently shows 304 regular car parking spaces with 11 ADA spaces.*
 - b. Adequate loading spaces off the public right-of-way are shown.
 - c. Parking is all on asphalt or concrete.
 - d. Off-street space for loading and unloading of goods is provided. *65 trailer/dock spaces with 44 additional docks which are shown as future and could be used for parking at this time are included.*
 - e. Shipping, loading, maneuvering, and parking areas meet the setback requirements. ***Final Site Plan complies.***
2. Warehouse/Distribution Center and Large Building Parking Space Exceptions. Parking shall be required per City standard based upon individual land use, except Warehouse or Distribution Center land uses, which shall require one (1) space per two thousand (2,000) square feet of building area. Buildings in excess of one hundred thousand (100,000) square feet or users with specific parking needs may provide an independent parking study to the City for approval. *The proposed structure is 378,022 square feet which would calculate to a minimum of 189 spaces. The Final Site Plan shows 304 regular car parking spaces with 11 ADA spaces. Final Site Plan complies.*

OFF-STREET PARKING STANDARDS

1. Maneuvering. *It appears that adequate space is provided on the plan for vehicle maneuvering off the public right of way. The one concern that will need to be addressed is in regards to emergency access to the site. Currently, the tenant that is located in the North portion of the building will only have one point of access. There may be a need to have gates placed in the fence shown on the Eastern portion of the property that would provide a second point of access in an emergency. Also, a gate may also be needed between the two trailer courts on the West side of the building in order to provide access*

*to this side of the building for emergency services. Staff is anticipating that the Fire District will make comments in regards to this item. **Update Final Site Plan.***

2. Parking Spaces and Aisle Surfaces. All parking spaces, aisles and maneuvering areas are all-weather surfaced and are connected by all-weather surfaced driveways to the street, as required. ***Final Site Plan complies.***
3. Parking Space and Aisle Dimensions. Parking space dimensions of at least 9 by 20 feet per space are required. ***Final Site Plan complies.***
4. Wheel Stops. Wheel stops or curbs are required for parking spaces around the perimeter of the parking lot and adjacent to sidewalks. *Parking spaces are not adjacent to required landscaped areas, public ROW or public sidewalks and Curbs are also indicated on the site plan around parking areas.* ***Final Site Plan complies.***
5. Parking layout with 90 degree spaces and two-way traffic. The parking area proposed conforms to the requirements shown in Figure 8 of the L-P District parking requirements. ***Final Site Plan complies.***

OFF-STREET LOADING STANDARDS

1. Access. Loading facilities shall be located adjacent to a public access-way or private service drive. ***Final Site Plan complies.***
2. Minimum Loading Space Dimensions. Loading spaces shall be a minimum of twelve (12) feet in width, sixty-five (65) feet in length, and fourteen (14) in height except as may otherwise be approved by the City. *The loading spaced shown on the site plan are dimensioned as 13 feet by 60 feet. These spaces all front onto a 70 foot wide driveway area. Staff understands that the normal minimum design turning radius for semi-trucks is 45 feet. The trailer parking spaces are dimensioned as 12 feet by 55 feet.* ***Final Site Plan complies.***
3. Use of Loading Spaces. Off-street loadings spaces shall be used only for temporary loading/unloading operations and shall not be used for storage or display of boats, trailers, campers, motor vehicles or other goods, materials or products. *The main loading spaces appear to be designed to operate as loading docks for the facility and not for the storage of other goods, materials and products.* ***Final Site Plan complies***
4. Number of Loading Spaces Required. A use which receives or distributes material, supplies or merchandise by motor vehicle is required to provide spaces based upon the following requirement: (a) 0-9,999 square feet – None; (b) 10,000-100,000 square feet – 1 spaces; 50,000-100,000 – 2 spaces; and, 100,001+ - 1 additional space per 100,000 square feet. *Based upon this standard the property is required to provide 5 loading spaces.* ***Final Site Plan complies***
5. Temporary Outdoor Storage Regulations for Cargo Containers, Operational Trailers, and Tractors. The L-P District requires that outdoor parking or storage spaces for cargo containers, operational trailers and tractors must be screened from view by either a masonry wall of a type and style complementary to the primary materials of the building, wrought iron, decorative metal, living plant material or a combination of these. The height of the screening must be sufficient to block view of the equipment or vehicles from a public right-of-way. Where a masonry wall is used to satisfy this requirement, foundation planting must be provided on the exterior face of the wall. These spaces must be clearly demarcated solely for tractor and trailer storage. *The site plan shows a total of 25 Trailer Parking stalls on the West side of the building. These spaces are located approximately 27 feet from the property line and are setback behind the front of the building. The proposal is slightly different from previous requests due to the width of the property and the need*

to provide a separate access point to the rear of the property. Additional landscaping material could be placed to provide additional screening from the public ROW.

PHOTOMETRICS –

1. General. All lighting shall be designed in accordance with applicable Illuminating Engineering Society of North America (IESNA) practices as applied to specified applications within the L-P District. Cut-off design is specified within the development. ***A photometric plan has not been provided. The applicant shall provide a photometric lighting plan, including cut-off design specifications for all proposed lighting fixtures prior to issuance of a building permit.***

LANDSCAPE STANDARDS – *The applicant submitted an Alternative Landscape Plan in order to deal with unique conditions with the development of this site as part of the consideration that the Planning Commission had for Lots 2 & 4 of this subdivision. The approval included the need to place additional landscaping at the entrances to the site.*

1. Alternative Landscape Plan. In lieu of the requirements set forth in Section 1.1., Landscaping Standards, an Alternative Landscape Plan (ALP) may be submitted to the Planning Commission for approval. An ALP shall utilize an innovative use of plant materials and design techniques in response to the unique characteristics of a particular site. At a minimum, an ALP shall contain equivalent landscaping as is required by these regulations. *In general, the applicant has prepared a plan that is designed to be similar to the Landscaping that has been provided in other projects. Staff suggests that additional landscaping be provided at the entrances into the site as the normal standard would require shrubs spaced at intervals along the entire frontage of the property and back to the front of the building alongside property lines. The updated plans also provide additional information in to the type of fencing that is being proposed for the site and the applicant has also placed additional landscape material between the fence and the street due to the small distance and to break up the look of the fence.*
2. Dumpster screening: *Trash enclosures or screening are not shown.*

SIGNAGE

No signage plan has been made available for review. ***The applicant shall provide a signage plan according to the requirements in Article 5(K) prior to the issuance of a building permit.***

DIESEL EMISSION REQUIREMENTS

The following diesel emission requirements shall apply:

1. Except for loading and unloading operations, heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds shall be restricted from idling on-site for no more than 5 minutes in any 60 minute period. For loading and unloading operations, idling shall be restricted to no more than 30 minutes in any 60 minute period.
2. One electrical hook-up shall be provided for “trucker plug-ins” equal to a minimum of one-third (1/3) of the total number of truck bays at the facility to eliminate excessive idling by heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds. Approval to use alternative technologies to eliminate excessive idling may be requested, but shall not

be approved unless the applicant demonstrates that they are at least as effective as electrical hook-ups. ***Will be reviewed at Building Permit.***

3. Signs shall be posted by owner(s) of the facility at each vehicle entrance to the facility notifying drivers of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds to turn off engines when not in use. ***Will be reviewed at Building Permit.***
4. The operation and idling of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds, including circulation, shall be restricted within 300 feet of any property zoned for or committed to residential use, or the owner/developer shall provide alternative measures including the possible installation of a wall or other mitigating measures to assure buffering of residences from heavy-duty truck operations, unless the owners of property located adjacent to said heavy duty diesel truck operations consent and agree, in writing to:
 - a. Allow the location of heavy-duty diesel truck operations within 300 feet of their property zoned for and committed to residential use, and
 - b. Restrict areas of their property located within 300 feet of adjacent trucking operations to only non-residential uses;
5. Warehouse managers and employees shall be trained by the employer(s) or operator(s) of the facility to use efficient scheduling and load management to eliminate unnecessary operation, queuing, or idling of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds.
6. Warehouse managers and employees shall be provided by the employer(s) or operator(s) of the facility with information about the possible effects of diesel emissions on their own health and the importance of being a good neighbor by minimizing idling and avoiding other potentially adverse impacts on adjacent or nearby residences;
7. On-site services shall be made available to vehicle drivers to reduce idling. These services may include restroom facilities, seating for drivers waiting for their cargo to be loaded or unloaded, and/or food/beverage vending machines. ***Will be reviewed at Building Permit.***
8. Any motorized equipment used within the proposed development should utilize clean technology propulsion and/or alternative fuels such as biodiesel, electricity, or propane;
9. If fuel dispensing facilities are provided on-site, alternative clean fuels such as (but not limited to) bio-diesel blended fuel should be provided at these dispensing facilities.

Other Comments

1. A storm water study has been provided and is being reviewed by the City Engineer.

RECOMMENDATION

City staff recommends **approval** of FS2015-04 for the Amended Final Site Plan Logistics Park Kansas City Phase IV, Second Plat, Lot 1 (Inland Port XXXI) subject to the suggested stipulations, below.

1. All Site Plan requirements of the City shall be met as listed above, particularly including:
 - a. Submittal of photometric lighting plan for Inland Port XXXI in conformance with UDC especially with regard to maximum foot-candles at property line.
 - b. Construction plans for future public infrastructure be submitted and approved by the City. Any necessary permits obtained.
 - c. All landscaping shall be maintained in good condition and plants shall be replaced when dead.

2. All infrastructure requirements of the City shall be met.
3. All building permit and sign permit requirements of the City shall be met.
4. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

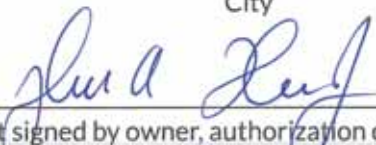
ATTACHMENT

Final Site Plan Application No. FS2016-04

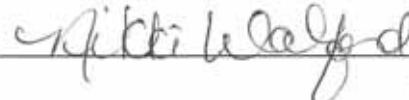
Amended Final Site Plans Logistics Park Kansas City Phase IV, Second Plat, Lot 1 (Inland Port XXXI)

☐ PRELIMINARY SITE PLAN☒ FINAL SITE PLANNAME OF PROPOSED SUBDIVISION: Lot 1, LPKC Phase IV, Second PlatLOCATION OR ADDRESS OF SUBJECT PROPERTY: 2000 Feet West of 196th and WaverlyLEGAL DESCRIPTION: All of Lot 1, LPKC Phase IV, Second PlatCURRENT ZONING ON SUBJECT PROPERTY: LP CURRENT LAND USE: LPTOTAL AREA: 21.781 Acres NUMBER OF LOTS: One AVG. LOT SIZE: 948,780 Sq. Ft.DEVELOPER'S NAME(S): John Thomas PHONE: 816-888-7380COMPANY: ELHC XI, LLC FAX: 816-888-7399MAILING ADDRESS: 5015 NW Canal St. Suite 200 Riverside Mo 64150
Street City State ZipPROPERTY OWNER'S NAME(S): Same As Above PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State ZipENGINEER'S NAME(S): Mick Slutter PHONE: 816-800-0950COMPANY: Renaissance Infrastructure Consulting FAX: 816-800-0951MAILING ADDRESS: 5015 NW Canal St. Suite 100 Riverside Mo 64150
Street City State ZipSIGNATURE OF OWNER OR AGENT: 
If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLYCase No. FS- 2016-04 Amount of Fee Paid: \$ 419.70 Date Fee Paid: 3-25-16Received By:  Date of Hearing: N/A
rcpt 40711**SITE PLAN INSTRUCTIONS****SUBMITTAL DEADLINE:** The applicant shall submit an application at least thirty (30) working days prior to a scheduled meeting.**NOTICE REQUIREMENTS:** The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.

vs. 9-9-11

April 29, 2016

Kenneth Cook, Community Development Director
City of Edgerton, KS
404 East Nelson
Edgerton, KS 66021

Re: Amended Final Site Plan
Inland Port XXXI - LPKC
31800 W 196th St, Edgerton, KS

Mr. Cook:

Thank you for considering the Amended Final Site Plan for Inland Port XXXI located at 31800 W 196th St in Logistics Park Kansas City.

Basis of Request

The original Final Site Plan was approved at the April 2016 by planning commission meeting. At that time, ELHC XXXI, LLC was engaged in preliminary discussions with a legitimate prospect to anchor IP XXXI. The negotiations have matured and we hope by the May planning commission meeting occurs we have successfully completed a lease in IP XXXI.

As the developer, one priority is to understand the tenant's building and site functionality needs, and address them as best as possible with the support of community partners, all the while making our best effort to comply with all development codes. Therefore, ELHC XXXI, LLC has prepared an amended site plan for consideration of City Staff and Planning Commissioners.

This letter is prepared to specifically address and provide additional information regarding the tenant and City Staff requested amendments to the original site plan. These items include:

1. Remove southwest corner storefront and windows.
2. Add additional doors and windows in the eastern half of the south elevation.
3. Lowering the building from 36-ft clear (at first column line) to 32-ft clear height.
4. Added entrance for passenger cars from W 196th St. (option for tenant)
5. Sidewalk access for north tenant to W 196th St.
6. Fence details

Documents for Request

To supplement the Staff and Planning Commission review, the following items are attached.

1. Amended Final Site Plan
 - a. South entrance from W 196th St.
 - b. Added sidewalk for pedestrian access from north tenant
2. Aluminum picket (black) fence spec for south elevation
3. Amended south architectural renderings
 - a. Illustrates removal of southwest corner storefront and windows
 - b. Lowering the building by 4 feet (32-ft vs 36-ft clear)
4. Amended Landscape Plan
 - a. Illustrates additional landscaping in addition to the street trees used to screen the south elevation fence.

ELHC XXXI, LLC respectfully requests your consideration for the requested items, to accommodate the specific use need of this very meaningful tenant.

Sincerely,

John Thomas
Vice President
Northpoint Development

196th Street and Waverly Road
City of Edgerton, Johnson County, Kansas

JOHNSON COUNTY BENCHMARK

JCVN BM1181

Berrieston Aluminum Disk Stamped BM 1181. Located on center west end of the North headwall RCB. From the intersection of Waverly Road and 191st Street, go West 0.10 Miles to the RCB. ELEV: 1010.97

CP 1701	<p> $\frac{1}{2}$" Rebar N: 174200.5415 E: 2181523.0340 Elev: 1046.23 </p>
CP 1702	<p> $\frac{1}{2}$" Rebar N: 17435.42552 E: 2182956.8578 Elev: 1047.91 </p>
CP 1703	<p> $\frac{1}{2}$" Rebar N: 176400.4144 E: 2182870.7877 Elev: 1038.09 </p>



Know what's below.
Call 811 before you dig.



Existing Section Line	SL
Existing Right-of-Way Line	RW
Existing Lot Line	LL
Existing Easement Line	UE
Existing Curb & Gutter	
Existing Sidewalk	
Existing Storm Sewer	
Existing Storm Structure	WS
Existing Waterline	WL
Existing Gas Main	GL
Existing Sanitary Sewer	SS
Existing Sanitary Manhole	SM
Existing Corridor Major	
Existing Corridor Minor	

Proposed Lot Line	— U/L —
Proposed Easement	— U/E —
Proposed Curb & Gutter	=====
Proposed Sidewalk	=====
Proposed Storm Sewer	=====
Proposed Storm Structure	□
Proposed Fire Hydrant	A
Proposed Waterline	— W/L —
Proposed Sanitary Sewer	— S/W —
Proposed Sanitary Manhole	•
Proposed Contour Major	=====
Proposed Contour Minor	=====
Future Curb and Gutter	=====

C01	Title Sheet
C02	General Layout
C03	Site Dimension Plan
C04	Grading Plan
C05	Storm Drainage Map
C06	Storm Drainage Calculations
C07	Site Utility Plan
C08	Preliminary Storm Plan
L01	Landscape Plan

The project is currently zoned L-P.

Site Acreage:	21.781 Acres
Building Area:	378,022 SF
Proposed Building Use:	Industrial
Total Number of Stalls:	424 Stalls
Trailer Parking:	64 Stalls
Future Trailer Parking:	45 Stalls
Employee:	304 Stalls
Total Number ADA Stalls:	11 Stalls

Received and placed on record this _____ day of _____, 20____ by _____
Zoning Administrator.

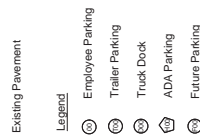
Approved by the Edgerton City Planning Commission this _____ day of _____, 20____.

(Chair of Planning Commission).

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant signature _____ Date _____

We have reviewed the "Flood Insurance Rate Map," Community Panel Number 2009/C0119G, dated August 3, 2009, and 2009/C0134G, dated August 3, 2009, as published by the Federal Emergency Management Agency. The above rate maps places the property in Zone "X" for insurance purposes. Zone "X" is defined as Areas determined to be outside the 500-year flood elevation. No Base Flood Elevation has been determined."



Existing Pavement:

Future Parking

LAYOUT & PAVING NOTES

1. Contractor shall comply with the City of Escondido standard design standards.
2. Contractor shall meet a full set of CIPAWSP Standard Detail on all items.
3. The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies immediately to the City Engineer.
4. The contractor shall check existing grades of all existing utilities, take care to protect utilities that are to remain, and coordinate with the City Engineer on any proposed changes.
5. The contractor shall coordinate with the City Engineer on any proposed changes to the contractor's estimate. Coordinate at construction with the appropriate utility agency.
6. Prior to installing, constructing, or performing any work in the public right of way on the public storm sewer line (including connecting, performing a pipe pull, or any other work), the contractor shall obtain a permit from the City Engineer.
7. Provide a smooth transition between existing pavement and new pavement. Final adjustment of final grades shall be made at least 48 hours prior to start of work.
8. The contractor shall protect all existing pavement, in accordance with the specifications. Do not remove or store heavy equipment, nor handle, nor store materials within the rightlines of trees or outside the limit of the project.
9. Grading:
 - a. Grading shall be done to a minimum of 1/4" per foot.
 - b. Grading shall have a brown finish. All concrete shall be 4,000 psi, unless otherwise noted. Curb, ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local codes. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to pouring.
10. All damage to existing asphalt pavement to remain which results from new construction shall be replaced with the materials at contractor's expense.
11. New concrete shall be 4,000 psi, unless otherwise noted.
12. Maintain one (1) inch of compacted subgrade on the job site for decorative to engineer upon completion.
13. Parking stripes shall be 4-inch wide pavement paint.
14. All concrete and asphalt materials shall have no more than 30% re-cycled materials in the base course and 10% recycled materials in the top course.

PAVEMENT MARKING AND SIGNAGE NOTES

1. Parking stall marking stripes shall be four (4") wide white stripes. Handicap stall marking shall be furnished at locations shown on plans.
2. Traffic control devices and pavement markings shall conform to the locations of the Manual of Uniform Traffic Control Devices.
3. Pavement marking stripes shall be painted with a white Shearwin Williams S.W. paint marking system type B-292 or approved equal. The pavement marking shall be applied in accordance with manufacturer's recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

Logistics Park Kansas City-Phase IV, Second Plat
FFE=1038.00

Unplatted

Proposed Retain

—Future Dock (Typ)

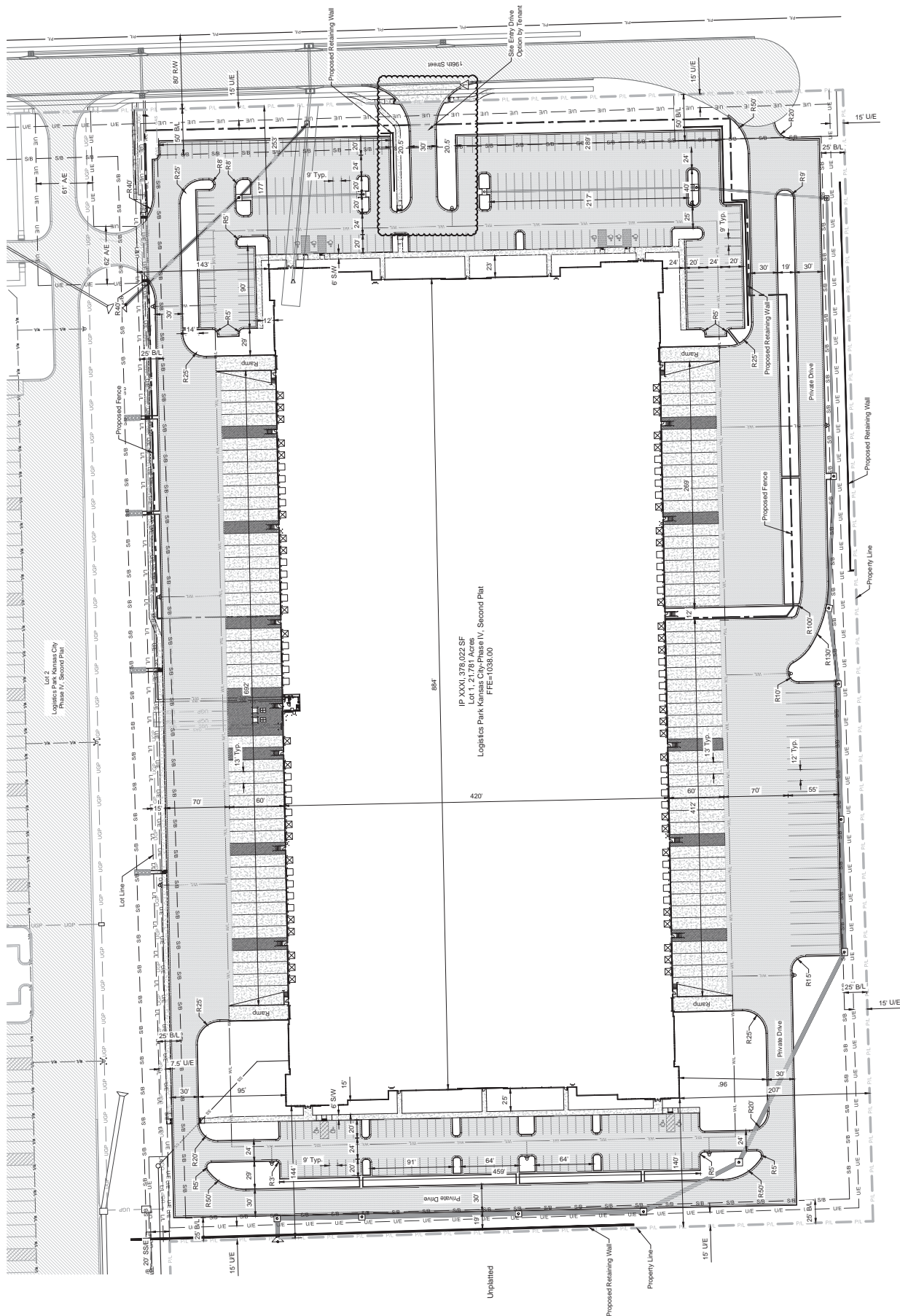
☐ Dock (Typ)

Proposed Fire Hydrant (Typ) —

Processed Storm (Type)

Property L

10

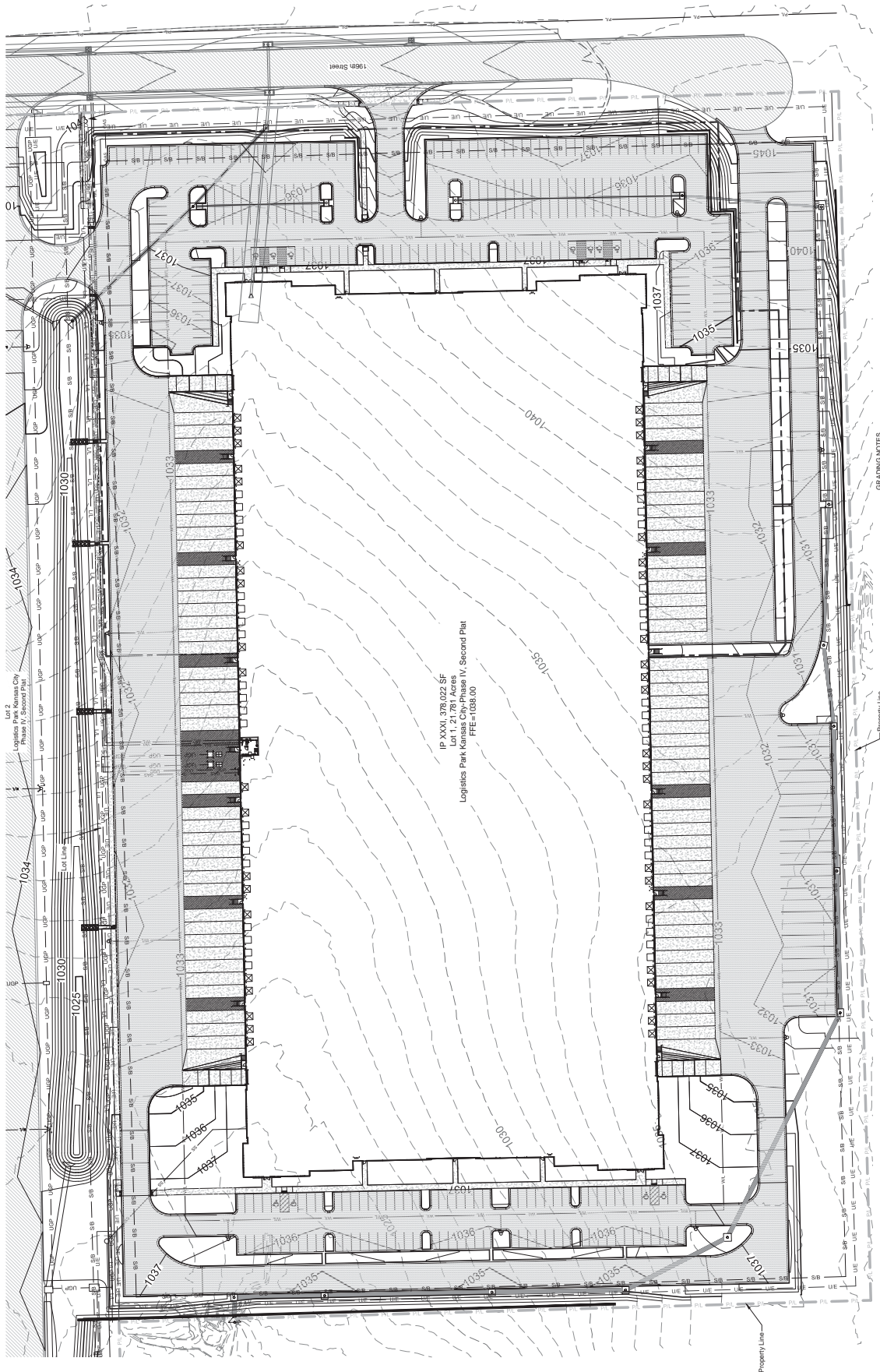


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Proposed Retaining Wall

Property Line—



1. All construction shall conform to the City of Eugene's minimum design standards.
2. Spot Grades shown herein shall govern over finished grades.
3. The contractor shall be responsible for obtaining all necessary Easement/Traffic Control Devised Documents (MTCD).
4. The contractor is responsible for the protection of all property corners and section corners. Any property corner and/or section corner disturbed or damaged by construction activities shall be reset.
5. The contractor shall be responsible for the restoration of the right-of-way and for all damaged improvements such as curbs, sidewalks, streets, signs and traffic signal apparatus, traffic signals, etc. The contractor shall be responsible for the restoration of all utilities that are required in conformance with the latest City, Statewide, and County's standards.
6. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from entering the right-of-way. The contractor shall remove any debris, silt, and mud from the right-of-way. The contractor shall remove any debris, silt, and mud from the right-of-way and adjacent properties to the original curb line.
7. The contractor shall be responsible for obtaining a Right-of-Way Permit from the City of Eugene and the plans of a specific written approval is granted by the City.
8. Elevation for utility work in public street right-of-way requires a Right-of-Way Permit from the City of Eugene. The contractor shall obtain a Right-of-Way Permit from the City of Eugene.
9. All work shall be confined within easements and/or construction limits as shown on the plans.
10. Curb, streets and trails shall be provided at all high points, low points, dms, ramps, openings, and on all other areas.
11. All National Pollution Discharge Elimination System (NPDES) standards shall be met.
12. Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the daily construction needs of the project. The contractor is responsible for the cost of all utility relocation and/or easement indicated on the plans.



Renaissance Infrastructure Consulting
805 NW Canal Street, Suite 100
Kansas City, MO 64108
Phone: 816.800.0950
Fax: 816.800.0951
www.ri-infrastructure.com

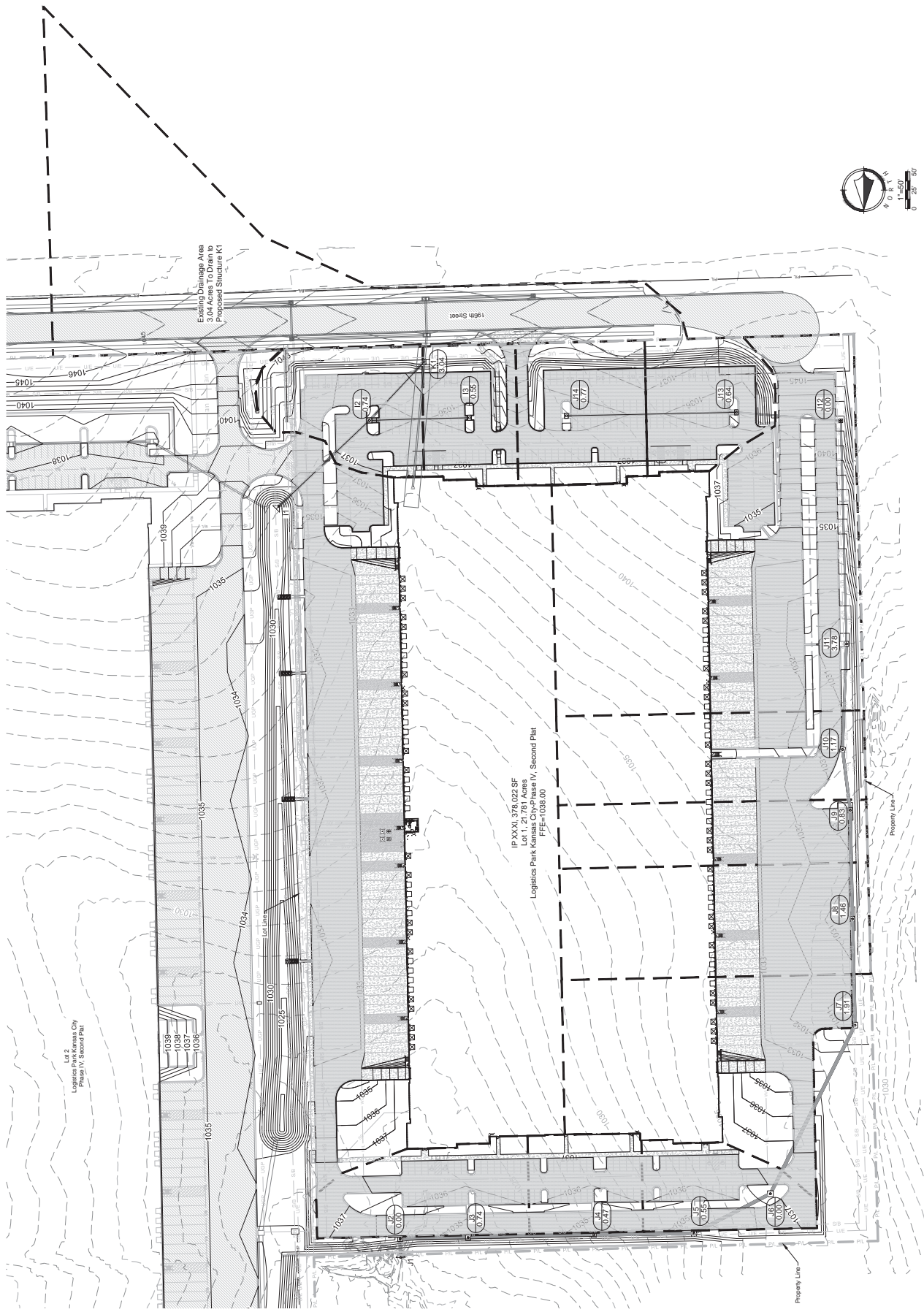
NO.	DATE	BY	CHKD	DESCRIPTION
1	04/29/2024	AMC	AMC	REVISED SITE ACCESS LOCATION
2	05/01/2024	AMC	AMC	ORIGINAL SUBMITTAL

Storm Drainage Map

Final Development Plan
16-0118
Inland Port XXXI

Sheet
C05

Legend:
AS-Structure Label
3.00-Acre to Structure (Ac.)

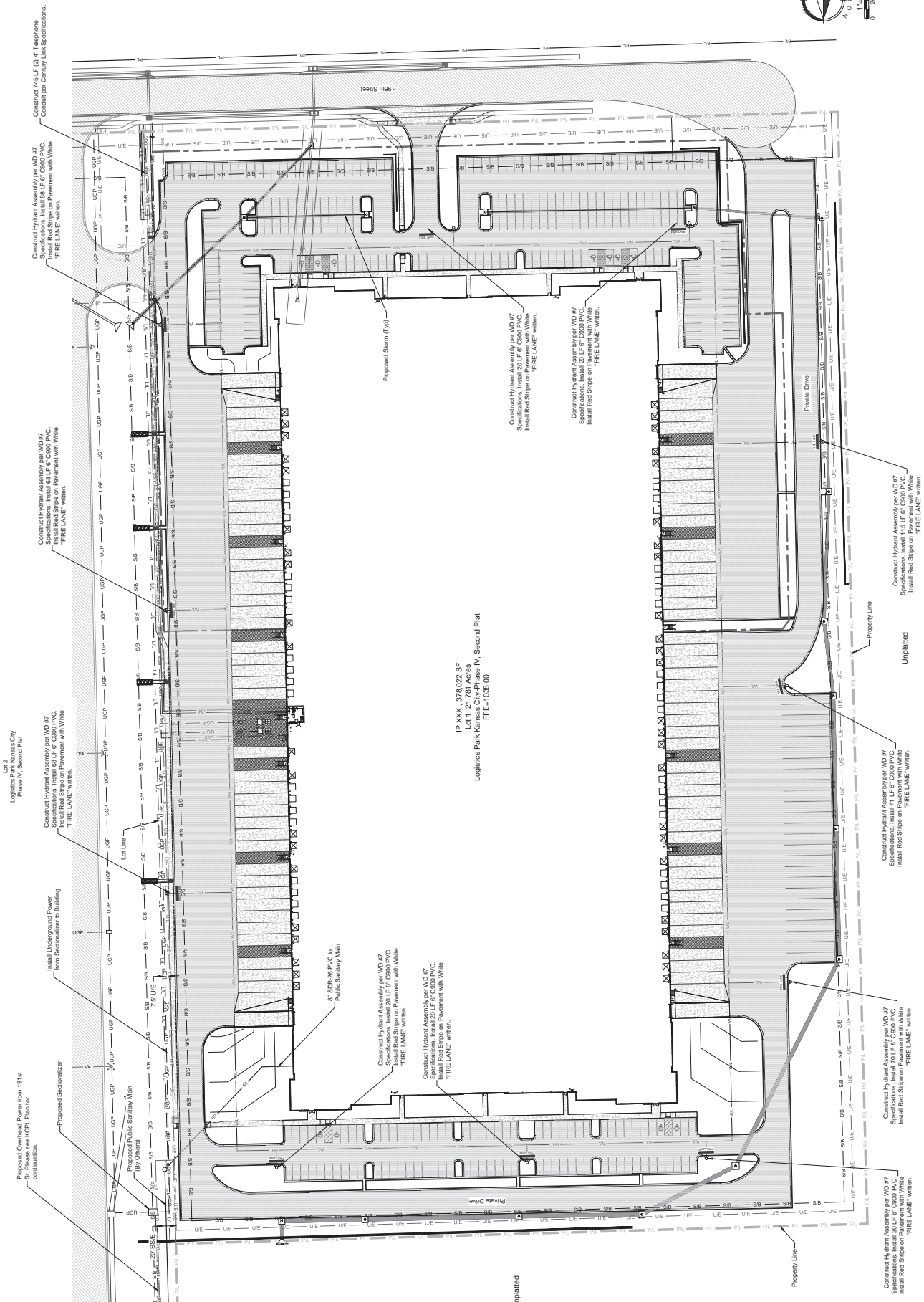


IP XXXI, 378,022 SF
Lot 1, 21.781 Acres
Logistics Park Kansas City-Phase IV, Second Plat
PFE=1038.00

Lot 2
Logistics Park Kansas City
Phase IV, Second Plat

Existing Drainage Area
3.04 Acres To Drain to
Proposed Structure K1

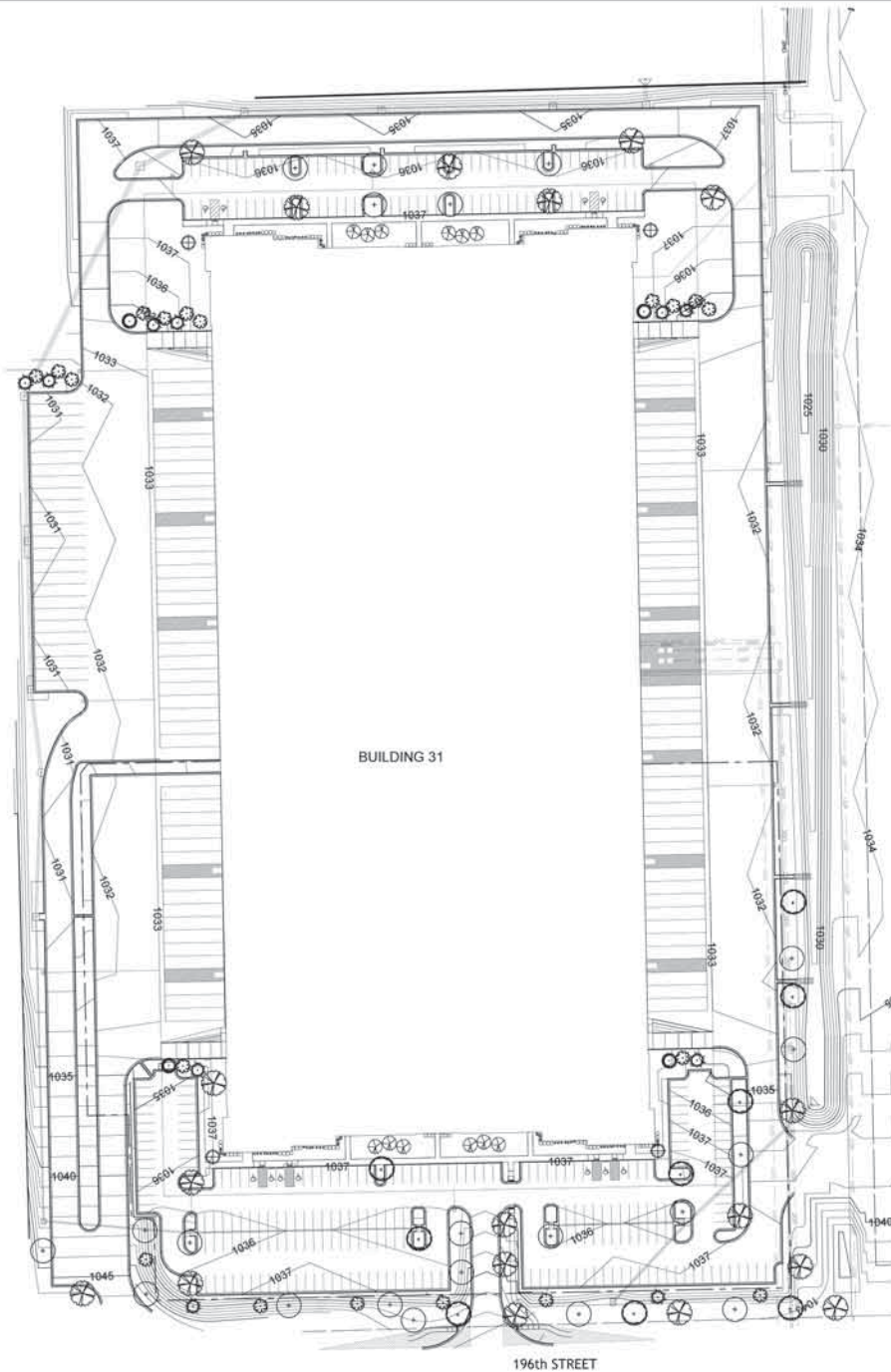
ID	Overview Flow				Startup Flow				Pipe Design				Structural Design				Comments
	Flow (m³/s)	Area (m²)	Vel (m/s)	Loss (m)	Flow (m³/s)	Area (m²)	Vel (m/s)	Loss (m)	Flow (m³/s)	Area (m²)	Vel (m/s)	Loss (m)	Flow (m³/s)	Area (m²)	Vel (m/s)	Loss (m)	
1	0.05	0.10	0.10	0.05	0.05	0.10	0.10	0.05	0.05	0.10	0.10	0.05	0.05	0.10	0.10	0.05	
2	0.10	0.20	0.20	0.10	0.10	0.20	0.20	0.10	0.10	0.20	0.20	0.10	0.10	0.20	0.20	0.10	
3	0.15	0.30	0.30	0.15	0.15	0.30	0.30	0.15	0.15	0.30	0.30	0.15	0.15	0.30	0.30	0.15	
4	0.20	0.40	0.40	0.20	0.20	0.40	0.40	0.20	0.20	0.40	0.40	0.20	0.20	0.40	0.40	0.20	
5	0.25	0.50	0.50	0.25	0.25	0.50	0.50	0.25	0.25	0.50	0.50	0.25	0.25	0.50	0.50	0.25	
6	0.30	0.60	0.60	0.30	0.30	0.60	0.60	0.30	0.30	0.60	0.60	0.30	0.30	0.60	0.60	0.30	
7	0.35	0.70	0.70	0.35	0.35	0.70	0.70	0.35	0.35	0.70	0.70	0.35	0.35	0.70	0.70	0.35	
8	0.40	0.80	0.80	0.40	0.40	0.80	0.80	0.40	0.40	0.80	0.80	0.40	0.40	0.80	0.80	0.40	
9	0.45	0.90	0.90	0.45	0.45	0.90	0.90	0.45	0.45	0.90	0.90	0.45	0.45	0.90	0.90	0.45	
10	0.50	1.00	1.00	0.50	0.50	1.00	1.00	0.50	0.50	1.00	1.00	0.50	0.50	1.00	1.00	0.50	
11	0.55	1.10	1.10	0.55	0.55	1.10	1.10	0.55	0.55	1.10	1.10	0.55	0.55	1.10	1.10	0.55	
12	0.60	1.20	1.20	0.60	0.60	1.20	1.20	0.60	0.60	1.20	1.20	0.60	0.60	1.20	1.20	0.60	
13	0.65	1.30	1.30	0.65	0.65	1.30	1.30	0.65	0.65	1.30	1.30	0.65	0.65	1.30	1.30	0.65	
14	0.70	1.40	1.40	0.70	0.70	1.40	1.40	0.70	0.70	1.40	1.40	0.70	0.70	1.40	1.40	0.70	
15	0.75	1.50	1.50	0.75	0.75	1.50	1.50	0.75	0.75	1.50	1.50	0.75	0.75	1.50	1.50	0.75	
16	0.80	1.60	1.60	0.80	0.80	1.60	1.60	0.80	0.80	1.60	1.60	0.80	0.80	1.60	1.60	0.80	
17	0.85	1.70	1.70	0.85	0.85	1.70	1.70	0.85	0.85	1.70	1.70	0.85	0.85	1.70	1.70	0.85	
18	0.90	1.80	1.80	0.90	0.90	1.80	1.80	0.90	0.90	1.80	1.80	0.90	0.90	1.80	1.80	0.90	
19	0.95	1.90	1.90	0.95	0.95	1.90	1.90	0.95	0.95	1.90	1.90	0.95	0.95	1.90	1.90	0.95	
20	1.00	2.00	2.00	1.00	1.00	2.00	2.00	1.00	1.00	2.00	2.00	1.00	1.00	2.00	2.00	1.00	
21	1.05	2.10	2.10	1.05	1.05	2.10	2.10	1.05	1.05	2.10	2.10	1.05	1.05	2.10	2.10	1.05	
22	1.10	2.20	2.20	1.10	1.10	2.20	2.20	1.10	1.10	2.20	2.20	1.10	1.10	2.20	2.20	1.10	
23	1.15	2.30	2.30	1.15	1.15	2.30	2.30	1.15	1.15	2.30	2.30	1.15	1.15	2.30	2.30	1.15	
24	1.20	2.40	2.40	1.20	1.20	2.40	2.40	1.20	1.20	2.40	2.40	1.20	1.20	2.40	2.40	1.20	
25	1.25	2.50	2.50	1.25	1.25	2.50	2.50	1.25	1.25	2.50	2.50	1.25	1.25	2.50	2.50	1.25	
26	1.30	2.60	2.60	1.30	1.30	2.60	2.60	1.30	1.30	2.60	2.60	1.30	1.30	2.60	2.60	1.30	
27	1.35	2.70	2.70	1.35	1.35	2.70	2.70	1.35	1.35	2.70	2.70	1.35	1.35	2.70	2.70	1.35	
28	1.40	2.80	2.80	1.40	1.40	2.80	2.80	1.40	1.40	2.80	2.80	1.40	1.40	2.80	2.80	1.40	
29	1.45	2.90	2.90	1.45	1.45	2.90	2.90	1.45	1.45	2.90	2.90	1.45	1.45	2.90	2.90	1.45	
30	1.50	3.00	3.00	1.50	1.50	3.00	3.00	1.50	1.50	3.00	3.00	1.50	1.50	3.00	3.00	1.50	
31	1.55	3.10	3.10	1.55	1.55	3.10	3.10	1.55	1.55	3.10	3.10	1.55	1.55	3.10	3.10	1.55	
32	1.60	3.20	3.20	1.60	1.60	3.20	3.20	1.60	1.60	3.20	3.20	1.60	1.60	3.20	3.20	1.60	
33	1.65	3.30	3.30	1.65	1.65	3.30	3.30	1.65	1.65	3.30	3.30	1.65	1.65	3.30	3.30	1.65	
34	1.70	3.40	3.40	1.70	1.70	3.40	3.40	1.70	1.70	3.40	3.40	1.70	1.70	3.40	3.40	1.70	
35	1.75	3.50	3.50	1.75	1.75	3.50	3.50	1.75	1.75	3.50	3.50	1.75	1.75	3.50	3.50	1.75	
36	1.80	3.60	3.60	1.80	1.80	3.60	3.60	1.80	1.80	3.60	3.60	1.80	1.80	3.60	3.60	1.80	
37	1.85	3.70	3.70	1.85	1.85	3.70	3.70	1.85	1.85	3.70	3.70	1.85	1.85	3.70	3.70	1.85	
38	1.90	3.80	3.80	1.90	1.90	3.80	3.80	1.90	1.90	3.80	3.80	1.90	1.90	3.80	3.80	1.90	
39	1.95	3.90	3.90	1.95	1.95	3.90	3.90	1.95	1.95	3.90	3.90	1.95	1.95	3.90	3.90	1.95	
40	2.00	4.00	4.00	2.00	2.00	4.00	4.00	2.00	2.00	4.00	4.00	2.00	2.00	4.00	4.00	2.00	
41	2.05	4.10	4.10	2.05	2.05	4.10	4.10	2.05	2.05	4.10	4.10	2.05	2.05	4.10	4.10	2.05	
42	2.10	4.20	4.20	2.10	2.10	4.20	4.20	2.10	2.10	4.20	4.20	2.10	2.10	4.20	4.20	2.10	
43	2.15	4.30	4.30	2.15	2.15	4.30	4.30	2.15	2.15	4.30	4.30	2.15	2.15	4.30	4.30	2.15	
44	2.20	4.40	4.40	2.20	2.20	4.40	4.40	2.20	2.20	4.40	4.40	2.20	2.20	4.40	4.40	2.20	
45	2.25	4.50	4.50	2.25	2.25	4.50	4.50	2.25	2.25	4.50	4.50	2.25	2.25	4.50	4.50	2.25	
46	2.30	4.60	4.60	2.30	2.30	4.60	4.60	2.30	2.30	4.60	4.60	2.30	2.30	4.60	4.60	2.30	
47	2.35	4.70	4.70	2.35	2.35	4.70	4.70	2.35	2.35	4.70	4.70	2.35	2.35	4.70	4.70	2.35	
48	2.40	4.80	4.80	2.40	2.40	4.80	4.80	2.40	2.40	4.80	4.80	2.40	2.40	4.80	4.80	2.40	
49	2.45	4.90	4.90	2.45	2.45	4.90	4.90	2.45	2.45	4.90	4.90	2.45	2.45	4.90	4.90	2.45	
50	2.50	5.00	5.00	2.50	2.50	5.00	5.00	2.50	2.50	5.00	5.00	2.50	2.50	5.00	5.00	2.50	
51	2.55	5.10	5.10	2.55	2.55	5.10	5.10	2.55	2.55	5.10	5.10	2.55	2.55	5.10	5.10	2.55	
52	2.60	5.20	5.20	2.60	2.60	5.20	5.20	2.60	2.60	5.20	5.20	2.60	2.60	5.20	5.20	2.60	
53	2.65	5.30	5.30	2.65	2.65	5.30	5.30	2.65	2.65	5.30	5.30	2.65	2.65	5.30	5.30	2.65	
54	2.70	5.40	5.40	2.70	2.70	5.40	5.40	2.70	2.70	5.40	5.40	2.70	2.70	5.40	5.40	2.70	
55	2.75	5.50	5.50	2.75	2.75	5.50	5.50	2.75	2.75	5.50	5.50	2.75	2.75	5.50	5.50	2.75	
56	2.80	5.60	5.60	2.80	2.80	5.60	5.60	2.80	2.80	5.60	5.60	2.80	2.80	5.60	5.60	2.80	
57	2.85	5.70	5.70	2.85	2.85	5.70	5.70	2.85	2.85	5.70	5.70	2.85	2.85	5.70	5.70	2.85	
58	2.90	5.80	5.80	2.90	2.90	5.80	5.80	2.90	2.90	5.80	5.80	2.90	2.90	5.80	5.80	2.90	
59	2.95	5.90	5.90	2.95	2.95	5.90	5.90	2.95	2.95	5.90	5.90	2.95	2.95	5.90	5.90	2.95	
60	3.00	6.00	6.00	3.00	3.00	6.00	6.00	3.00	3.00	6.00	6.00	3.00	3.00	6.00	6.00	3.00	
61	3.05	6.10	6.10	3.05	3.05	6.10	6.10	3.05	3.05	6.10	6.10	3.05	3.05	6.10	6.10	3.05	
62	3.10	6.20	6.20	3.10	3.10	6.20	6.20	3.10	3.10	6.20	6.20	3.10	3.10	6.20	6.20	3.10	
63	3.15	6.30	6.30	3.15	3.15	6.30	6.30	3.15	3.15	6.30	6.30	3.15	3.15	6.30	6.30	3.15	
64	3.20	6.40	6.40	3.20	3.20	6.40	6.40	3.20	3.20	6.40	6.40	3.20	3.20	6.40	6.40	3.20	
65	3.25	6.50	6.50	3.25	3.25	6.50	6.50	3.25	3.25	6.50	6.50	3.25	3.25	6.50	6.50	3.25	
66	3.30	6.60	6.60	3.30	3.30	6.60	6.60	3.30	3.30	6.60	6.60	3.30	3.30	6.60	6.60	3.30	
67	3.35	6.70	6.70	3.35	3.35	6.70	6.70	3.35	3.35	6.70	6.70	3.35	3.35	6.70	6.70	3.35	
68	3.40	6.80	6.80	3.40	3.40	6.80	6.80	3.40	3.40	6.80	6.80	3.40	3.40	6.80	6.80	3.40	
69	3.45	6.90	6.90	3.45	3.45	6.90	6.90	3.45	3.45	6.90	6.90	3.45	3.45	6.90	6.90	3.45	
70	3.50	7.00	7.00	3.50	3.50	7.00	7.00	3.50	3.50	7.00	7.00	3.50	3.50	7.00	7.00	3.50	
71	3.55	7.10	7.10	3.55	3.55	7.10	7.10	3.55	3.55	7.10	7.10	3.55	3.55	7.10	7.10	3.55	
72	3.60	7.20	7.20	3.60	3.60	7.20	7.20	3.60	3.60	7.20	7.20	3.60	3.60	7.20	7.20	3.60	
73	3.65	7.30	7.30	3.65	3.65	7.30	7.30	3.65	3.65	7.30	7.30	3.65	3.65	7.30	7.30	3.65	
74	3.70	7.40	7.40	3.70	3.70	7.40	7.40	3.70	3.70	7.40	7.40	3.70	3.70	7.40	7.40	3.70	
75	3.75	7.50	7.50	3.75	3.75	7.50	7.50	3.75	3.75	7.50	7.50	3.75	3.75	7.50	7.50	3.75	
76	3.80	7.60	7.60	3.80	3.80	7.60	7.60	3.80	3.80	7.60	7.60	3.80	3.80	7.60	7.60	3.80	
77	3.85	7.70	7.70	3.85	3.85	7.70	7.70	3.85	3.85	7.70	7.70	3.85	3.85	7.70	7.70	3.85	
78	3.90	7.80	7.80	3.90	3.90	7.80	7.80	3.90	3.90	7.80	7.80	3.90	3.90	7.80	7.80	3.90	
79	3.95	7.90	7.90	3.95	3.95	7.90	7.90	3.95	3.95								



Unplatted

Unlabeled

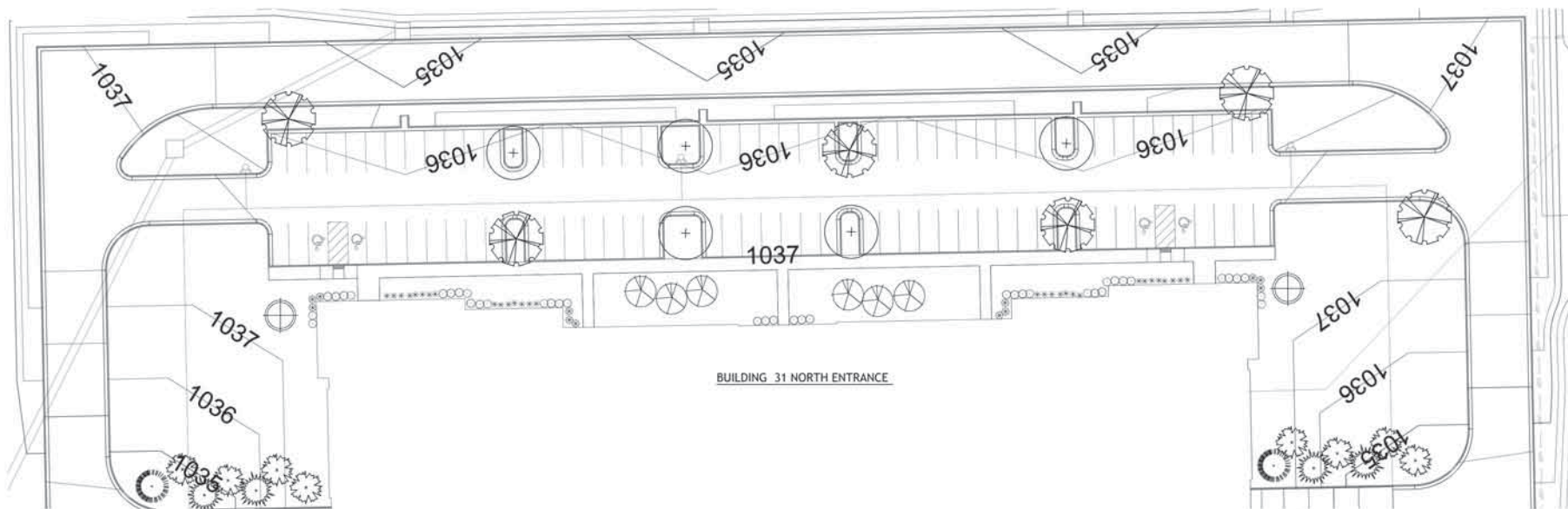
IP XXXI, 378,022 SF
Lot 1, 21.781 Acres
Logistics Park Kansas City-Phase IV, Second Plat
FFE=1038.00



196th STREET

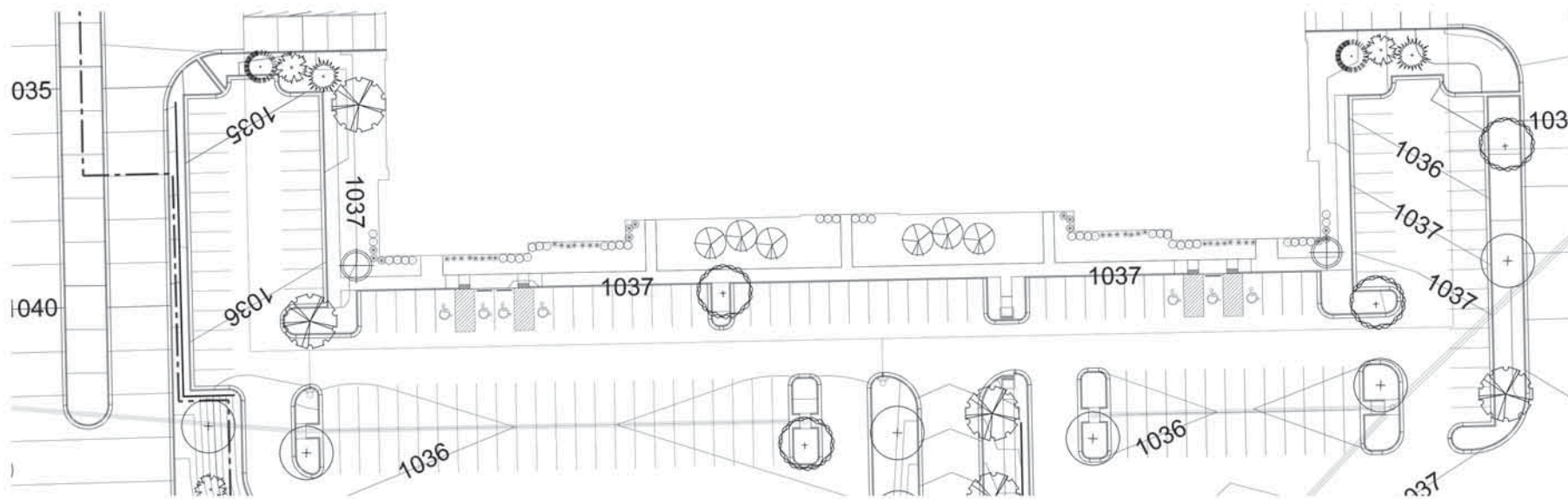
Tree List

Symbol	QUANTITY	Common Name	Botanical Name	Size	Condition	Spacing
	17	Red Sunset Maple	Acer fremanii	2" cal	BB	As Shown
	7	Gallery Pear 'Blooming'	Pyrus calleryana 'Chanticleer'	2" cal	BB	As Shown
	19	Red Oak	Quercus Rubra	2" cal	BB	As Shown
	10	Keteleeri Juniper	Juniperus chinensis 'Keteleeri'	6' hgt	BB	As Shown
	19	Blue Spruce	Picea pungens	6' hgt	BB	As Shown
	4	Eastern Red Cedar	Juniperus virginiana	6' hgt	BB	As Shown
	6	Regal Prince Columnar English Oak	Quercus x warei "Long"	1 1/2" cal	BB	As Shown
	4	Eastern Redbud	Cercis canadensis	1 1/2" cal	BB	As Shown

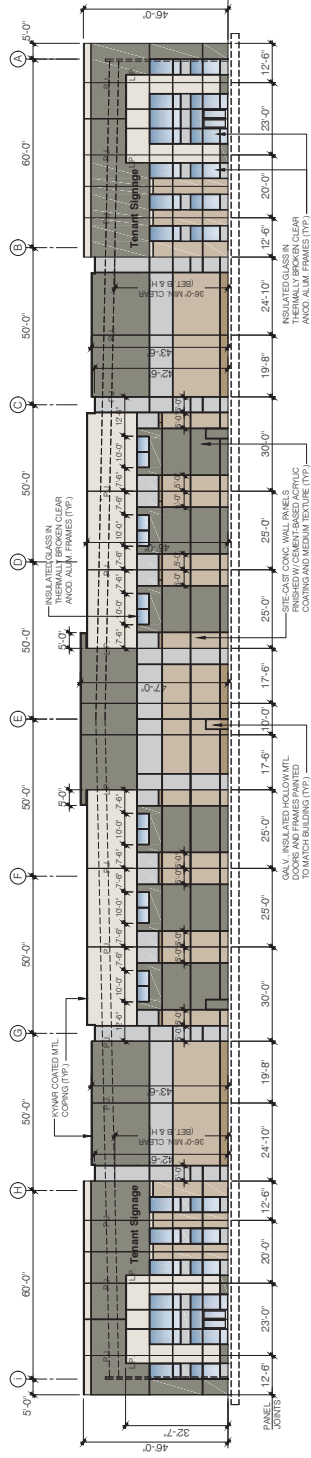


Shrub List

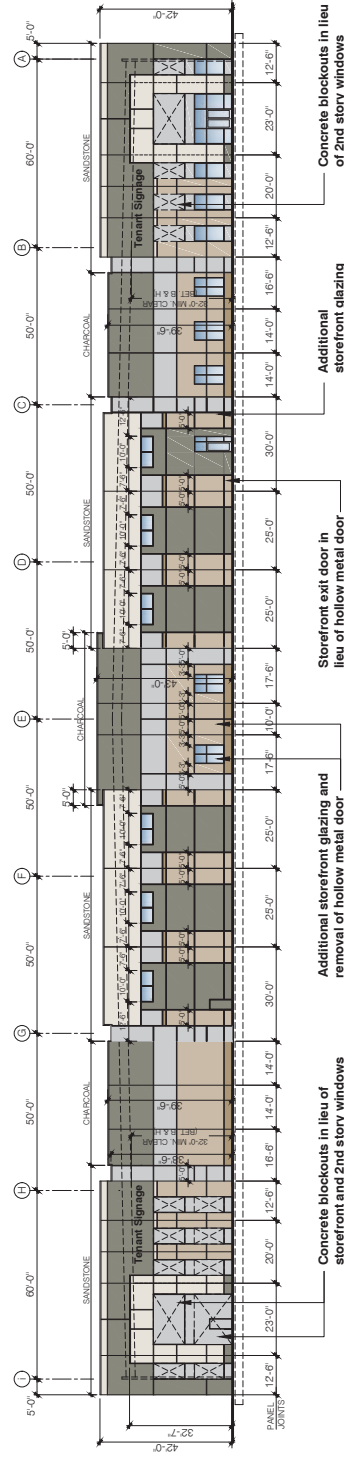
Symbol	QUANTITY	Common Name	Botanical Name	Size	Condition	Spacing
⊗	24	Dwarf Winged Euonymus	<i>Euonymus Alatus 'Compactus'</i>	18"-24"sp.	Cont.	4o.c.
○	56	Seagreen Juniper	<i>Juniperus Chinensis 'Seagreen'</i>	18"-24"sp.	Cont.	4o.c.
*	60	Morning Light Maiden Grass	<i>Miscanthus Sinensis 'Morning Light'</i>	3 gal.	Cont.	4o.c.
○	24	Snowmound Spirea	<i>Spiraea Japonica 'Snowmound'</i>	3 gal.	Cont.	4o.c.



BUILDING 31 SOUTH ENTRANCE

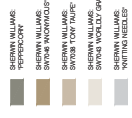


1 SOUTH ELEVATION
Scale: 1/8"=1'-0"
FDP APPROVED (03/22/16)



1 SOUTH ELEVATION
Scale: 1/16"=1'-0"
REVISED (04/29/16)

COLOR COATING LEGEND



Clear height revised from 36'-0" to 32'-0" —

96.5" PANEL ASCOT
4-CH 96" INDUSTRIAL

ALUMI-GUARD, INC.

DATE: 07/22/2013

PO/JOB NAME:

SWING: PANEL

QUOTE NO: Q13072303

HINGE TYPE: ---

COLOR: ---

DAYLIGHT OPENING: ---

APPROVAL SIGNATURE (REQUIRED):

