

EDGERTON PLANNING COMMISSION AGENDA
REGULAR SESSION
Edgerton City Hall
August 9, 2016
7:00 PM

1. Call meeting to order
2. Pledge of Allegiance
3. Roll Call
 - A. Members:

Chuck Davis, Chair	Present / Absent
Ron Conus, Vice-Chair	Present / Absent
Bob O'Neill	Present/ Absent
Maria O'Neill	Present/Absent
Andrea Lucero	Present/ Absent
Elliot Lahn	Present/Absent
Leslie Hardin	Present/Absent
Desiree Goans	Present/ Absent
4. Minutes
 - A. Consideration of Regular Session Minutes of July 12, 2016
5. Guests Present
6. Communications from Staff
7. Old Business

AMENDED FINAL SITE PLAN – FS2016-05 – cont'd from 7-12-2016

- A. Consideration of an amended Final Site Plan, FS2016-05, requesting approval of an amendment to approved Final Site Plan S-11-18-2013 pm December, 2013, for property located at 30650 West 191st Street, in Section 35, Township 14, Range 22 located approximately .2 miles east of Waverly Road on the north side of 191st Street containing 20 acres more or less. Applicant: Derek Kenneman, J.B. Hunt Transport, LLC. Engineer: Michael R. Osbourne, Kaw Valley Engineering.

Action requested: Consider motion to approve, deny, or table the amended site plan.

REMAINDER OF OLD BUSINESS WILL BE CONSIDERED FOLLOWING NEW BUSINESS ITEMS

8. New Business

PUBLIC HEARING – PRELIMINARY PLAT PP2016-03

- A. Consideration of opening a public hearing in regards to Preliminary Plat Application, PP2016-03, requesting approval of a preliminary plat for Logistics Park Kansas City Phase III, First Plat, located south of 191st Street, east of Four Corners Road, a part of the northeast quarter of Section 4, Township 15S, Range 24 East, containing approximately 105.27 acres, more or less. Owner/Applicant: Edgerton Land Holding Company, LLC. Engineer: Renaissance Infrastructure Consulting.

Action requested: Open the public hearing, receive comments, and consider motion to close or table the hearing. Consider motion to approve, deny, or table the preliminary plat.

PUBLIC HEARING – PRELIMINARY SITE PLAN PS2016-03

- B.. Consideration of opening a public hearing in regards to Preliminary Site Plan Application, PS2016-02, requesting approval of a preliminary site plan for Logistics Park Kansas City, Phase III, First Plat, located east of Waverly Road, south of 183rd Street, containing two (2) lots within the west half of the northwest quarter of Section 35, Township 14 South, Range 22 East containing approximately 105.27 acres, more or less. Owner/Applicant: Edgerton Land Holding Company, LLC. Engineer: Renaissance Infrastructure Consulting.

Action requested: Open the public hearing, receive comments, and consider motion to close or table the hearing. Consider motion to approve, deny, table the preliminary site plan.

9. Old Business - Continued

PUBLIC HEARING- Cont'd – UNIFIED DEVELOPMENT CODE AMENDMENT

- A. Consideration of a continued public hearing in regards to UDCA2015-01, Unified Development Code Amendment 01, pertaining to Article 3 in regards to use of acceptable building materials and accessory structures. Applicant: City of Edgerton.

Action requested: Consider continued hearing and consider motion to close or continue hearing.

PUBLIC HEARING- Cont'd - UNIFIED DEVELOPMENT CODE AMENDMENT

- B. Consideration of a continued public hearing in regards to UDCA2015-02, Unified Development Code Amendment 02, pertaining to fencing standards, setback, and bulk and yard requirements. Applicant: City of Edgerton.

Action requested: Consider continued hearing and consider motion close or continue hearing.

PUBLIC HEARING – Cont'd UNIFIED DEVELOPMENT CODE AMENDMENT

- C. Consideration of a public hearing in regards to UDCA2016-01, Unified Development Code Amendment 01, pertaining to Article 9 regarding building permit requirements, accessory structures, fences, and short –term special uses and events. Applicant: City of Edgerton.

Action requested: Consider hearing comments and consider motion to close or continue the hearing.

DISCUSSION – Cont'd COMMISSION REQUEST

- D. Discussion of residential/commercial use facilities (C-1 mixed use) and functions which could reside within the same facility.

Action requested: Discuss matter and determine whether or not to direct staff to continue with steps toward amendment.

10. Future Meeting – Regular meeting – September 13, 2016
11. Commissioners Comments
12. Adjournment:

EDGERTON COMMUNITY BUILDING
PLANNING COMMISSION MEETING

Regular Session

July 12, 2016

Minutes

The Edgerton Planning Commission met in regular session with Chair Davis calling the meeting to order at 7:20 p.m.

All present participated in the Pledge of Allegiance.

The Roll Call was answered, indicating those present were: Commissioners Chuck Davis, Ron Conus, Elliot Lahn, Leslie Hardin, and Desiree' Goans. Absent were: Maria O'Neill, Bob O'Neill, and Andrea Lucero. Also present were Community Development Director Kenneth Cook, City Administrator Beth Linn, City Engineer David Hamby and Recording Officer Debra Gragg.

The Recording Officer announced a quorum was present.

MINUTES

Minutes of June 14, 2016 were considered.

Motion by Conus, seconded by Hardin, to approve the minutes. Motion was approved, 5-0.

GUESTS

Charlie Troutner, Edgerton City Council, representatives from North Point, and J.B. Hunt were present.

COMMUNICATIONS

None

AMENDED FINAL SITE PLAN – FS2016-05

Amended final site plan, FS2016-05, requesting approval of an amendment to approved Final Site Plan S-11-18-2014 from December, 2013 for property located at 30650 West 191st Street, in Section 35, Township 14, Range 22 located approximately .2 miles east of Waverly Road on the north side of 191st Street containing 20 acres, more or less, was considered. Applicant: Derek Kenneman, J. B. Hunt, LLC. Engineer: Michael R. Osbourne, Kaw Valley Engineering. The Community Development Director spoke about the updated plans which include elevations, storm shelter, and covered seating. He noted staff agrees with these matters. He then reviewed the container stacking area and displayed drawings of the approved location allowing for stacking of containers, with only two high allowed on the north side adjacent to residential property. It was questioned if the original request for allowance of stacked containers is large enough to contain for on-going future years. Mr. Cook indicated the Planning Commission could allow an extension to the west, which was suggested to go approximately half-way to the west in the parking area, which the applicant agreed. Mr. Cook also noted staff requires drawings and elevations "to scale," work on building separation, and structure compliance on the container stacking.

The applicant proposed the use of shipping containers to create an enclosed storage/safety building, and indicated this would be a building within a building. Samples of proposed façade materials were distributed to the Planning Commissioners. It was noted the containers would be sided along three sides with the cargo doors remaining unfinished for access.

Mr. Lahn questioned the back-up plan for this facility if use of the containers is not allowed. J. B. Hunt representatives indicated this request would be constructed for storage and security containment of tools, adding no offices would be constructed with same material.

Mr. Troutner indicated he toured the facilities and spoke about the container quality. The applicant also indicated Burlington Northern and Santa Fe (BNSF) officials have overviewed the product, adding this design was based upon the company's uses in other intermodal sites nationwide.

In response to comments of the Planning Commissioners, the J.B. Hunt representatives acknowledged their actions, adding they take responsibility for not properly permitting for structures and indicated they want to do the right thing.

City Administrator Linn addressed this matter and concerns for safety. She addressed past requests by others for use of containers and various construction materials. Ms. Linn also addressed past exceptions in the Logistics Park (L-P) zoning area for temporary use of existing facilities and requirements for such.

Pictures of storage containers used for constructing storage facilities were displayed. Comments regarding regulations in place for L-P zoning, concerns with exceptions and precedents were discussed.

The applicant spoke about compliance with regulations and stated they would be disappointed if other entities are allowed similar exceptions. They asked for favorable consideration with this request.

Ms. Linn spoke about the use of shipping containers, indicating these were not allowed for years before the L-P zoning, adding they are a non-compliant use for building structures. It was noted other requests with proposed exterior facades were denied.

Mr. Cook addressed the use of cementitious products and the requirements for use.

The J.B. Hunt representatives spoke about the contractor for the first building indicating they did a fine job, but noted they dropped the ball on the second building. It was noted this contractor has been involved with many of the projects and this was not how they generally operate.

Staff indicated that originally with the first building, only one fire hydrant was necessary, but noted with an allowed additional building, a second hydrant would be needed. Mr. Cook cited the Fire Chief's comments regarding non-sprinkled buildings.

The applicant stated their desire is to hide the containers by enclosing and could change the entry doors for more concealment.

Commissioners Hardin and Goans were supportive of the request.

Mr. Conus asked the Community Development Director of his ideas for potential use of covered containers, which was addressed.

Commissioner Hardin left at 8:56 p.m. and returned at 8:58 p.m.

Mr. Davis stated he was supportive with a roll-up door, but indicated the rock material as presented would need to change, adding the project would need two points of access to address fire/safety emergencies.

Mr. Cook noted after staff discussion, the Planning Commission could deviate, but stated he would need to speak with the City Attorney to determine if the interpretation is valid.

Mr. Conus indicated he has concerns with approving a deviation unless the City Council makes changes.

Motion by Lahn, seconded by Conus, to approve the covered seating area, storm shelter, and weight scales, and disapprove the maintenance office and shop.

The vote on the motion: YEA: Lahn and Conus. NAY: Hardin, Goans, and Davis. Motion failed, 2-3.

Motion by Lahn, seconded by Conus, to table this matter until the City Attorney can offer an opinion determining whether or not the Planning Commission has authority to deviate. Motion was approved, 5-0.

The meeting recessed at 9:10 p.m. for comfort break.

The meeting reconvened at 9:20 p.m.

PUBLIC HEARING – PRELIMINARY PLAT PP2016-01

The public hearing, continued from June 14, 2016, for Preliminary Plat application, PP2016-01, requesting approval of a preliminary plat for Logistics Park Kansas City, Phase V located west of Waverly Road, north of Burlington Northern Santa Fe Railroad (Rail Serve) within the southeast quarter of Section 27, Township 14 South, Range 22 East containing approximately 61.996 acres, more or less, was considered. Owner/Applicant: Edgerton Land Holding Company. Engineer: Renaissance Infrastructure Consulting.

Chair Davis opened the public hearing.

Mr. Cook indicated he would address issues stemming from last month's hearing.

The first matter addressed was definition of cul-de-sac, adding the City Attorney indicated the code addressed residential zoning. Mr. Cook noted this area would have two access points and overviewed the preliminary plat. He also noted that emergency access was provided in 2010, located in agreements between the City of Edgerton, Edgerton Land Holding Company and BNSF. He also noted this matter was discussed with emergency responders, of which indicated a favorable comfort level, with a limitation of hazardous materials. The Fire Department indicated support of a requirement of hard packed gravel emergency access roadway when half of the length of the roadway is complete. It was also noted since the Fire Department responds to rural areas, the department has equipped vehicles to work in these types of situations.

Mr. Davis questioned if the cold storage would be using ammonia. Mr. Burkes, North Point, indicated that is correct and addressed the proposed suppression system, which is not yet fully complete.

Mr. Cook addressed the traffic and road design. It was noted the *Traffic Study of the Proposed Logistics Park in Johnson County, Kansas* was reviewed in addition to several other studies dealing with development of the intermodal facility, freight, and other transportation concerns. It was noted this corridor was considered from the beginning, and spoke about the partnership with the Kansas Department of Transportation in the development of Waverly Road and grade separation.

Mayor Roberts overviewed the history, indicating emergency access was an original concept from the beginning involving agreements between the City of Edgerton, Johnson County and developers in regards to adequacy of size and capacity.

Patrick Robinson, North Point, thanked the Planning Commission for spending late hours with these meetings. He spoke about this project for cold storage of protein exports which encouraged the State to make decisions with this area. It was noted protein products from many surrounding states would be transported via rail from this facility, limiting trucking transportation. He asked for approval of this request.

Motion by Hardin, seconded by Goans, to close the hearing. Motion was approved, 5-0.

Motion by Goans, seconded by Lahn, to approve the preliminary plat with the following stipulations: 1.) All Preliminary Plat requirements of the City shall be met or addressed; 2.) A hard packed gravel road will be required to be constructed no later than when the proposed 181st Street has been constructed half the distance to Four Corners Road. Such road will be required to be maintained as an emergency access road and may be required at an earlier point in time as part of the consideration of additional projects along the rail served area if it is determined that the number of employees or anticipated traffic volumes warrant the improvement; 3.) Preliminary plat be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission upon submittal and approval of a written request may grant a one-year extension on the approval of the preliminary plat; and 4.) All infrastructure requirements of the City shall be met. Motion was approved, 5-0.

FINAL SITE PLAN, FS2016-06

Final Site Plan, FS2016-06, requesting approval of a final site plan for Inland Port XL (Rail Serve), Logistics Park Kansas City Phase V, located at 13101 W 181st Street consisting of 59.882 acres, more or less, and located west of Waverly Road, north of Burlington Northern Santa Fe Railroad, was considered. Owner/Applicant: Edgerton Land Holding Company, LLC. Engineer: Mick Slutter, Renaissance Infrastructure Consulting.

Mr. Cook reminded the Commissioners the preliminary site plan for this project was tentatively approved last month pending approval of the preliminary plat, which just happened. He indicated there are a number of items to be addressed. He discussed the materials for this use and focused on the paint/exterior finish. He indicated this first phase project would be

constructed of two concrete tilt-up walls on the south and east sides with insulated metal panels on the west and north sides.

Aaron Burke and Patrick Robinson, North Point, spoke about the desire was to paint the insulated metal panela with a similar light color to make the metal façade less noticeable, but due to tenant needs and requirements, white is the only color option. It was noted since this color is baked on, it is not feasible to paint (will not cling) the panels, but use accent (almond) colors on the concrete portions. The need to mesh code with deviation for subsequent requirements was briefly discussed. Mr. Robinson asked the Planning Commission to approve this project.

Mr. Cook indicated the drawings are for full build out with Phase 2 beginning in 18 months of first phase.

Landscaping, alternative landscaping plans, and roof articulation changes were discussed.

Staff and Commissioners discussed aspects of phased –in projects from a future perspective, adding notations for stipulations may address.

Motion by Conus, seconded by Lahn, to approve the final site plan with the following stipulations: 1.) All Site Plan requirements of the City shall be met, particularly including: a.) Submittal of photometric lighting plan for Inland Port XL in conformance with UDC especially with regard to maximum foot-candles at property line; b.) Construction plans for future infrastructure be submitted and approved by the City. Any necessary permits obtained; c.) All landscaping shall be maintained in good condition and plants shall be replaced when dead; 2.) All infrastructure requirements of the City shall be met; 3.) All building permit and sign permit requirements of the City shall be met; and 4.) Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, road and other City requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein. Motion was approved, 5-0.

PUBLIC HEARING – PRELIMINARY PLAT PP2016-02

The public hearing, continued from the June 14, 2016, in regards to Preliminary Plat application PP2016-02, requesting approval of a preliminary plat for LPKC Phase VI, 1st Plat, east of Waverly Road, south of 183rd Street, containing two (2) lots within the west half of the northwest quarter of Section 35, Township 14 South, Range 22 East containing approximately 70.99 acres, more or less, was considered. Owner/Applicant: Edgerton Land Holding Company, LLC. Engineer: Renaissance Infrastructure Consulting.

Chair Davis opened the hearing.

The Community Development Director overviewed the location and uses and stated there were not many concerns noted. Mr. Cook focused primarily on comments from the City Engineer, which noted: a) no connection will be permitted onto Waverly Road from this site. Site plan currently shows three (3) connection points. b.) The south end of Montrose Street should not be

used as a private driveway connection. If future public road extension South is not desired the apron should be removed. Driveway connection should be moved further west. 3.) The Northeast driveway connection for Lot 1 should be moved further south away from the 183rd Street intersection. 4.) Spacing between driveway entrances and intersections should meet access control requirements. Coordination regarding the vacation of 183rd Street may be needed between the City of Edgerton, Johnson County Public Works, and the applicant.

David Hamby, City Engineer, stated staff can work with applicant with an agreement prior to the consideration of the final site plan.

John Thomas, North Point, spoke about the storm water study, drainage plan, and conversations to limit, not eliminate, connections onto arterial streets.

Motion by Hardin, seconded by Goans, to close the hearing. Motion was approved, 5-0.

Motion by Lahn, seconded by Goans, to approve Preliminary Plat, PP2016-02, with the following stipulations: 1.) All Preliminary Plat requirements of the City shall be met or addressed; 2.) Preliminary plat be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission upon submittal and approval of a written request may grant a one-year extension on the approval of the preliminary plat; and 3.) All infrastructure requirements of the City shall be met. Motion was approved, 5-0.

PUBLIC HEARING – PRELIMINARY SITE PLAN, PS2016-02

A public hearing, continued from June 14, 2016, in regards to Preliminary Site Plan application, PS2016-02, requesting approval of a preliminary site plan for Logistics Park Phases VII and VIII, located east of Waverly Road, south of 183rd Street, containing two (2) lots within the west half of the northwest quarter of Section 35, Township 14 South, Range 22 East containing approximately 70.99 acres, more or less. Applicant: Edgerton Land Holding Company, LLC. Engineer: Renaissance Infrastructure Consulting.

Chair Davis opened the hearing.

Mr. Cook indicated this site is the same as the previous preliminary plat. He indicated that comments are standard. He noted that Renaissance Infrastructure Consulting is developing documents to address these standard comments, so the reports may not be as intricate as the final site plans.

Mr. Cook indicated this project probably will have an alternative landscape plan.

Mr. Thomas, North Point, informed the Commissioners landscaping designs are incorporated as previously approved on another project.

Mr. Cook noted there were some concerns with setbacks on roadway between lots.

Mr. Thomas addressed changes in circulation for the setbacks and indicated he will work with staff.

Motion by Conus, seconded by Hardin, to close the hearing. Motion was approved, 5-0.

Motion by Hardin, seconded by Goans, to approve the preliminary site plan with the following stipulations: 1.) The recommendations of staff need to be incorporated into a Final Site Plan; 2.) A final Site Plan must be submitted and approved prior to commencement of uses and the property shall be developed in accordance with a Site Plan, Landscaping Plan, and Photometric Plan as required by City approval of the submitted preliminary site plan, as amended by these stipulations, and approved by the City; 3.) All Preliminary Site Plan requirements of the City noted shall be met or addressed during Final Site Plan submittal as noted; 4.) No signage is proposed with the application. Signage proposed later shall receive separate approval according to the provisions of the UDC; and 5.) All construction plans for any public infrastructure shall be prepared to City standards and approved by the City. Motion was approved, 5-0.

The Community Development Director spoke to the Commissioners regarding the next topics. He spoke about the progress and steering toward exceptions, need for review of commercial standards and overhaul. He noted staff is working with consultant George Butler & Associates to work toward this accomplishment.

Ms. Goans left at 10:23 p.m. and returned at 10:24 p.m.

Mr. Cook questioned if the Planning Commission would like to meet at an early work session prior to a scheduled meeting or meet in a special session on a Saturday morning or another Tuesday to discuss these matters.

Mr. Lahn suggested tapping into Mid America Regional Council resources.

PUBLIC HEARING – UNIFIED DEVELOPMENT CODE AMENDMENT

A public hearing, continued from June 14, 2016, in regards to UDCA2015-01, Unified Development Code Amendment 01, pertaining to Article 3 in regards to use of acceptable building materials and accessory structures was considered. Applicant: City of Edgerton. Chair Davis opened the hearing.

Motion by Hardin, seconded by Goans, to table the hearing to August 9, 2016. Motion was approved, 5-0.

PUBLIC HEARING – UNIFIED DEVELOPMENT CODE AMENDMENT

A public hearing, continued from June 14, 2016, in regards to UDCA2015-02, Unified Development Code Amendment 02, pertaining to fencing standards, setback, and bulk and yard requirements was considered. Applicant: City of Edgerton.

Chair Davis opened the hearing.

Motion by Hardin, seconded by Goans, to table the hearing to August 9, 2016. Motion was approved, 5-0.

PUBLIC HEARING – UNIFIED DEVELOPMENT CODE AMENDMENT

A public hearing in regards to UDCA2016-01, Unified Development Code Amendment 01, pertaining to Article 9 regarding building permit requirements, accessory structures, fences, and short-term special uses and permits was considered. Applicant: City of Edgerton.

Chair Davis opened the hearing.

Motion by Hardin, seconded by Goans, to table the hearing to August 9, 2016. Motion was approved, 5-0.

DISCUSSION – COMMISSION REQUEST

A discussion in regards to residential/commercial use facilities (C-1 mixed uses) and function which could reside within the same facility was considered.

Motion by Hardin, seconded by Goans, to table discussion to August 9, 2016. Motion was approved, 5-0.

OTHER COMMENTS

The City Administrator reminded all in attendance not to forget to vote at the August 2, 2016 primary election.

ADJOURNMENT

Motion by Hardin, seconded by Goans, to adjourn. The motion was approved, 5-0.

The meeting adjourned at 11:38 p.m.

Submitted by:

Debra S. Gragg
Recording Officer

STAFF REPORT

July 8, 2016

To: Edgerton Planning Commission
Fr: Kenneth A. Cook, Community Development Director
Re: Application FS2016-05 for the Amended Final Site Plan for JB Hunt Transport– Updated

APPLICATION INFORMATION

Applicant/Property Owner: JB Hunt Transport, Inc.

Requested Action: Amended Final Site Plan – JB Hunt Transport

Legal Description: Part of the Southwest Quarter of Section 35,
Township 14, Range 22

Site Address/Location: 30650 W 191st Street

Existing Zoning and Land Uses: L-P, Logistics Park, Cargo Container Storage,
Repair and Maintenance

Existing Improvements: Office, Parking lot & other accessory
improvements

Site Size: 20 Acres

UPDATED INFORMATION

The Planning Commission heard this original request at their June meeting and the item was tabled in order to allow the applicant to submit additional information to respond to comments from the Planning Commission and the Staff Report. The following report includes the original comments from the Staff Report submitted for the June meeting and new comments are highlighted in blue. As is mentioned below, a number of improvements have been made to the JB Hunt site and which were done without the necessary permits and not in compliance with the previously approved site plan. Of the improvements, some would be considered by staff as being minor improvements while some improvements give staff greater concern in regards to making sure they comply with the standards of the L-P District. The items that are more minor in nature and which staff would suggest that the information submitted could be considered as sufficient for the Planning Commission to consider granting approval for include: Covered Seating Area; Storm Shelter and the scale. The items that staff would suggest the Planning Commission give additional consideration are the Shop structure and the Maintenance Office. Both of these items are substantial changes to the Final Site Plat that was originally approved by the Planning Commission and also would require the granting of an exception.

PROJECT DESCRIPTION

Recently staff notices that a number of improvements were being made on the JB Hunt property and which did not comply with the current Final Site Plan previously approved by the Planning Commission and which no building permit applications had been submitted. Staff informed the applicant that they would need to stop proceeding with the improvements and submit the proper requests to be considered by the Planning Commission in order to amend their existing Final Site Plan and also submit the necessary documentation for review as part of a building permit application. The improvements that have been or are in the process of being constructed on site without the necessary permits and which were not included on the approved Final Site Plan include: covered seating area, storm shelter, maintenance office, truck scale and a covered shop with associated storage containers. A large "temporary sign" advertising job openings had also been placed on the property. This sign has now been removed from the property. The applicant has prepared an Amended Final Site plan that includes a number of changes from the original Final Site Plan. Upon approval by the Planning Commission, the applicants will need to submit applications for building permits for these improvements along with the associated documents needed for review. The original Final Site Plan was approved by the Planning Commission on December 10, 2013. The primary areas that have changed on the amended site plan relate to changes that have been made to the site.

STAFF ANALYSIS

Staff has reviewed the Final Site Plan submittal. The Final Site Plan is reviewed for compliance with Section 10.1 of Article 10 for Site Plan requirements. It is also reviewed for compliance with Section 5.2 Logistics Park (L-P) District regulations, Section 7.2D.2.a) for the conditional use requirements for Cargo Container Storage Facilities and Cargo Repair and Maintenance Facilities, previous staff reports and conditions placed upon the previous approvals. The combined details of that review are listed below.

Section 10.1 of Article 10 for Site Plan requirements

1. Front or cover sheet.

- a) A scale vicinity map showing the relationship of the site to surrounding neighborhoods, roads and other physical features. ***Final Site Plan complies.***
- b) A project title, zoning designation and project sponsor. A street, lot or tract address of the project. ~~*The address on the title is incorrect. City records show that the address that has been issued for the site is 30650 W 191st Street. This needs to be updated in the title and the project location. Update Title. Final Site Plan complies.*~~
- c) An index to contents, and a data table which, at a minimum, includes: Acreage of the site and number of units per acre (if applicable); gross square feet of the building(s) area; the proposed use of each building; number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load and, the total number of parking places. ~~*It would appear that the square footage of office buildings does not match the size of the two structure (main office - 36' x 30' and maintenance Office - 13' x 60'). The Storm Shelter is also considered as a structure and should be included in this calculation. An amendment was submitted for the size of the Shop building and the table has not been updated to include the new area proposed (6264 square feet). Update Final Site Plan.*~~
- d) The name of the architect, engineer, surveyor or draftsman. ***Final Site Plan complies.***

- e) The specified certificates and signature blocks. ~~Names and titles of the individuals signing the site plan should be included under the signature lines rather than located following the line.~~ Include "Kenneth A. Cook" as the Zoning administrator. **Update signature blocks.**
2. Sheet #2
 - a) A landscape plan drawn to scale, showing the site, building location, planting and seeding schedules, refuse and outdoor storage screening and boundary screening. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. *The landscape plan appears to match the existing plan that was previously considered. Some of the landscape material shown on the plan has either not been installed or appears to have died or been removed. The UDC requires that all landscaping must be maintained and replaced when needed.* **Update Landscaping on site for compliance with current landscape plan.**
 - b) A table entitled "Planting Schedule" which lists the common name, size and condition of all planting materials, together with a timetable for planting. **Final Site Plan complies.**
 3. Sheet #3
 - a) A site map with the following features.
 - i) Topography at reasonable intervals. **Final Site Plan complies.**
 - ii) Exterior lot lines with any survey pins. **Final Site Plan complies.**
 - iii) Location of buildings. ~~Buildings and improvements should be shown on each of the sheets.~~ **Update Final Site Plan. Final Site Plan complies.**
 - iv) Parking areas, paths, walks with sizes and surfaces material specifications. **Final Site Plan complies.** ~~Previous Final Site Plans have delineated areas where containers are proposed to be stacked. The current Final Site Plan does not include any information and only trailer parking stalls are shown. An updated drawing was submitted showing the approximate area of container stacking. Staff would mention that containers may only be stacked in areas designated for such purposes.~~ **Update Final Site Plan.**
 - v) Exterior lighting specifications. **Final Site Plan complies.**
 - vi) Site entrance and connections to streets. **Final Site Plan complies.**
 - vii) The location of easements. **Final Site Plan complies.**
 - viii) Connection point for utilities. **Final Site Plan complies.**
 - b) A sketch of the entry sign, and all other free-standing, façade, and building signs to be used on the premises. **Final Site Plan complies.**
 - c) Features to facilitate handicapped access. *Additional ADA spaces may be required if the building is divided into multiple tenants and the parking in the middle of the building is used for their primary entrance. The accessible parking spaces and access areas should not exceed 2% slope in any direction.* **Final Site Plan complies.**
 - d) Profile and detail for roads (if required). **No roads are included as part of this project.**
 4. Sheet #4
 - a) Scale drawing of building floor plans. ~~Building floorplans had previously been included as part of the previous Final Site Plan but have not been included in the current submittal.~~ **Update Final Site Plan.** ~~Updated Floorplans have been submitted for the~~

~~Shop building but have not been submitted for any other structures, including the main office building, which had been included in the previous set of plans. Update plans have been submitted within the final site plan document. The plans specify that they are not to scale and the Planning Commission will need to decide if this is sufficient. Update Final Site Plan. Planning Commission will need to decide of plans labeled not to scale are sufficient.~~

- b) Dimensions and use of rooms and areas. ~~Update Final Site Plan. Final Site Plan complies.~~
- c) Dimensions of entrances/exits and corridors. ~~Update Final Site Plan. Final Site Plan complies.~~
- d) Interior specifications for handicapped accessibility as required by ANSI 117.1 and this ordinance. ~~Update Final Site Plan. Final Site Plan complies.~~

5. Sheet #5

- a) Scale drawings of all building elevations. ~~The current application includes pictures of the existing structures that are located on the site but are not considered to be scale drawings. Also, while most of the structures appear 'finished' the proposed shop building is not and does not include any information in regards to the type of exterior material that is being proposed. Elevations need to be included of the proposed structure and which also describe the type of materials that are to be used. Updated elevations have been included that show the shop building. Additional information needs to be submitted for the Maintenance Office Building and which describe the material proposed to be used. As part of the Final Site Plan Packet, the elevations of the main office building should also be included. Updated elevations have been submitted. Update Final Site Plan. Planning Commission will need to decide of plans labeled not to scale are sufficient.~~
- b) Roof pitch and materials. ~~Update Final Site Plan. Final Site Plan Complies~~
- c) Siding type and materials, including fascia. ~~Update Final Site Plan. Final Site Plan Complies~~

Section 5.2 Logistics Park (L-P) District regulations

SETBACK, YARD, AND AREA REGULATIONS:

1. Building Coverage: The maximum building coverage in the L-P District is 50%. With a site size of 20 acres (871,200 square feet) and buildings containing approximately 7,000 square feet, building coverage is significantly under the maximum around 0.8%. **Final Site Plan complies.**
2. Setbacks from the street right-of-way or property line: **Final Site Plan complies.**
 - a) Front. A 50-foot minimum setback is required with an allowable reduction to 25-feet when adjacent to two-land collectors. *The Southern property line is considered to be the front property line and is currently shown as being located 95 feet from the main office building.*
 - b) Side (Typical). The minimum side setback shall be twenty-five(25) feet. The minimum side building setback for buildings adjacent to any single-family residential use shall be fifty (50) feet for buildings in excess of twenty feet in height; one hundred (100) feet for buildings in excess of forty-five (45) feet. *All structures exceed the required setback*
 - c) Side at Street (Typical). *Not Applicable.*

- d) Rear. The North side exceeds the minimum 25 feet required.
3. Maximum Building Height. While no building height is currently shown, all structures will be under the maximum height of 110 feet. ***Final Site Plan complies.***
 4. Building Separation. A minimum building separation of twenty (20) feet is required. *All buildings currently comply with this requirement. The covered shop area does have a number of containers that are located adjacent to the structure and could be considered being with 20 feet. Staff understands that these containers are proposed to be physically connected to each other and would be considered part of a single structure. Containers (off chassis) are only supposed to be stored in the areas that are designated for container storage. The current plan does not include areas designated for stacking containers and only shows trailer parking occurring on the site while the previous Final Site Plan had shown areas that were to be used for stacking and for trailer parking. The Planning Commission will need to discuss the item of the use of the containers and their relation to the building. Staff would suggest that an allowance could be made to allow for the use of unstacked containers for storage of material in this location. It should also be noted that other cargo container applicants have asked about converting of containers for office or guard shack use and the City has expressed that this is not permitted. The Planning Commission needs to discuss.*
 5. Accessory Building and Structure Regulations. Any accessory building shall have a façade similar in character with the façade of the main building, including the utilization of similar fenestration and materials. In no case shall the façade of an accessory building consist of metal where the accessory building directly faces a public street, residential use or public open space. ~~*While the applicant has not provided specific specifications as to the type of material proposed to be used for the exterior of the structure, staff understands that their desire is to use a metal exterior.*~~ *The applicant has submitted updated elevations for the shop building and which show the exterior being a similar material to the existing main office building. No updated information has been submitted for the Maintenance Office building.* While the structure is proposed to be located approximately 755 feet from the front of the property, this requirement specifies that any accessory building shall have a façade with a similar character to the main building and that any building directly facing a public street or residential use shall not consist of metal. While the two accessory structures have a significant setback from the public street, they are only located approximately 150-170 feet from a property currently being used for a residential use. The accessory structure that was approved as part of the original Final Site Plan request was to be located near the same area but was shown as having open sides. Staff understands that the types of building materials permitted for structures was discussed as part of the original request and it was expressed that metal was not considered an acceptable façade material. *Staff needs to also mention that the building material permitted to be used on the exterior of the Main Office building required the granting of an exception in order to be permitted.* The only case in which a building with a metal exterior has been allowed as part of a request has been in regards to existing buildings that were already present on the Arrowhead Intermodal Site. In this case the main building was located approximately 320 feet and the accessory structure 755 feet from the front property line. While a dwelling is located on the adjacent property the use of the property is considered to be a commercial operation of the growing of landscaping material and is used to house an employee as part of the business. While the original plan submitted by Arrowhead was to reface the existing structures with stone, the requested an amendment to allow them to keep the metal in exchange for placing a 6+ foot berm along

the frontage and adjacent to the dwelling. The berm also includes a significant amount of landscaping to provide additional screening. The applicant included renderings showing what would be visible from the public ROW once the berm and landscaping were installed. The applicant also agreed that if they would request to expand or significantly improve the existing structures, they would be brought into full compliance with the L-P District requirements for material allowed. Staff understands that the Planning Commission allowed the modification to allow the metal exteriors of these buildings as they were preexisting structures, the increased screening and the applicant's agreement that significant modifications to the structures would require compliance.

TSL has also made a request to be allowed to use a modified cargo container as their guard shack. This request was then modified to include that the container would be wrapped in a stone material to give the appearance that it was not a cargo container.

This request was not approved as the conversion of cargo containers for buildings is not currently permitted. ~~The façade of the two structures need to be updated to a~~

~~façade of similar character to the main building.~~ The applicant has provided updated elevations for the shop building and which show the exterior façade as similar to the Main Office building. ~~No updates have been submitted for the Maintenance Office building.~~ The Planning Commission will need to decide if the proposed material is appropriate. While the façade is now shown to match the façade of the main structure, the Planning Commission will also need to decide if this is sufficient as the façade on the main structure was approved by the granting of an exception and does not technically fully comply with the normal standards of the L-P District.

DISTRICT REGULATIONS:

1. A minimum of three exterior walls shall be of materials other than metal. ***The façade of the two structures need to be updated to a façade of similar character to the main building.***
2. All operations other than limited storage of motorized machinery and equipment, materials, products or equipment, shall be conducted within a fully enclosed building. *The amended application does not include any request inconsistent with this requirement. The primary function of this type of use includes the storage of containers, chassis and other equipment and was approved as part of the conditional use for the property. It is staff's opinion that the storage of containers and chassis on this property would be considered in compliance, while the storage of other materials which may be part of the operation or which might have been removed from a container would be required to comply with this requirement.* ***Final Site Plan Complies***
3. All storage of motorized machinery and equipment, materials, products or equipment shall be within a fully enclosed building, or in a storage area or yard. Said storage shall be limited to twenty percent (20%) of the ground floor area of the building or tenant space. All storage materials shall be one hundred (100) percent screened from public view, except when adjacent to another storage area, which is one hundred (100) percent screened from public view. For the purposes of this section, the phrase "screened from public view" means not visible at eye level from adjoining properties or any street right-of-way. Use of landscaping materials is encouraged in lieu of privacy fencing. All storage areas shall be paved or surfaced. *No such use is shown on the Site Plan.* ***Final Site Plan Complies.***

DESIGN GUIDELINES:

1. When more than one (1) building is planned for L-P district property, the development plan shall demonstrate integration and coordination of the architectural design for buildings, structures, and landscaping and open space. ~~The current proposal does not demonstrate integration and coordination of the design of the structures.~~ **The elevations of the Shop building that have been provided use similar materials as to what was approved for the main building. Additional information needs to be submitted for the Maintenance Office Building.** The buildings are currently shown to match each other in the type of material used for their exterior. **The Planning Commission will need to determine if further exceptions should be granted for this site.**
2. Buildings should be oriented so that the front or side of the building faces the public street frontage of the property. The City may consider an exception to orient a rear elevation towards a public street for unique situations due to the configuration of the lot. **Final Site Plan Complies.**
3. The City may require that loading and service areas are screened from public view with landscaping, berming, facade walls, or fencing. ~~The current request would appear to comply as the open side of the structure would face away from the public ROW.~~ **Final Site Plan Complies.**
4. When development is proposed adjacent to any existing residential development, site plan approval, including building elevations, landscaping, and screening shall be approved by the City. ~~No significant changes are proposed to the site plan which has been previously approved other than the additional of the proposed structures. While staff would suggest that no changes to the landscaping & screening are necessary required due to the request, it would appear that the elevations need to be updated.~~ **While an updated elevation of the shop building has been submitted, additional elevations of the Maintenance Office building need to be included. Update Final Site Plan. Planning Commission needs to determine if exception is granted, should additional landscaping be required in front of structures.**
5. Pedestrian access within a development and adjacent public and private property shall be considered as a component to the design of an employment center. ~~No changes are being proposed for pedestrian access.~~ **Final Site Plan Complies.**

ARCHITECTURAL DESIGN STANDARDS

~~Building elevations were not included with the plans other than pictures of the structures as they currently exist. Additional details need to be provided as part of the Final Site Plan.~~

1. Building Massing and Scale. A building's massing is defined as its exterior volume. The height, width and depth of a structure create the overall massing of a building. A building's scale is the relationship of its overall size and its component parts with its adjoining spaces and buildings. **Final Site Plan complies.**
2. Large expanses of blank walls of any material or metal siding are not allowed. Building facades over one hundred feet (100') long facing public right of way or residential property shall break up massing of buildings by dividing building façade into smaller components with a minimum of three (3) of the following elements:
 - a. articulating details around doors, windows, balconies, plate lines, providing details such as "belly-bands," recessed design elements, interesting cornice treatment details, exposed expansion joints, reveals, change in texture, or other such methods of visual relief;

- b. Avoiding long, repetitive, monotonous facades – particularly those that repeat the same design element several times along the same elevation
- c. Use of darker building color and varied wall treatments
- d. Varying roof lines (see Vertical Articulation section)
- e. Change of wall plane (see Horizontal Articulation section)

None of the building proposed as part of this request are considered to have large expanses of blank walls. ~~This section specifically states that metal siding is not allowed.~~

~~Update Final Site Plan. Final Site Plan Complies.~~

3. Building Materials. One hundred percent (100%) of the surface of each exterior wall (excluding doors and windows) facing a public street, residential use or public open space shall consist of materials including but not limited to stone, brick, glass block, tile, cast metal, cast or cultured stone, concrete (tilt-up walls), glass, or a combination of these materials. The Use of other cementitious products (e.g. stucco, Hardy Plank, or other similar materials) shall be limited to fifty percent (50%) of the buildings' exterior finishes where it is deemed important as a design feature and where it will be applied under the highest standards for quality and durability. However, stucco may not be located in the first eight feet (8') above grade on a façade visible from a public right-of-way or public area. While the storm shelter does not consist of tilt-up concrete walls, staff would suggest that it could be considered in compliance due to the unique requirements of the design of its use. ~~The Maintenance Office and Shop do not comply with these requirements. The covered seating area does not include any walls. While it has a metal roof, staff would suggest that material is acceptable for the roof of a very small structure. Elevations have been submitted for the Shop building but not for the Maintenance Office. While the materials proposed to be used match the materials of the main building, they do not fully comply with this section (Please see the additional wording from the L-P District added above). As has also been mentioned above, the existing office building does not even fully comply with optional standard and required the Planning Commission to approve an additional exception to allow a further reduction in this standard. While the applicant is showing a material that matches the existing structure, the Planning Commission will need to discuss if this should be permitted as the material on the existing structure required approval of an exception and if this exception should be extended to include additional structures.~~ **~~Update Final Site Plan.~~**

4. Façade Guidelines

- a. Horizontal Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the wall's height without having an off-set of ten percent (10%) of the wall's height (maximum of five (5) feet); the new plane shall extend for a distance equal to a minimum of twenty percent (20%) of the maximum length of the first plane. The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. Walls not facing a public right-of-way or a residentially zoned property and walls with loading dock doors are exempt from the horizontal articulation requirement. ~~As elevation drawings have not been provided, it is difficult for staff to make an official determination on this. In reviewing the pictures that have been provided, it would appear that the width of the structure is significantly less than four times the height of the wall and so articulation would not be required. Additional drawings are still needed for the Maintenance Office.~~ **~~Update Final Site Plan. Final Site Plan Complies.~~**

- b. Vertical Articulation. Walls facing a public right-of-way or a residentially zoned property shall not extend for a distance greater than four (4) times the height of the wall without changing height by a minimum of ten percent (10%) of the wall's height (maximum of five (5) feet). The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. *As elevation drawings have not been provided, it is difficult for staff to make an official determination on this. In reviewing the pictures that have been provided, it would appear that the width of the structure is significantly less than four times the height of the wall and so articulation would not be required. Additional drawings are still needed for the Maintenance Office. Update Final Site Plan. Final Site Plan Complies.*
- c. Screening of Rooftop Equipment. For buildings within the L-P District, all rooftop mounted mechanical, air conditioning, electrical, and satellite dish equipment shall not be visible. Rooftop equipment shall be screened from ground and street level view with parapets or other architectural design features constructed of the same materials used on the exterior walls. *Rooftop equipment is not shown on the proposed building elevations and is not anticipated. If rooftop equipment visible from the ground and street level is planned, parapets to conceal it from the ground and the streets shall be required prior to building permit approval.*
- d. Color Palette. Earth tones, muted hues, and natural tones are permitted as structures' basic colors. Brighter hues are permitted only as an accent color on building elements such as awnings, doors, and trim. A mixed color palette on a single building should be carefully selected so all colors harmonize with each other. *No information has been provided in regards to the proposed color of the structures (maintenance office, shop or storm shelter). Staff understands that the applicant's intent is to match the colors of the existing structure. It is not known if the proposal will meet the required accent color requirement. Update Final Site Plan*

Accent colors should be applied using the following guidelines:

	Required	Allowed
1 st Accent Color	10%	20%
2 nd Accent Color	0%	10%
3 rd Accent Color	0%	10%

*Percentage calculations shall utilize the entire façade area.

PARKING AND LOADING

No significant changes are shown in regards to Parking and Loading requirements from the original final site plan approved by the Planning Commission. The modifications that are being made include that 14 trailer storage places will be removed due to the construction of the shop and office buildings. An additional 8 truck parking spaces are also removed due to construction of the scale and storm shelter. These changes do not affect the properties compliance with parking and loading requirements and therefor discussion of this section is not included in this report.

PHOTOMETRICS –

No changes have been submitted to the photometric plan.

LANDSCAPE STANDARDS

No changes have been submitted to the landscape plan. Staff would mention that some landscaping material that is currently shown on the landscape plan has been removed or died. The L-P District requires that all landscaping be maintained and replaced when necessary. The Planning Commission could also determine that the requests should require updates to the landscaping or screening due to concerns in regards to the new request. Additional landscaping could include the use of trees or shrubs to provide some screening of the buildings, especially if an exception is granted to allow for materials that are not normally permitted on structures located within the L-P District.

SIGNAGE

No new signage is requested as part of the current request. As stated at the beginning of the report, the applicant has removed the temporary sign advertising jobs previously located at the front of the property.

DIESEL EMISSION REQUIREMENTS

The following requirements were in effect when the request was originally approved and are still requirements of the L-P District. A number of these requirements are more performance and operational items that all properties located within the L-P District are required to comply with and should be reviewed by the property owner to make sure they are in compliance. Following are the diesel emission requirements:

1. Except for loading and unloading operations, heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds shall be restricted from idling on-site for no more than 5 minutes in any 60 minute period. For loading and unloading operations, idling shall be restricted to no more than 30 minutes in any 60 minute period.
2. One electrical hook-up shall be provided for "trucker plug-ins" equal to a minimum of one-third (1/3) of the total number of truck bays at the facility to eliminate excessive idling by heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds. Approval to use alternative technologies to eliminate excessive idling may be requested, but shall not be approved unless the applicant demonstrates that they are at least as effective as electrical hook-ups.
3. Signs shall be posted by owner(s) of the facility at each vehicle entrance to the facility notifying drivers of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds to turn off engines when not in use.
4. The operation and idling of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds, including circulation, shall be restricted within 300 feet of any property zoned for or committed to residential use, or the owner/developer shall provide alternative measures including the possible installation of a wall or other mitigating measures to assure buffering of residences from heavy-duty truck operations, unless the owners of property located adjacent to said heavy duty diesel truck operations consent and agree, in writing to:
 - a. Allow the location of heavy-duty diesel truck operations within 300 feet of their property zoned for and committed to residential use, and
 - b. Restrict areas of their property located within 300 feet of adjacent trucking operations to only non-residential uses;

5. Warehouse managers and employees shall be trained by the employer(s) or operator(s) of the facility to use efficient scheduling and load management to eliminate unnecessary operation, queuing, or idling of heavy duty diesel vehicles with a gross vehicle weight of over 14,001 pounds.
6. Warehouse managers and employees shall be provided by the employer(s) or operator(s) of the facility with information about the possible effects of diesel emissions on their own health and the importance of being a good neighbor by minimizing idling and avoiding other potentially adverse impacts on adjacent or nearby residences;
7. On-site services shall be made available to vehicle drivers to reduce idling. These services may include restroom facilities, seating for drivers waiting for their cargo to be loaded or unloaded, and/or food/beverage vending machines.
8. Any motorized equipment used within the proposed development should utilize clean technology propulsion and/or alternative fuels such as biodiesel, electricity, or propane;
9. If fuel dispensing facilities are provided on-site, alternative clean fuels such as (but not limited to) bio-diesel blended fuel should be provided at these dispensing facilities.

Other Comments

1. The applicant has recently contacted staff to propose some minor changes to drainage around the proposed shop area. The applicant is in discussions with the City Engineer to verify if the modifications will affect the existing drainage plan. Staff suggests that these changes could be approved contingent upon approval by the City Engineer and updates made to the Final Site Plan.
2. A complaint has been discussed with City staff in regards to erosion that is occurring off the rear of the subject property. The applicant needs to address this item and determine if modifications or improvements need to be made to deal with this problem. The applicant responded at the last public hearing that they would take care of these issues. Staff would suggest that any approval include the requirement that the applicant work with the City to determine any changes needed to address these concerns and to be incorporated into the Final Site Plan drawings.
3. The Site Plan application submitted only shows trailer parking stalls and does not include information showing where the storage/stacking of cargo containers occurs. The site plan needs to be updated to include this information. The original plan that staff has on file shows the North portion of the rear of the lot as being primarily for "Container Storage". It would be possible to add some type of delineation on the plan showing that this portion of the site is where container storage (stacking) is permitted. We have also typically required a site plan to include the requirements specified in the conditional use section that apply to the subject property. For this property these would include that includes that: (1) when abutting or across the street from non-residentially zoned property all cargo containers, trailers and chassis (racked and stacked) must be setback a distance equal to the height; (2) When abutting or across the street from a residential zoned property, such parking and storage shall be setback a minimum of 250 feet from the nearest property line; and (3) at least 300 feet from the nearest dwelling.
4. The Fire District has reviewed the plans and made the comment that fire hydrants will need to be installed as part of this request to place buildings at the back of the property. The applicant responded that during the original hearing they were allowed to not include additional fire hydrants and have included a letter prepared by Kaw Valley Engineering to Water District #7 which specifies that there is no longer a

requirement for a fire line. Staff has been unable to find any comments from the city in which this was specified but was able to find a comment listed in the notes of the Progress Meeting held on July 17, 2014. A number of individuals from JB Hunt were in attendance at this meeting including Jerry Ellington, Darrin Miller and Matt Peterson. Also in attendance at the meeting were Michael Osborn, Jim Anderson (Kaw Valley Engineering) and also representatives of the City of Edgerton, Fire District #1 and Water District #7. A note during the "Open Discussion" portion of the agenda includes that "Discussed that public hydrant on South side of 191 would be sufficient for building. If another structure was placed at the back of the lot then another fire line would be needed". This information was confirmed in discussions with Division Chief Jerry Holly, in that a representative from the Fire District did specify that the fire line was not required to be constructed at that time as the only structure proposed to be constructed was at the front of the site. It was his understanding that this allowance was only permitted until structures were constructed at the rear of the site. Another point that was made by Division Chief Holly is that any fire incident occurring on this property would currently require 191st Street to be shut down to all traffic as the nearest hydrant is located on the South Side of the street. The proposed structures are located more than 850 feet from this hydrant and would require the closing/crossing of the street and a significant length of hose to be placed through the parking lot in order to access the rear of the property. In measuring the spacing of a number of hydrants that have been placed on site for the warehouses located to the South, the spacing between hydrants appears to typically be between 250 and 450 feet. The Warehouse structures are also required to have fire suppression systems installed as part of their construction.

Chief Holly has specified that IFC Section 507 specifies that "an approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction." Furthermore, the requirements for buildings that are not sprinkled are for a hydrant spacing of no more than 400 feet apart. Staff suggests that these are items that are not designed to be waived or for the granting of an exception through the Final Site Plan process.

5. An item that was discussed at the last Public Hearing included that the Maintenance Office building had always been planned to be constructed at the same time as the front office building. Staff has performed research on this item and has found the following items. The permit application was submitted by ModSpace on January 28, 2015 and the plans submitted only included the Main Office Structure. All correspondence that has been found only includes comments and information in regards to the construction of the main office building or in regards to 'the modular building'. The issue of a second service drop for the rear of the property was discussed in an e-mail from Beth Linn, City Administrator on November 3, 2014 as an issue that needed to be resolved. The City received a response back in regards to this e-mail on December 5, 2014 from Jerry Ellington, Maintenance Manager with JB Hunt and which specified "in response to the 'extra service drop', this is a reference to the empty conduit we ran for the future modular building utility service". While this future modular building was mentioned in this e-mail, no information was included on the

approved Final Site Plan and would have required approval of an amendment prior to being able to construct.

The Shop building that was approved on the previous Final Site Plan also specifically specified that it was to be an 80' x 40' covered shop with open sides. The building which is currently under construction and which is part of this request (5544 square feet) is also 73% larger than the original proposal (3200 square feet). Staff would like to note that the approval of the previous site plan was approved with the following condition which was required to also be placed on the cover sheet of the Final Site Plan: "The site plan, a scale map of proposed buildings, structures, parking areas, easement, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument."

RECOMMENDATION

Staff would recommend that in regards to the items shown on the Final Site Plan for the covered seating area, storm shelter and scale, that the Planning Commission consider approval of these portions of the request. Staff cannot recommend approval of the currently proposed Maintenance Office (modular) or Shop building as they do not meet the standards of the L-P District. While the applicant has submitted an updated request which includes the placement of material that is similar to that which was used on the main office building, the original use of this material for the office building required the Planning Commission to grant an exception beyond that which is normally allowed within the district. While staff understands that the applicant has expended a large amount of money in regards to these proposed improvements, these issues would have been noted if any applications had been submitted prior to the start of the improvements. In the subject case, the applicant started the construction of a structure and moved an additional structure onto the site which did not comply with the approved Final Site Plan, of which they had submitted for approval and agreed to be held in compliance with. Further, the applicants did not submit an application for a building permit nor did they request inspections for any portions of the structures which have been constructed on the site. Further, it has been the policy of the City of Edgerton that cargo containers are not considered an appropriate building material and previous request to integrate them into the design of structures have been denied. The City's intent with the L-P District and the design guidelines which have been adopted is to insure that the development is constructed and maintain to a high standard. This has been done not only to allow the park to be esthetically pleasing, even though it is an industrial area, but to also protect the investment that is made by other property owners within the Logistics Park.

Staff would suggest that if the applicant is willing to submit updated information to show the structures being constructed with the types of material and standards listed in Section 5.2J.3 that these items would be considered. Staff would also suggest that an improvement that is similar to the maintenance structure that was previously approved could still be considered and included in the Final Site Plan request. If the applicant does not intend to address these items staff would recommend that the request be denied. The Planning Commission does still have the authority to grant exceptions to building material requirements on a case by case basis.

If the Planning Commission would decide to approve the request with conditions, staff would suggest the following at a minimum.

1. All Site Plan requirements of the City shall be met as listed above, particularly including:
 - a. Construction plans for future public infrastructure be submitted and approved by the City or Water District 7. Any necessary permits obtained.
 - b. All landscaping shall be maintained in good condition and plants shall be replaced when dead.
2. All infrastructure requirements of the City shall be met.
3. All building permit and sign permit requirements of the City shall be met.
4. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

ATTACHMENT

Final Site Plan Application No. FS2016-05

Final Site Plans J.B. Hunt Transport





KAW VALLEY ENGINEERING, INC.

Office: 913.894.5150

Fax: 913.894.5977

Web: www.kveng.com

Address: 14700 West 114th Terrace
Lenexa, KS 66215

July 8, 2016

C13D7401

Mr. Kenneth Cook
City of Edgerton
404 East Nelson
Edgerton, Kansas 66021

**RE: J.B. HUNT FACILITY – 30650 WEST 191ST STREET
FS2016-05 SITE PLAN REVISION SUBMISSION**

Dear Mr. Cook:

Please find Responses to Comments from your Staff Report dated June 9, 2016 for the referenced project.

- 1b. The address has been updated to 30650 W 191st Street.
- 1c. The square footage of the office buildings has been revised to match the dimensions in the drawing. The storm shelter has also been added to the calculations.
- 1e. The signature blocks have been updated with names and positions below the signature line.
- 2a. The landscape plan has been revised to include a note stating “Update Site Landscaping to Match Plan.”
- 3a.iii. All buildings are shown on the site and landscaping drawings.
- 4a. Dimensioned floor plans are shown for the modular buildings on Sheet C401 and metal shop area on Sheet C400.
- 4b. Room dimensions are shown on Sheets C400 and C401.
- 4c. Dimensions of entrances/exits and corridors are shown on Sheets C400 and C401.
- 4d. Bathrooms, entrances, and corridors are designed for handicapped accessibility, and are shown on Sheets C400 and C401.
- 5a. General building elevations are displayed upon Sheets C400 and C401.
- 5b. Roof pitches of the modular office buildings are generally 2% with metal mansard. The metal shop building shall have a roof pitch of 1:4 as indicated on Sheet C400.
- 5c. General siding type and materials are displayed on Sheets C400 and C401.

Other Comments

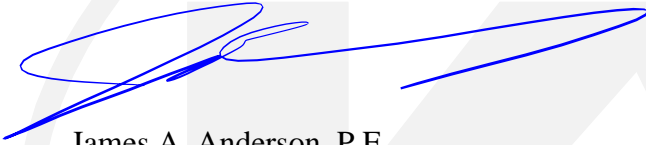
- The facades of the metal shop building/storage containers and modular maintenance office have been revised to include a Nichiha “Kurastone Stackedstone” Stone Panels in a desert color to match the existing office building. The metal shop building will also have LP Smartside Stucco Panels to eliminate the appearance of metal siding. Both the metal shop building and modular maintenance office will be painted to match the existing office

building.

- A cutoff ditch will be dug along the northern side of the property to divert all stormwater runoff to the detention basin east of the pavement. The ditch will include a small earthen berm to further prevent water from flowing overland to the northern side of the property. The ditch and berm will be lined with reinforced turf.
- The approximate location of the stacked containers is identified on Sheet C300.
- The site was originally designed to include a fire hydrant, but during a meeting on site with Water District No. 7, the fire department, contractor, and owner, we were informed that the location of the addition of a hydrant directly across the street from the site would provide sufficient coverage. I can provide you with the various revisions of the site Utility Plan showing the removal of the on-site hydrant as design of the water line progressed.

If you have any questions, please do not hesitate to contact me at (913) 894-5150. Thank you.

Respectfully submitted,
Kaw Valley Engineering, Inc.

A handwritten signature in blue ink, appearing to read 'James A. Anderson', is written over a large, faint, stylized 'KVE' logo in the background.

James A. Anderson, P.E.
Project Manager


☐ PRELIMINARY SITE PLAN

☒ ^{Amended} FINAL SITE PLAN

 NAME OF PROPOSED SUBDIVISION: J. B. Hunt Transport, Inc.

 LOCATION OR ADDRESS OF SUBJECT PROPERTY: 30700 West 191st Street

 LEGAL DESCRIPTION: Tract 1 of 1/4 of SW 1/4 of Section 35 T14 South Range 22 E of the 6th principal meridian in Johnson County. Tract 2 all of N 1/2 of the W 1/2 of the SE Quarter of Section 35 T14, range 22 Johns County

 CURRENT ZONING ON SUBJECT PROPERTY: _____ CURRENT LAND USE: Industrial

 TOTAL AREA: 20 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: _____ Sq. Ft.

 DEVELOPER'S NAME(S): J. B. Hunt Transport, Inc. PHONE: 479-659-6970

 COMPANY: J. B. Hunt Transport, Inc. FAX: 479-820-5282

 MAILING ADDRESS: 705 A North Bloomington Lowell AR 72745

Street City State Zip

 PROPERTY OWNER'S NAME(S): J. B. Hunt Transport, Inc. PHONE: 479-659-6970

 COMPANY: J. B. Hunt Transport, Inc. FAX: 479-820-5282

 MAILING ADDRESS: 705 A North Bloomington Lowell AR 72745

Street City State Zip

 ENGINEER'S NAME(S): Michael R. Osbourn, PE PHONE: 913-894-5150

 COMPANY: Kaw Valley Engineering, Inc

FAX: _____

 MAILING ADDRESS: 14700 West 114th Terrace Lexa, KS 66215

Street City State Zip

 SIGNATURE OF OWNER OR AGENT: *Duke Henner* *VP of Maintenance & Properties*

If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

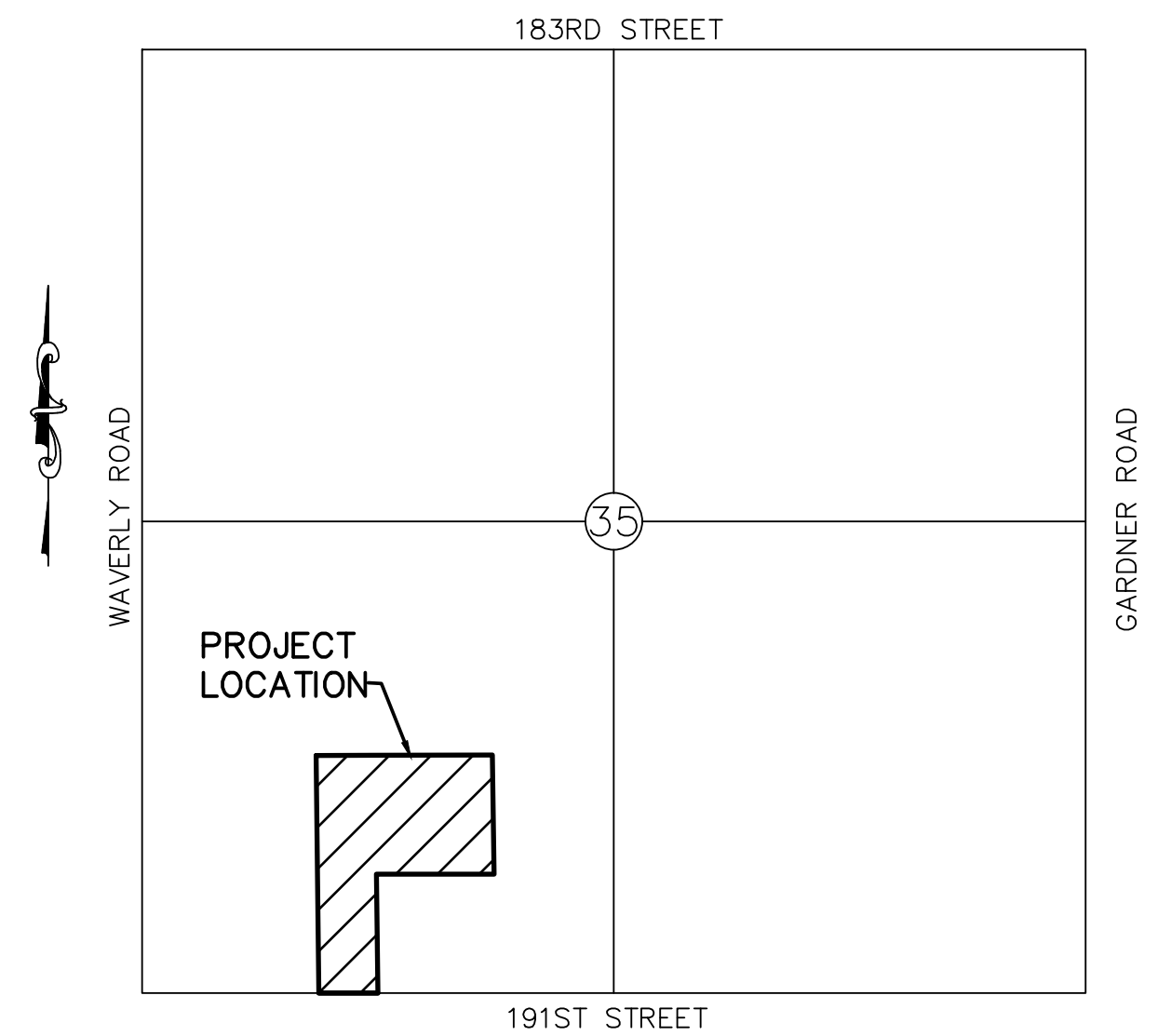
 Case No.: KS-2016-05 Amount of Fee Paid: \$ 400.00 Date Fee Paid: 6/14/16 Receipt # 41637

 Received By: *K. Cook/dsg* Date of Hearing: *N/A*
SITE PLAN INSTRUCTIONS
SUBMITTAL DEADLINE: The applicant shall submit an application at least thirty (30) working days prior to a scheduled meeting.

NOTICE REQUIREMENTS: The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.

vs. 9-9-11

J.B. HUNT TRANSPORT
30650 W 191ST STREET



VICINITY MAP
SEC 35, TWP 14S, RNG 22E
SCALE: 1"=1000'

ZONING:

LP – LOGISTIC PARK DISTRICT

DEVELOPER:

J.B. HUNT TRANSPORT
705 NORTH BLOOMINGTON
LOWEL, ARKANSAS 72745
ATTN: LYNN BOYD
(429) 659-6910

PROJECT LOCATION:

30650 W 191ST STREET

DESCRIPTION:

LOT 1 OF JB HUNT CONTAINER STORAGE
FACILITY, A SUBDIVISION IN THE CITY OF
GARDNER, JOHNSON COUNTY, KANSAS.

ENGINEER:

ENGINEER:
KAW VALLEY ENGINEERING, INC.
14700 W. 114TH TERR.
LENEXA, KS 66215
ATT: JAMES A. ANDERSON, P.E.
913-894-5150

Sheet List Table

C100 TITLE SHEET
C200 BMP AND LANDSCAPE PLAN
C300 SITE PLAN
C301 SITE LIGHTING PLAN
C302 ELECTRICAL DETAILS AND SCHEDULES
C400 BUILDING FLOOR PLAN AND ELEVATIONS

SITE DATA TABLE:

SITE ACREAGE	20 ACRES
UNITS PER ACRE	N/A
GROSS BUILDING SQUARE FOOTAGE	2,880 SF – OFFICES 4,452 SF – COVERED/OPEN SIDE SHOP 120 SF – STORM SHELTER
INTERNATIONAL BUILDING CODE OCCUPANCY DESIGN LOAD	21
NUMBER OF EMPLOYEES	10
NUMBER OF PARKING SPACES	16

CERTIFICATE:

RECEIVED AND PLACED ON RECORD THIS _____ DAY OF _____, 2016 BY _____


(ZONING ADMINISTRATION)

APPROVED BY THE EDGERTON CITY PLANNING COMMISSION THIS _____ DAY OF _____, 2016 BY _____

CHUCK DAVIS, PLANNING COMMISSION CHAIRMAN

I CERTIFY THAT I HAVE REVIEWED THIS SITE PLAN AND WILL COMPLY WITH ALL SPECIFICATIONS, CHANGES, AND AMENDMENTS HEREIN, AND THAT THIS INSTRUMENT CREATES A LEAGALLY ENFORCABLE OBLIGATION TO BUILD AND DEVELOP IN ACCORDANCE WITH ALL FINAL AGREEMENT.

APPLICANT SUIGNATURE _____ DATE _____

<div>K&V VALLEY ENGINEERING, INC. CONSULTING ENGINEERS – LAND SURVEYORS 1000 N. W. 11TH AVE. LENEXA, KANSAS 66215 PH. (913) 894-5150 FAX (913) 894-5977 k&veng.com www.k&veng.com</div> <div>JAMES A. ANDERSON ENGINEER KS # 20879</div> <div>KANSAS CITY, KS KANSAS CITY, MO K&V VALLEY ENGINEERING, INC. AUTHORIZED OFFER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/14</div>							
<div>J.B. HUNT CARGO CONTAINER STORAGE FACILITY 30200 W 191ST STREET JOHNSON COUNTY, KANSAS</div> <div>PROJ. NO. DESIGNER DRAWN BY CFN 7104 PDP SHEET C100</div>		C13D - 7401		JAA			
		FRK REV		6			
SITE PLAN TITLE SHEET							
		REV	DATE	DESCRIPTION	DSN	DWN	CHK
		6	7/08/16	REVISED PER CITY COMMENTS			JAA
		4	8/01/14	REVISED PER CITY COMMENTS			JAA
		3	7/30/14	REVISED PER CITY COMMENTS			JAA
		2	7/21/14	REVISED PER CITY COMMENTS			MRO
		1	11/20/13	APPLICATION SUBMITTAL CITY OF EDGEMONT			MRO



WETLAND PLANTINGS IN DETENTION BASIN TO RECEIVE ANNUAL RYE NURSE CROP AT THE RATE OF 2 LBS. PER 1,000 S.F.
NATIVE GRASS & WILDFLOWER SEED MIX LISTED IN TABLE BELOW.

1. LOCATE ALL UTILITIES BEFORE LANDSCAPE CONSTRUCTION BEGINS.
2. NOTIFY OWNER REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES.
3. ALL EXTERIOR GROUND WITHIN THE LIMITS OF THE CONTRACT, EXCEPT FOR SURFACES OCCUPIED BY BUILDINGS, STRUCTURES, PAVING, AND AS DIRECTED ON THE DRAWINGS AS UNDISTURBED, SHALL BE FILLED WITH SIX INCHES (6") OF TOPSOIL.
4. ALL DISTURBED AREAS NOT DESIGNATED FOR OTHER PLANTING SHALL BE SODDED.
5. WEED MAT SHALL BE USED UNDER ALL PLANTING AREAS NOT TO BE SEEDD OR AS DIRECTED ON THE DRAWINGS. THE MAT SHALL BE COVERED WITH MULCH SECURED IN-PLACE BY SOIL ANCHORS.
6. CONSULT THE PLANT LIST ON THIS DRAWING FOR TYPE, SIZE, VARIETY AND SPACING OF PLANT MATERIAL.
7. SHREDDED HARDWOOD MULCH SHALL BE USED AS THREE INCH(3") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).
8. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME-RELEASE FERTILIZER(3-4 SLOW-RELEASE TABLETS/PELLETS).
9. STAKE ALL TREES. IF LEANING OCCURS WITHIN ONE YEAR, TREES SHALL BE RE-STAKED (SEE PLANTING DETAILS).
10. ALL TREES TO RECEIVE ONE "GATOR" BAG FOR WATERING DURING ESTABLISHMENT.
11. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING IRRIGATION HEAD AND PIPING LAYOUT FOR APPROVAL.
12. ALL LANDSCAPING AND IRRIGATION TO CONFORM TO LOCAL CODES AND REGULATIONS. SUCH LOCAL CODES AND REGULATIONS SHALL GOVERN SHOULD ANY DISCREPANCIES OCCUR REGARDING PLANT MATERIALS.
13. CONTRACTOR SHALL STAKE ALL PLANT MATERIALS PRIOR TO INSTALLATION FOR THE PURPOSE OF DETERMINING CONFLICTS. NO PLANTS CAN BE PLANTED DIRECTLY ON ROCK/UTILITIES, ETC. CONTRACTOR WILL BE REQUIRED TO ADJUST PLANT LOCATIONS AT NO ADDITIONAL COST.
14. REFER TO LOCAL CONSTRUCTION SPECIFICATIONS FOR NATIVE GRASS PLANTING REQUIREMENTS.
15. APPLY CLEAN STRAW MULCH TO ALL NATIVE GRASS/WILDFLOWER SEEDD AND PLUGGED AREAS. CRIMP INTO SOIL.
16. TREES ARE PLANTED 50' ON CENTER AND BUSHES ARE PLANTED 4' ON CENTER.

1. Owner will use selective herbicides during the first three years to control unwanted species. Care must be taken to comply with manufacturers labels to prevent accidental injury to desirable species. Herbicides should be applied with a backpack sprayer or hand held wick applicator to minimize accidental overspray and potential run-off of herbicide.
2. Mowing and string trimming will be the recommended method for controlling undesirable weeds. When weeds reach a height of 12", mow at 6". Mow as needed or a minimum of 3 times during the first growing season. Care must be taken to reduce thatch build up which may hinder Native/Wildflower growth. Remove clippings if heavy or if clippings contain weed seed. Care must be taken to remove undesirable weeds around Native Trees and Shrubs with string trimmer so as not to touch any part of tree or shrub. Some weeds may need to be trimmed by hand to prevent damage. Do not pull weeds as this may damage the root system of developing Natives.
3. Erosion and/or silt build up shall be monitored monthly and after large rain events. Gullies/wash-outs shall be filled with material similar to Native/Wildflower growing medium. Silt build-up shall be removed from the site. Care should be taken to minimize disturbance of the established native species. Re-seed/plug disturbed areas using of the same plant material as in the original installation. Modifications may be made to tailor the plant varieties in response to the specific micro-climatic conditions of the area.
4. Care should be taken by crews maintaining the turf grass adjacent to the Native/Wildflower areas to not disturb, the native plantings. Turf grass mowing shall be conducted in a manner in which the discharge of the turf grass mowers is away from the native plantings.
5. Watering during establishment will be on an as needed basis. Watering shall replenish root zone moisture to a depth of 6". Frequency of watering will be once per week unless natural rain has occurred. Apply approximately 1" of water per week. Micro-climatic conditions of site and rate of establishment/repair may dictate more frequent watering. Over watering should be avoided as it will promote growth of undesirable species.

1. It is assumed that Natives will be established before or during Year 3. Actual growth conditions may require maintenance practices outlined in Establishment above, for an additional year.
2. Owner will only use selective herbicides to control noxious or persistent weeds. The primary method of controlling weeds after establishment is burning or mowing.



NTS

JAMES A. ANDERSON
ENGINEER
KS # 20879

J.J.B. HUNT CARGO CONTAINER STORAGE FACILITY
30200 W 191ST STREET
JOHNSON COUNTY, KANSAS

SITE PLAN
BMP AND LANDSCAPE PLAN

PROJ. NO.		C13D_7401	
DESIGNER		MRO	
DRAWN BY		FRK	
CFN	7104 PDP	REV	
SHEET		5	
C200			



(IN FEET)
inch = 60 ft.

TIME SWITCH SCHEDULE										
SWITCH DESIGNATION	LOAD			SWITCH						
	EQUIPMENT SERVED	WATTS	VOLTS	MANUFACTURER	MODEL #	TYPE	AMP	POLE	ENCLOSURE	ACCESSORIES
"TS-1"	"LC-1"	-	120	INTERMATIC	ET110SC	SPST	30	1	NEMA 1	-
"TS-2"	"LC-2"	-	120	INTERMATIC	ET110SCPD02	SPST	30	1	NEMA 3R	WFB

ABBREVIATIONS:
 SPST - SINGLE POLE SINGLE THROW
 WFB - MOUNT ON WEATHERPROOF BOX

LIGHTING CONTACTOR SCHEDULE										
CONTACTOR DESIGNATION	LOAD			SWITCH					INTERLOCK	
	ASSOCIATED PANEL	MAX AMPS	VOLTS	TYPE	AMP	POLE	ENCLOSURE	ACCESSORIES	CONTROLLED BY	CONTROLS
"LC-1"	SL-1	30	240	NOEH	30	(1G) - 2 POLE	NEMA 1	-	"TS-1", "PG-1"	-
"LC-2"	SL-1	30	240	NOEH	30	(1G) - 2 POLE	NEMA 3R	-	"TS-2", "PG-2"	-
ABBREVIATIONS: NOEH - NORMALLY CLOSED ELECTRIC HELD NOMEH - NORMALLY CLOSED MECHANICAL HELD NOEH - NORMALLY OPEN ELECTRIC HELD NOMEH - NORMALLY OPEN MECHANICAL HELD EMS - ENERGY MANAGEMENT SYSTEM										

PHOTOCELL SCHEDULE										
PHOTOCELL DESIGNATION	LOAD			SWITCH						
	EQUIPMENT SERVED	WATTS	VOLTS	MANUFACTURER	MODEL #	TYPE	AMP	POLE	ENCLOSURE	ACCESSORIES
"PC-1"	"LC-1"	-	120	INTERMATIC	K4123C	SPST	15	1	NEMA 3R	-
"PC-2"	"LC-2"	-	120	INTERMATIC	K4123C	SPST	15	1	NEMA 3R	-

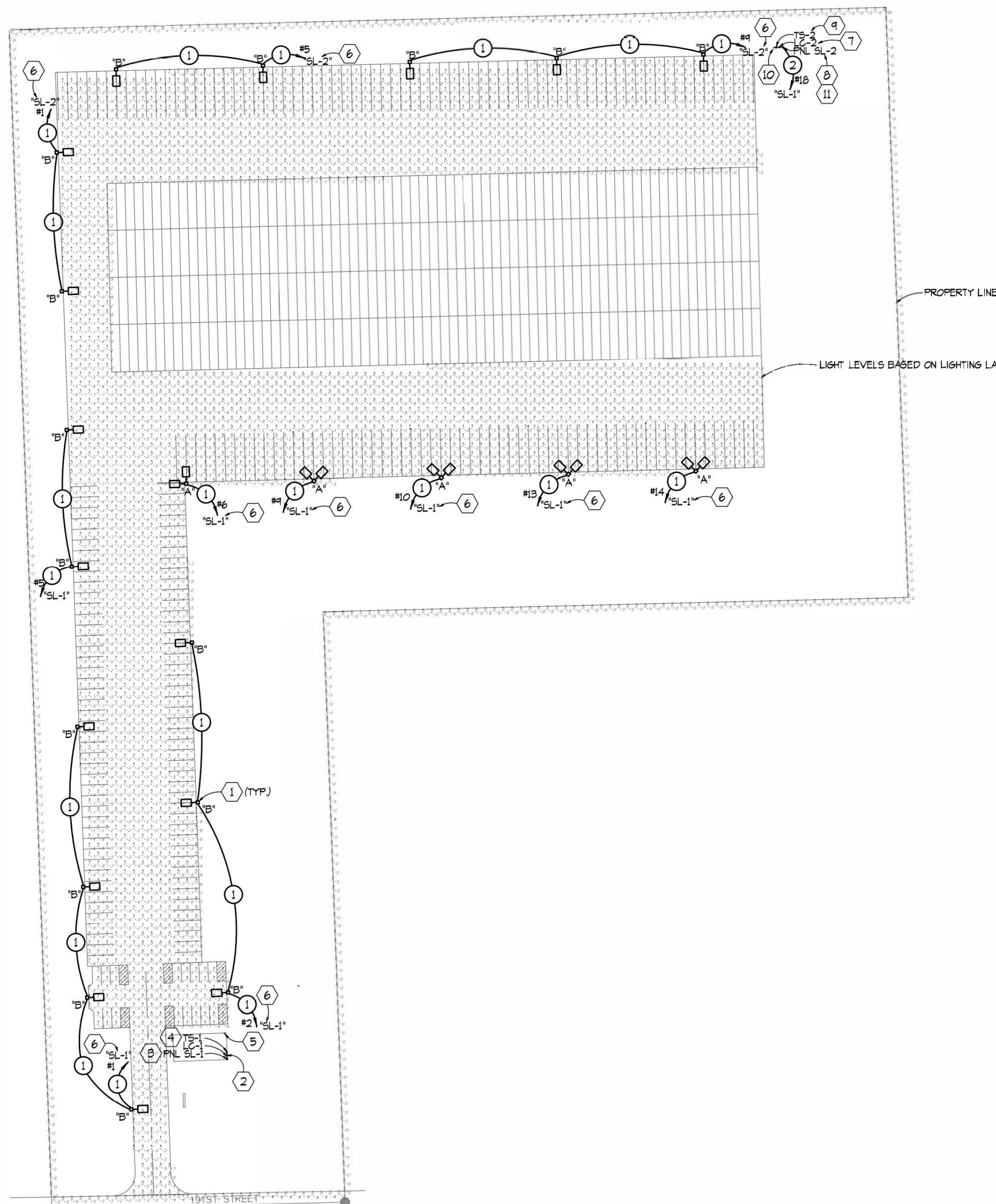
ABBREVIATIONS:
 SPST - SINGLE POLE SINGLE THROW
 N3B - MOUNT ON WEATHERPROOF BOX HAVING SNIVEL MOUNT.

GENERAL NOTES:

- 1) THESE DRAWINGS ARE SCHEMATIC IN NATURE AND INTENDED TO DEPICT GENERAL SCOPE OF WORK. ALL WORK SHALL BE PERFORMED PER LOCAL AND STATE REQUIREMENTS.
- 2) INSTALL ALL EQUIPMENT WHILE MAINTAINING ALL CLEARANCES PER EQUIPMENT MANUFACTURERS RECOMMENDATIONS AND PER LOCAL CODES.
- 3) ALL WORK IN FACILITY TO BE COORDINATED WITH BUILDING OWNER.
- 4) THE OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR THE CONTRACTOR'S SAFETY PRESENTATIONS OR TO MEANS, METHODS, TECHNIQUES, CONSTRUCTION SEQUENCES, OR PROCEDURES REQUIRED TO PERFORM HIS/HER WORK.
- 5) DRAWINGS ARE DESIGNED FOR THE MANUFACTURER'S MATERIALS, EQUIPMENT OR SERVICES NAMED ON PLANS AND ANY CHANGES AND THEIR ASSOCIATED COSTS, REQUIRED TO ACCOMMODATE OTHER APPROVED EQUIVALENT MATERIAL OR EQUIPMENT AS WELL AS SPACE REQUIREMENTS FOR THE OTHER APPROVED EQUIVALENT MATERIAL/EQUIPMENT, MUST BE ASSUMED BY THE CONTRACTOR IN HIS/HER BID.
- 6) ALL WORK SHALL BE PERFORMED PER MANUFACTURERS REQUIREMENTS AND PER ALL LOCAL CODES AND AHJ REQUIREMENTS.
- 7) PROVIDE COPPER CONDUCTORS FOR LISTED APPLICATIONS AS FOLLOWS:
LIGHTING AND RECEPTACLE CIRCUITS: TYPE THHN 600 VOLT, 90 DEGREES C (194 DEGREES F) THERMOPLASTIC INSULATED BUILDING CONDUCTOR
POWER CIRCUITS AND FEEDERS: TYPE THHN, 600 VOLT, 90 DEGREES C (194 DEGREES F) THERMOPLASTIC INSULATED BUILDING CONDUCTOR
UNDERGROUND POWER CIRCUITS AND FEEDERS: TYPE THHN/THWN, 600 VOLT, 75 DEGREE C (167 DEGREES F) NET RATING AND 90 DEGREES C (194 DEGREES F) DRY RATED THERMOSETTING FILLED INSULATING CABLE
- 8) ALL WIRING SHALL BE IN P.V.C. CONDUIT BELOW GRADE AND GALVANIZED RIGID METAL CONDUIT (RMC) ABOVE GRADE OUTSIDE. 90°-UP AND ELBOWS ON FEEDERS SHALL BE GRC ELBOWS.
- 9) PROVIDE HAND HOLE BOXES IN FEEDERS AND BRANCH CIRCUITS AS REQUIRED. BOXES SHALL BE EXTRA HEAVY-DUTY TRAFFIC RATED (H-20) PRE-CAST CONCRETE BOXES WITH STEEL COVERS MARKED "ELECTRIC". LOCATE ALL BOXES OUTSIDE OF DRIVE AND PARKING LOCATIONS IF POSSIBLE.
- 10) FURNISH, INSTALL AND CONNECT ALL WIRE, WIREWAY, CONDUIT, CONNECTORS, GFI/LEDS, IF NECESSARY, TO ACHIEVE A COMPLETE ELECTRICAL INSTALLATION. ALTHOUGH SUCH WORK IS NOT SPECIFICALLY SHOWN OR SPECIFIED EQUIPMENT SHALL BE INSTALLED PER CODE REQUIREMENTS PROVIDING A SOUND, SECURE AND COMPLETE INSTALLATION.
- 11) ALL EQUIPMENT, DEVICES, MATERIALS, ETC. SUPPLIED ON THIS PROJECT SHALL BE LISTED AND LABELED BY A NATIONALLY RECOGNIZED LISTING AGENCY ACCEPTABLE TO THE APPLICABLE HAVING JURISDICTION. ALL EQUIPMENT SHALL BE NEW AND SHALL BE MAINTAINED IN LIKE NEW CONDITION UPON COMPLETION OF PROJECT. REPAIR OR REPLACE ANY EQUIPMENT DAMAGED DURING INSTALLATION.

GENERAL NOTES:

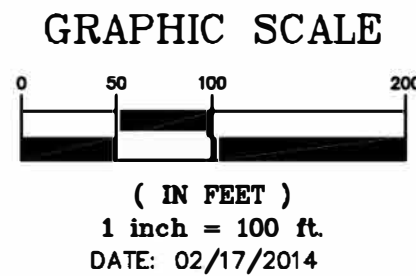
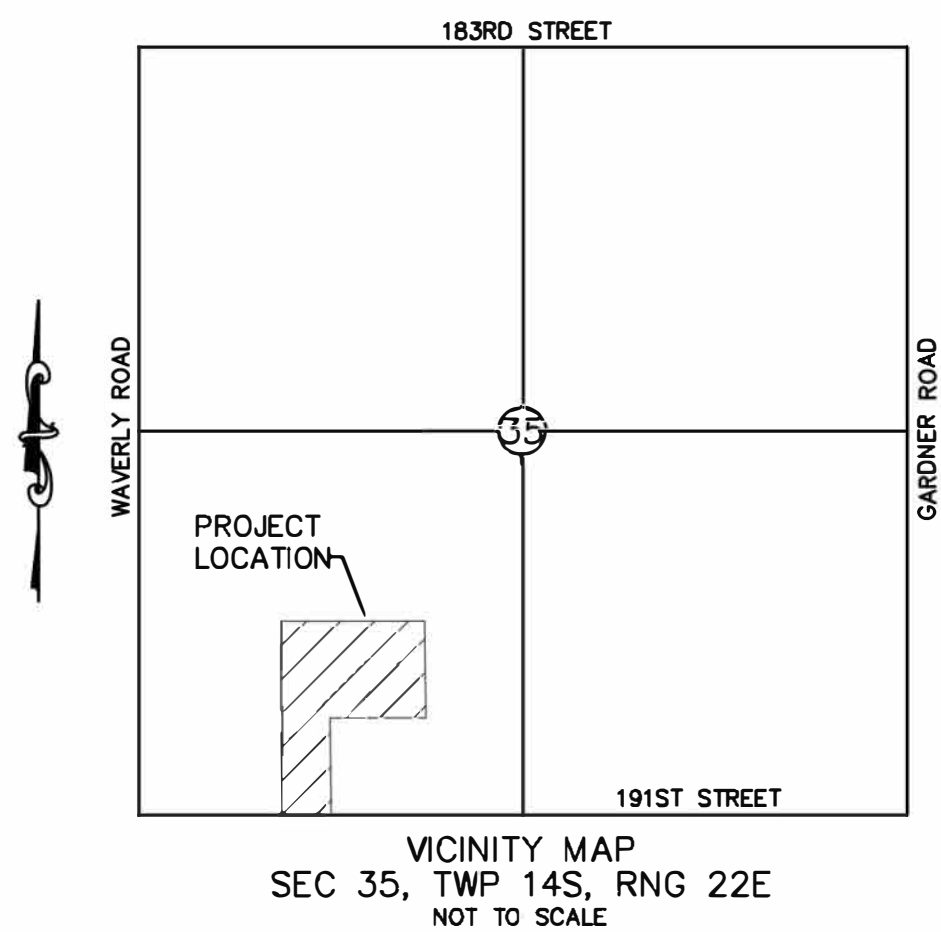
- 1) RE: SHEET SL101 FOR ELECTRICAL SYMBOLS.
- 2) RE: SHEETS SL100 & SL101 FOR ELECTRICAL SCHEDULES.



AREA	AVE	MAX	MIN	MAX/MIN	AVE/MIN
PARKING LOT	114	3.1	0.0	N/A	N/A
PROPERTY LINE	0.05	0.4	0.0	N/A	N/A

- 1) NEW LIGHT FIXTURE TO BE INSTALLED IN APPROXIMATE LOCATION SHOWN. RE: SHEET SLOI FOR LIGHT POLE BASE DETAIL.
- 2) PROVIDE AND INSTALL NEW LIGHTING CONTROLLER "LC-1". CONTRACTOR SHALL INSTALL NEW LIGHTING CONTROLLER ADJACENT TO PANELBOARD "SL-1".
- 3) LOCATE NEW 120/240V 1 PHASE ELECTRICAL PANELBOARD "SL-1" IN OWNER DESIGNATED AREA.
- 4) PROVIDE AND INSTALL NEW TIME SWITCH "TS-1". CONTRACTOR SHALL INSTALL NEW TIME CLOCK ADJACENT TO PANELBOARD "LC-1".
- 5) PROVIDE AND INSTALL NEW PHOTOCELL. RE: SHEET SLOI FOR LIGHTING CONTROL MIRING DIAGRAM.
- 6) ROUTE HOMERUN CIRCUIT THROUGH LIGHTING CONTROLLER THEN TO PANEL DESIGNATED.
- 7) PROVIDE AND INSTALL NEW LIGHTING CONTROLLER "LC-2" ON HOT DIP GALVANIZED UNISTRUT SUPPORT SYSTEM EMBEDDED IN CONCRETE. CONTRACTOR SHALL INSTALL NEW LIGHTING CONTROLLER IN A NEW 3R BOX ADJACENT TO PANELBOARD "SL-2".
- 8) LOCATE NEW 120/240V 1 PHASE ELECTRICAL PANELBOARD "SL-2" ON HOT DIP GALVANIZED UNISTRUT SUPPORT SYSTEM EMBEDDED IN CONCRETE IN OWNER DESIGNATED AREA. CONTRACTOR SHALL PULL NEUTRAL, PHASE, AND GROUNDING CONDUCTOR FROM PANEL "SL-1" AS INDICATED. PANELBOARD SHALL BE INSTALLED PER ALL NEC 2012 REQUIREMENTS.
- 9) PROVIDE AND INSTALL NEW TIME SWITCH "TS-1" ON HOT DIP GALVANIZED UNISTRUT SUPPORT SYSTEM EMBEDDED IN CONCRETE. CONTRACTOR SHALL INSTALL NEW TIME CLOCK IN A NEW 3R BOX ADJACENT TO PANELBOARD "SL-2".
- 10) PROVIDE AND INSTALL NEW PHOTOCELL ON HOT DIP GALVANIZED UNISTRUT SUPPORT SYSTEM EMBEDDED IN CONCRETE. RE: SHEET SLOI FOR LIGHTING CONTROL MIRING DIAGRAM.
- 11) CONTRACTOR SHALL INCREASE LBS SIZING IN PANEL BOARD AS REQUIRED TO ACCOMMODATE WIRE SIZING OR PROVIDE AND INSTALL BUTT SPLICE INSIDE PANELBOARD TO REDUCE WIRE SIZE TO LARGEST LBS SIZING.

- ① (2) #8 A.W.G. & (1) #8 GROUND IN 1" CONDUIT.
- ② (3) 400 KCMIL & (1) 3/0 GROUND IN 3" CONDUIT.




PRELIMINARY
NOT FOR CONSTRUCTION



**330200 W 191ST STREET
JOHNSON COUNTY, KANSAS**

SITE PLAN
SITE LIGHTING PLAN

REV	DATE	DESCRIPTION	DSN	DWN	CHK
5	5/16/16	AMENDED SITE PLAN			
4	8/01/14	REVISED PER CITY COMMENTS	JAA	RJB	
3	7/30/14	REVISED PER CITY COMMENTS	JAA	NUN	
2	7/21/14	REVISED PER CITY COMMENTS	JAA	NUN	
1	11/20/13	APPLICATION SUBMITTAL CITY OF EDGERTON	MRO	NUN	MRO



KAW VALLEY ENGINEERING, INC.
CONSULTING ENGINEERS — LAND SURVEYORS
14700 WEST 114TH TERRACE
LENEKA, KANSAS 66215
PH. (913) 894-5150 | FAX (913) 894-5977
ix@kveg.com | www.kveg.com

JUNCTION CITY, KS | KANSAS CITY, MO | LENEKA, KS | SALINA, KS

PANELBOARD SCHEDULE: SL-1																	
N002 PANELBOARD TYPE														FEEDER ENTRANCE:		PANEL LOCATION:	
120/240	VOLTAGE	1	PHASE	X	150	MAIN BREAKER		TOP			OFFICE BUILDING						
225	AMP MAIN BUS	3	WIRE			MAIN LUGS		X	BOTTOM			FEEDER CABLE:					
1	NEMA ENCLOSURE		200% NEUT.			FEED THRU LUGS			MOUNT:			SEE PLANS					
65,000	RMS SYMMETRICAL AMPS @	240	VOLTS			SUB-FEED BREAKER		X	SURFACE			SOURCE:					
7/1/14	DATE	X	COPPER BUSES	X	SOLID NEUTRAL				FLUSH			SERVICE ENTRANCE					
POLE #	SERVICE	VA	LOAD	LOAD	WIRE	C.B.	C.B.	WIRE	LOAD	VA	LOAD	SERVICE	POLE #				
		LI	L2	TYPE	SIZE	TRIP	POLE	TRIP	POLE	SIZE	TYPE	LI	L2				
1	PARKING LOT LTS	800		L	#6	20	2	20	2	#6	L	600		PARKING LOT LTS	2		
3			800	L							L				4		
5	PARKING LOT LTS	400		L	#6	20	2	20	2	#6	L	400		PARKING LOT LTS	6		
7			400	L							L	400			8		
9	PARKING LOT LTS	400		L	#6	20	2	20	2	#6	L	400		PARKING LOT LTS	10		
11			400	L							L	400			12		
13	PARKING LOT LTS	400		L	#6	20	2	20	2	#6	L	400		PARKING LOT LTS	14		
15			400	L							L	400			16		
17	LIGHTINGS CONTROL	150		MI	#12	15	1	60	2	400	P		1400	PNL "SL-2"	18		
19	SPARE					20	2				P	1550			20		
21								20	1					SPARE	22		
23	SPARE					20	2	20	1					SPARE	24		
25								20	1					SPARE	26		
27	SPARE					20	2	20	1					SPARE	28		
29								20	1					SPARE	30		
31	SPARE					20	2	20	1					SPARE	32		
33								20	1					SPARE	34		
35	SPARE					15	2	20	1					SPARE	36		
37								15	1					SPARE	38		
39	SPARE					40	2	15	1					SPARE	40		
41								15	1					SPARE	42		
		2150	2000									3350	3200				
CONNECTED VA/PH (LESS FEED THRU & SUB FEED)														LI - 5500	L2 - 5200		
CONNECTED VA/PH FROM FEED THRU AND SUB FEED														LI - 5500	L2 - 5200		
TOTAL CONNECTED VA/PH														LI - 5500	L2 - 5200		
LOAD TYPE	CODE DEMAND REQUIREMENTS										CONNECTED VA		DEMAND VA	MIN. CODE VA (1.25 x CONT.)			
											THIS PANEL	SUB PANELS	TOTAL				
LIGHTING (NEC 220-11)	100%										1600	2800	10400	10400	13000		
RECEPTACLES (NEC 220-13)	1st 10,000 VA + 1/2 x REMAINING										0	0	0	0	0		
LARGEST MOTOR (NEC 430-24)	1.25 x LARGEST FLA										0	0	0	0	0		
REMAINING MOTORS (NEC 430-24)	100% REMAINING MOTORS										0	0	0	0	0		
HEATING (NEC 220-15)	100%										0	0	0	0	0		
KITCHEN EQUIPMENT (NEC 220-20)	VARIES (SEE CODE SECTION)										0	0	0	0	0		
WATER HEATER	100%										0	0	0	0	0		
MISC.	100%										150	150	300	300	300		
SPARE	0.25 x CODE MIN VA														3325		
TOTAL LOADS											TT50		10700	10700	16625		
SIZING LOAD																	
64 AMPS																	

PANELBOARD SCHEDULE: SL-2																
N002	PANELBOARD TYPE								FEEDER ENTRANCE:				PANEL LOCATION:			
120/240	VOLTAGE		1	PHASE	<input checked="" type="checkbox"/>	60	MAIN BREAKER		<input type="checkbox"/>	TOP		N.E. OF PROPERTY				
100	AMP MAIN BUS		3	WIRE	<input type="checkbox"/>	MAIN LUGS		<input checked="" type="checkbox"/>	BOTTOM		FEEDER CABLE:					
3R	NEMA ENCLOSURE		<input type="checkbox"/>	200% NEUT.		<input type="checkbox"/>	FEED THRU LUGS		<input type="checkbox"/>	MOUNT:		SEE PLANS				
65,000	RMS SYMMETRICAL AMPS @		240	VOLTS	<input type="checkbox"/>	SUB-FEED BREAKER		<input checked="" type="checkbox"/>	SURFACE		SOURCE:					
7/1/14	DATE		<input checked="" type="checkbox"/>	COPPER BUSES		<input checked="" type="checkbox"/>	SOLID NEUTRAL		<input type="checkbox"/>	FLUSH		PNL "SL-1"				
POLE #	SERVICE	VA LOAD		LOAD TYPE	WIRE SIZE	C.B. TRIP		POLE	C.B. TRIP		WIRE SIZE	LOAD TYPE	VA LOAD		SERVICE	POLE #
		L1	L2			L1	L2		L1	L2			L1	L2		
1	PARKING LOT LTS	400		L	#6	20	2	20	2						SPARE	2
3			400	L												4
5	PARKING LOT LTS	400		L	#6	20	2	20	2						SPARE	6
7			400	L												8
9	PARKING LOT LTS	600		L	#6	20	2	20	2						SPARE	10
11			600	L												12
13	LIGHTING CONTROL	150		MI	#12	15	1	20	2						SPARE	14
15	SPARE					20	1									16
17	SPARE					20	1	20	2						SPARE	18
19	SPARE						2									20
21								20	1						SPARE	22
23	SPARE					20	2								SPARE	24
25								20	1						SPARE	26
27	SPARE					20	2	20	1						SPARE	28
29								20	1						SPARE	30
		1550	1400									0	0			
CONNECTED VA/PH (LESS FEED THRU & SUB FEED)						L1 - 1550		L2 - 1400								
CONNECTED VA/PH FROM FEED THRU AND SUB FEED						L1 - 1550		L2 - 1400								
TOTAL CONNECTED VA/PH						L1 - 1550		L2 - 1400								
LOAD TYPE	CODE DEMAND REQUIREMENTS		CONNECTED VA		DEMAND VA		MIN. CODE VA (1.25 x CONT.)									
			THIS PANEL	SUB PANELS	TOTAL											
LIGHTING (NEC 220-11)	100%		2800		2800		2800		3500							
RECEPTACLES (NEC 220-13)	1st 10,000 VA + 1/2 x REMAINING		0	0	0		0		0							
LARGEST MOTOR (NEC 430-24)	1.25 x LARGEST FLA		0	0	0		0		0							
REMAINING MOTORS (NEC 430-24)	100% REMAINING MOTORS		0	0	0		0		0							
HEATING (NEC 220-15)	100%		0	0	0		0		0							
KITCHEN EQUIPMENT (NEC 220-20)	VARIES (SEE CODE SECTION)		0	0	0		0		0							
WATER HEATER	100%		0	0	0		0		0							
MISC.	100%		150		150		150		150							
SPARE	0.25 x CODE MIN VA								413							
TOTAL LOADS			2450		2450		2450		4563							
SIZING LOAD														14 AMPS		

COOPER LIGHTING - LUMARK®

DESCRIPTION
The Lumark Tribute is the most versatile, functionally designed, universally adaptable outdoor luminaire available. The Tribute brings outstanding performance to walkways, parking lots, restrooms, loading docks, building areas, and any security lighting application. UL-listed and CSA certified for wet locations.

Catalog #
Project
Comments
Prepared by

Type
Date

SPECIFICATION FEATURES

Construction
Rugged one-piece die-cast aluminum housing and door frame. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One (1) stainless spring latch and two (2) stainless hinges allow silicone opening and removal of door frame.

Reflector
Choice of nine (9) high efficiency optical distributions. Including five (5) segmented optical systems constructed of premium 95% reflective solid aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs or other means of attachment which may cause beaming in the light distribution. Optical modules are

field rotatable in 80° increments and offered standard with metal base lampholders for High Pressure Sodium and 200-400W Metal Halide assemblies or Medium-base lampholders for Metal Halides 150W and below.

Electrical
Ballast and related electrical components are hard mounted to die-cast housing for optimal heat transfer and operating efficiency. Optional swing-down galvanized steel power tray with integral handle and cable disconnect allows tray to be completely removed from housing providing ample room for fixture installation and maintenance.

Mounting
Enclosed at aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole or wall surface. Standard single carton packaging of housing, square pole arm and round pole adapter allow for consolidated product arrival to site. Optional internal mast arm mount accepts a 1 1/4" to 2 3/8" O.D. horizontal mast arm, while a 4-bolt clamping mechanism secures fixture. Cast-in leveling guides provide +/-° vertical leveling adjustment.

Finish
Housing and arm finished in a 5 edge premium T502 bronze polyester powder coat paint. Optional colors include black, gray, white, cast platinum and graphite metallic. PAI, and custom color matches available.

TRIBUTE

70 - 400W
High Pressure Sodium
Pole Start Metal Halide
Metal Halide

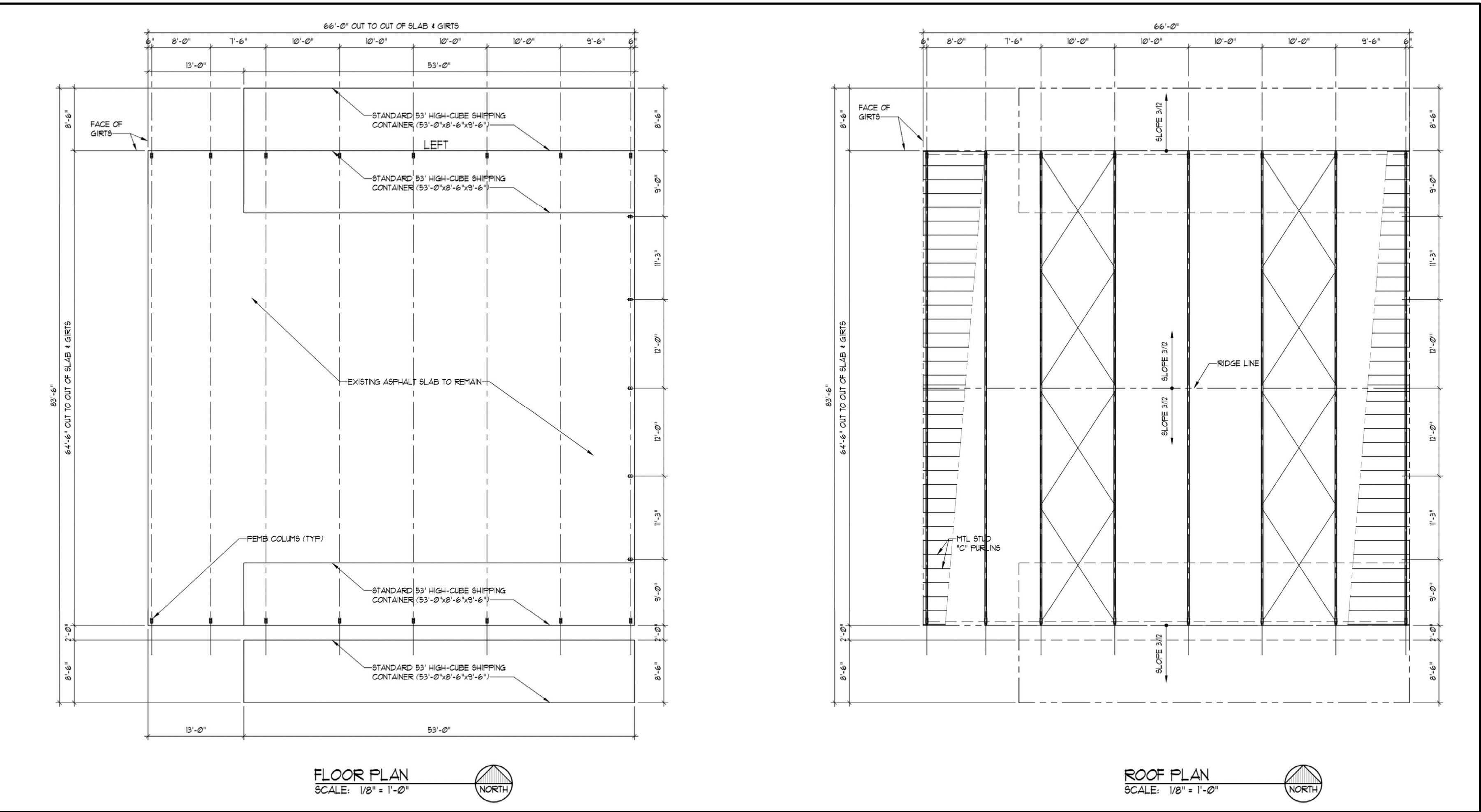
AREA LUMINAIRE

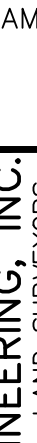
DARK SKY FCO COMPLIANT

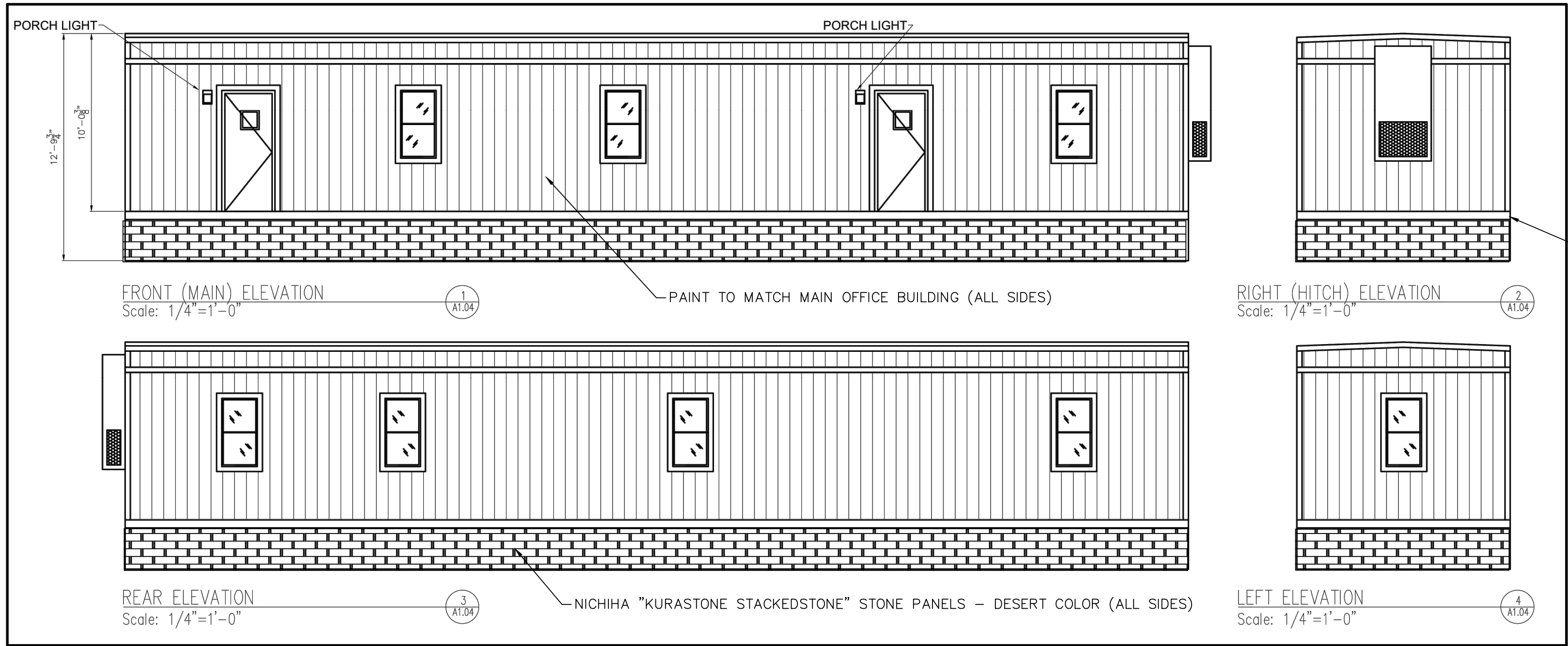
TECHNICAL DATA
UL Listed Luminaire Listed
CSA Certified
EISA Compliant

ENERGY DATA
Minimum Required Watts
70W HPS HPS (84 Watts)
100W HPS HPS (120 Watts)
150W HPS HPS (180 Watts)
180W HPS HPS (216 Watts)
200W HPS HPS (240 Watts)
250W HPS HPS (300 Watts)
300W HPS HPS (360 Watts)
350W HPS HPS (420 Watts)
400W HPS HPS (480 Watts)
450W HPS HPS (540 Watts)
500W HPS HPS (600 Watts)
550W HPS HPS (660 Watts)
600W HPS HPS (720 Watts)
650W HPS HPS (780 Watts)
700W HPS HPS (840 Watts)
750W HPS HPS (900 Watts)
800W HPS HPS (960 Watts)
850W HPS HPS (1020 Watts)
900W HPS HPS (1080 Watts)
950W HPS HPS (1140 Watts)
1000W HPS HPS (1200 Watts)
1050W HPS HPS (1260 Watts)
1100W HPS HPS (1320 Watts)
1150W HPS HPS (1380 Watts)
1200W HPS HPS (1440 Watts)
1250W HPS HPS (1500 Watts)
1300W HPS HPS (1560 Watts)
1350W HPS HPS (1620 Watts)
1400W HPS HPS (1680 Watts)
1450W HPS HPS (1740 Watts)
1500W HPS HPS (1800 Watts)
1550W HPS HPS (1860 Watts)
1600W HPS HPS (1920 Watts)
1650W HPS HPS (1980 Watts)
1700W HPS HPS (2040 Watts)
1750W HPS HPS (2100 Watts)
1800W HPS HPS (2160 Watts)
1850W HPS HPS (2220 Watts)
1900W HPS HPS (2280 Watts)
1950W HPS HPS (2340 Watts)
2000W HPS HPS (2400 Watts)
2050W HPS HPS (2460 Watts)
2100W HPS HPS (2520 Watts)
2150W HPS HPS (2580 Watts)
2200W HPS HPS (2640 Watts)
2250W HPS HPS (2700 Watts)
2300W HPS HPS (2760 Watts)
2350W HPS HPS (2820 Watts)
2400W HPS HPS (2880 Watts)
2450W HPS HPS (2940 Watts)
2500W HPS HPS (3000 Watts)
2550W HPS HPS (3060 Watts)
2600W HPS HPS (3120 Watts)
2650W HPS HPS (3180 Watts)
2700W HPS HPS (3240 Watts)
2750W HPS HPS (3300 Watts)
2800W HPS HPS (3360 Watts)
2850W HPS HPS (3420 Watts)
2900W HPS HPS (3480 Watts)
2950W HPS HPS (3540 Watts)
3000W HPS HPS (

METAL BUILDING FLOOR PLAN
(NOT TO SCALE)



<div><p>K&V CONSULTING ENGINEERS, INC. LAND SURVEYORS 10000 W. 11TH AVE., SUITE 100 LENEXA, KANSAS 66215 PH. (913) 894-5150 FAX (913) 894-5977 kandveering.com www.kandveering.com</p><p>SPRING CITY, KS (KANSAS CITY, MISSOURI) KAW VALLEY ENGINEERING, INC. AUTHORIZED AFTER ENGINEERING SERVICES BY KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113. EXPIRES 12/31/14</p></div>		JAMES A. ANDERSON ENGINEER KS # 20879				
		5	5/16/16	AMENDED SITE PLAN	JAA	RLB
		4	8/01/14	REVISED PER CITY COMMENTS	JAA	NJN
		3	7/30/14	REVISED PER CITY COMMENTS	JAA	NJN
		2	7/21/14	REVISED PER CITY COMMENTS	MRO	NJN
1	11/20/13	APPLICATION SUBMITTAL CITY OF EDGEMONT	MRO	NJN		
REV		DATE	DESCRIPTION	DSN	DWN	CHK
J.B. HUNT CARGO CONTAINER STORAGE FACILITY 30200 W 191ST STREET JOHNSON COUNTY, KANSAS						
PROJ. NO.		C13D 7401		SITE PLAN SHOP BUILDING ELEVATIONS		
DESIGNER		FRK		MRO		
DRAWN BY		MRO		FRK		
CFN	7104 PDP	FRK		REV		
SHEET	C401	5				



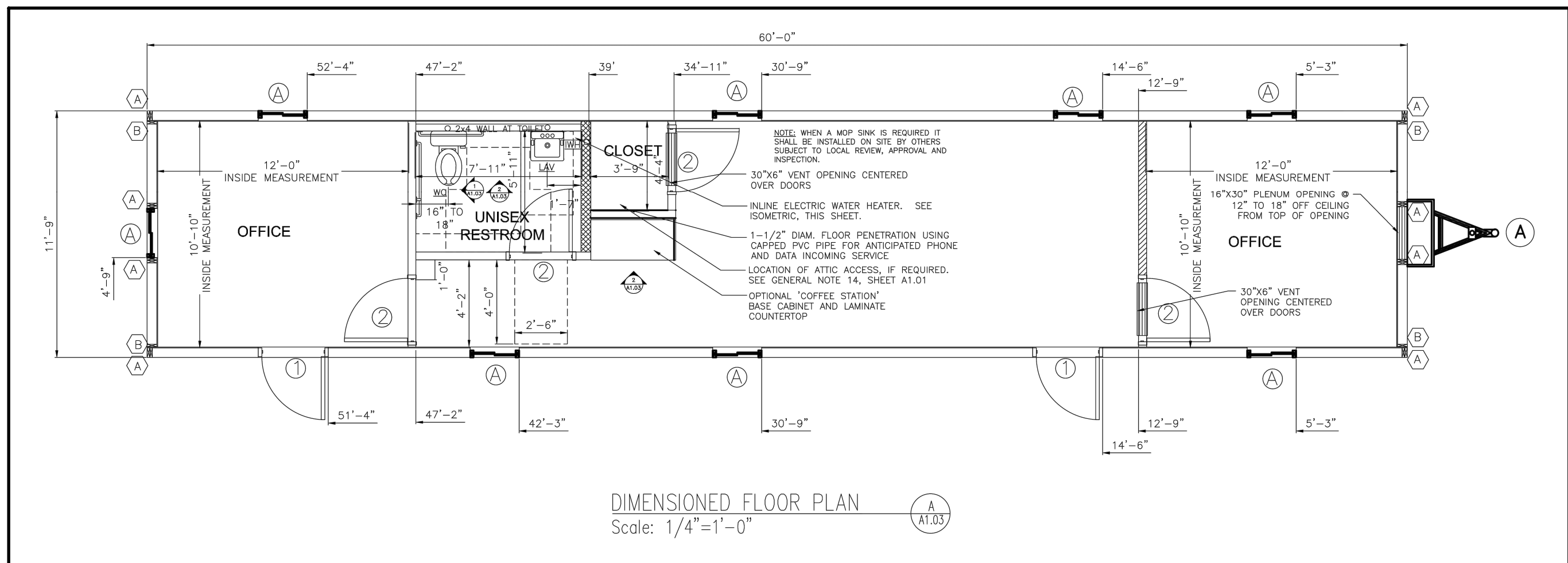
12' X 60' MAINTENANCE OFFICE MODULAR BUILDING ELEVATIONS (NOT TO SCALE)



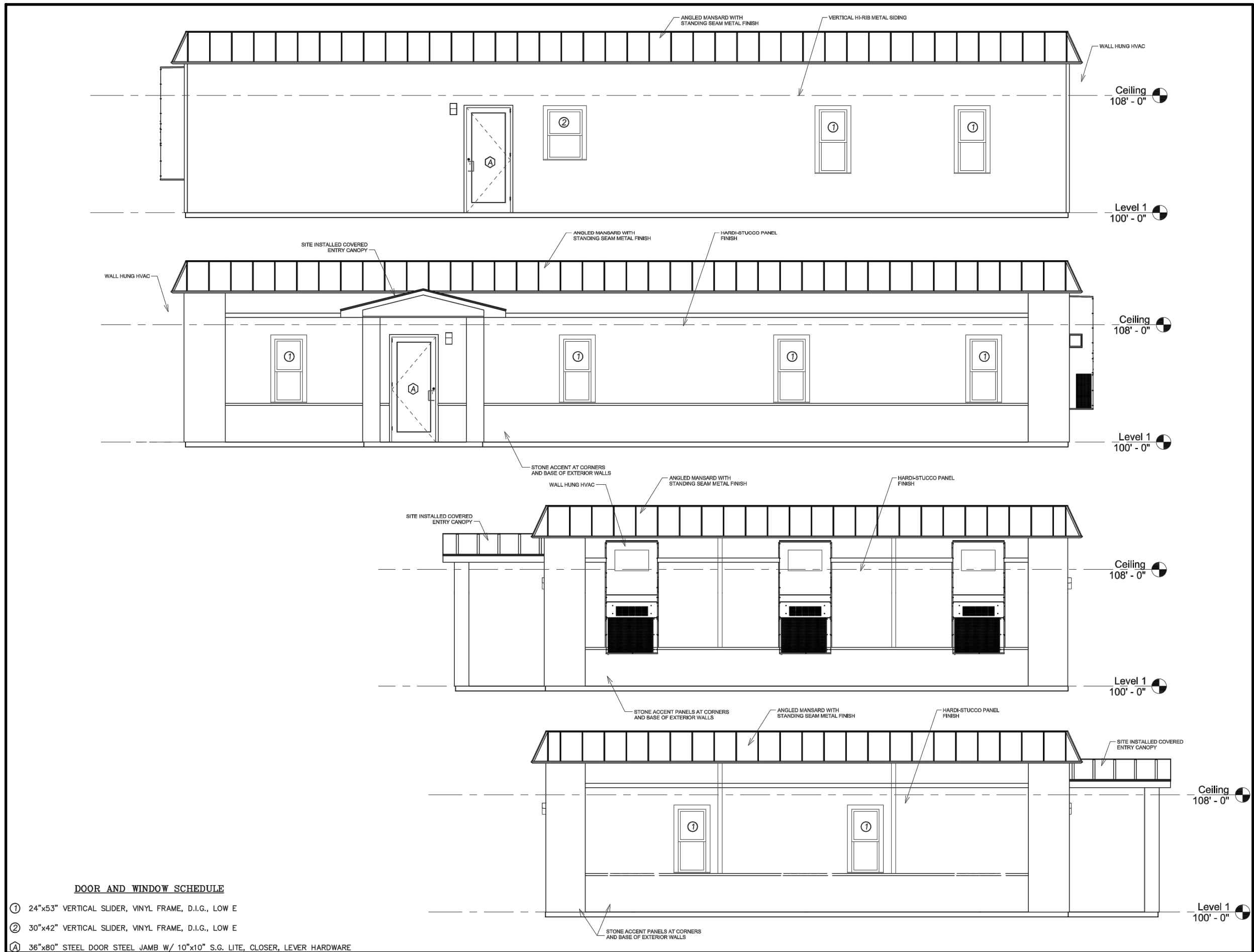
COVERED SEATING AREA



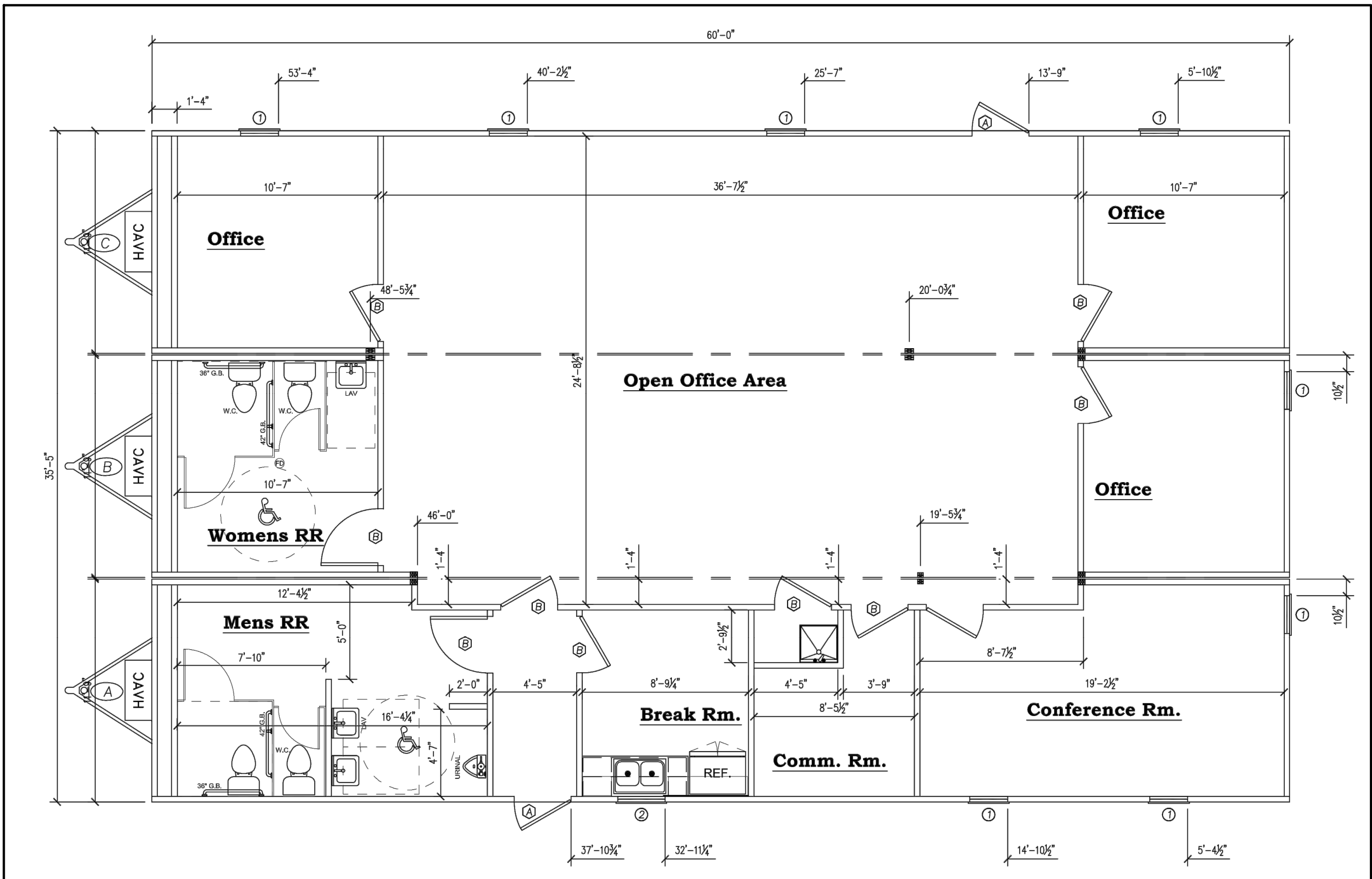
STORM SHELTER



12' X 60' MAINTENANCE OFFICE MODULAR BUILDING FLOOR PLAN (NOT TO SCALE)



36' X 60' MAIN OFFICE MODULAR BUILDING ELEVATIONS (NOT TO SCALE)



36' X 60' MAIN OFFICE MODULAR BUILDING FLOOR PLAN (NOT TO SCALE)

REV	DATE	DESCRIPTION	CHK
1	11/20/13	APPLICATION SUBMITTAL CITY OF EDGERTON	MRO
2	7/21/14	REVISED PER CITY COMMENTS	NUN
3	7/30/14	REVISED PER CITY COMMENTS	NUN
4	8/01/14	REVISED PER CITY COMMENTS	NUN
5	5/16/16	AMENDED SITE PLAN	RLB
JAMES A. ANDERSON ENGINEER KS # 20879			
J.B. HUNT CARGO CONTAINER STORAGE FACILITY 30200 W 191ST STREET JOHNSON COUNTY, KANSAS SITE PLAN MISC. BUILDING ELEVATIONS			
PROJ. NO. C13D_7401 DESIGNER MRO DRAWN BY FRK CFN 7104 PDP SHEET C400			
KAW VALLEY ENGINEERING, INC. CONSULTING ENGINEERS - LAND SURVEYORS 14700 WEST 114TH TERRACE LENEXA, KANSAS 66215 PH. (913) 888-8888 FAX (913) 888-8888 WWW.KVE-ENG.COM KANSAS STATE CERTIFICATE OF AUTHORIZATION # E-113 EXPIRES 12/31/14			