

EDGERTON PLANNING COMMISSION
REGULAR SESSION
Edgerton City Hall
July 10, 2018
7:00 P.M.

1. Call Meeting to Order
2. Pledge of Allegiance
3. Roll Call

4. **CONSENT AGENDA**

(Consent Agenda items will be acted upon by one motion unless a Planning Commissioner requests an item be removed for discussion and separate action)

MINUTES

- A. Consideration of Minutes for Regular Session of June 12, 2018

TEMPORARY CONSTRUCTION ACTIVITIES – Project Mustang

- B. Consideration of a request to extend a Temporary Construction Activities use, which was originally approved by the Planning Commission on April 10, 2018 for a rock crushing operation for property located near Homestead Lane and 207th Street (Kubota Tractor Corporation). Applicant: Clayco

5. **OLD BUSINESS**

FINAL SITE PLAN, FS2018-05, AMENDING FS2017-01, 19400 ESSEX STREET (CONTINUED FROM JUNE 12, 2018 PLANNING COMMISSION MEETING)

- A. Consideration of FS2018-05, pertaining to the amendment of FS2017-01, requesting installation of a Compressed Natural Gas Fueling Station for UPS, located at 19400 Essex Street. Authorized Agent: TruStar Energy for ELHC XXI LLC, Engineer: Katahdin Environmental

Action requested: Consider motion to approve, table, or deny the request.

6. Future Meeting – August 14, 2018
7. Adjournment

EDGERTON COMMUNITY BUILDING
PLANNING COMMISSION MEETING
REGULAR SESSION
June 12, 2018

The Edgerton Planning Commission met in regular session with Chair John Daley calling the meeting to order at 7:00 p.m.

All present participated in the Pledge of Allegiance.

The Roll Call was answered, indicating those present were: Commissioners John Daley, Katee Smith, and Andrew Merriman. Absent was Commissioner Josh Beem. Also present were: City Administrator Beth Linn, Development Services Director Katy Crow, City Clerk Rachel James, and Recording Officer Debra Gragg.

The Recording Officer announced a quorum was present.

CONSENT AGENDA

Motion by Smith, seconded by Merriman, to approve the items as presented in the Consent Agenda. Motion was approved, 3-0.

MINUTES

- A. The minutes for Regular Session of May 8, 2018 were considered and approved.

TEMPORARY USES, TU2018-04 – INLAND PORT XXXI, 31800 W. 196th

- B. The temporary use request, TU2018-04, requesting approval of temporary sanitary facilities for property located at 31800 W. 196th Street (Inland Port XXXI) was considered and approved. Applicant: NorthPoint Development

- C. **TEMPORARY USES, TU2018-05 – INLAND PORT XL, 31301 W. 181st**

A temporary use request, TU2018-05, requesting approval for construction of temporary parking space for property located at 31301 W. 181st (Inland Port XL) was considered and approved. Applicant: ColdPoint Logistics

NEW BUSINESS

PUBLIC HEARING – PRELIMINARY PLAT, LOGISTICS PARK KANSAS CITY-SOUTHWEST, PP2018-04

A public hearing in regards to application, PP2018-04, requesting approval of a preliminary plat for Logistics Park Kansas City – Southwest, located in the northeast corner of 199th Street and Four Corners Road, consisting of two (2) lots and four (4) tracts, containing approximately 119.425 acres, more or less, was considered. Applicant: Edgerton Land Holding Company, LLC. Engineer: Olsson Associates

The Development Services Director, Katy Crow, presented on PP-2018-04, Preliminary Plat for approval. The existing parcels will be platted into two (2) lots and four (4) tracts. The south side of Lot 1 would have frontage along 199th Street and the east side would have frontage along Four Corners Road. Lot 2 has frontage on, but no access to, Homestead Lane. Access would be provided by the extension of Essex Street at the north end of the site, south to 199th Street.

Staff has completed Preliminary Plat review and improvements to 199th Street and Essex Street are being reviewed and will be addressed during the Final Plat/Final Plan stages.

There were no comments from the applicant.

Chair Daley opened the public hearing.

Cliff Cole, 19991 Peppertree Lane, Edgerton, KS stated he was interested in plans addressing 199th Street for this project. Mr. Cole is concerned with the steep hill near the development, traffic speed, as well as truck routes on 199th Street. Mr. Cole is also expressed concerns with plans for water detention on the site and plans for storm water run-off.

Motion by Smith, seconded by Merriman, to close the hearing. Motion passed 3-0.

Mr. Daley asked if the storm water issue would be discussed with the Final Plat. Staff commented that road will be discussed during Final Plat review and the City Engineer will review both the Storm Water Plan as well as infrastructure plans.

Motion by Merriman, seconded by Smith, to approve the Preliminary Plat with the following stipulations: 1. All Preliminary Plat requirements of the City noted shall be met or addressed; 2. Preliminary Plat be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission upon submittal and approval of a written request may grant a one-year extension on the approval of the preliminary plat; 3. All infrastructure requirements of the City shall be met. Motion was approved. 3-0

PUBLIC HEARING – PRELIMINARY SITE PLAN, LOGISTICS PARK KANSAS CITY SOUTHWEST (INLAND PORT 23 AND 24), PS2018-03

A public hearing in regards to an application, PS2018-03, requesting approval of a Preliminary Site Plan for Logistics Park Kansas City Southwest (Inland Port 23 and 24), located in the northeast corner of 199th Street and Four Corners Road, consisting of two (2) lots and four (4) tracts, containing approximately 119.425 acres, more or less, was considered. Applicant: Edgerton Land Holding Company LLC Engineer: Olsson Associates

The Development Services Director, Katy Crow, presented on the current Preliminary Site Plan which depicts two (2) warehouse buildings on two (2) lots with associated parking and stormwater detention facilities. The proposed building sizes are as follows; Building 1 – 1,168,354 SQFT and Building 2 – 478,007 SQFT, for a total of 1,646,361 SQFT. The plan identifies tracts A, B, C & D which are to be utilized as part of the stormwater system. The conceptual building floor plans include conceptual building elevations. No lighting plans have been provided by the applicant.

Staff reviewed the plan for compliance with the Edgerton UDC. Under Section 10.1, it was noted pedestrian connections will be considered as part of the overall site infrastructure plan, which will be reviewed at Final Site Plan; the applicant agrees to submit details regarding photometric plans at Final Site Plan review. Improvements to 199th Street are under evaluation of staff and will be reviewed as part of the Final Plat and Final Site Plan review. The current Preliminary Site Plan does not include connection point for utilities. The applicant agrees to address with the Final Site Plan. Signage plans will be submitted by the applicant. The applicant will provide spaces for handicapped access which will not exceed 2% for either slope and driveway cross slope.

Section 5.2 was overviewed in regards to building orientation, and in particular regarding dock door orientation, which will place dock areas facing Four Corners Road, Essex Street, and Homestead Lane, noting landscaping recommendations could assist with screening needs.

Ms. Crow spoke about the Architectural Design Standards in regards to horizontal and vertical articulations. She noted the use of color blocking, buffering, and landscaping could assist. It was also noted a variance/waiver from the Planning Commission could be considered. Roof top equipment will be addressed with the Final Site Plan. It was also noted the trailer storage lots will face public rights-of-way, and utilization of additional landscaping could provide appropriate buffering and screening.

Staff spoke about screening adjacent to residential uses, noting the Preliminary Site Plan complies, and noted the existing tree line will be used as part of the proposed landscape buffering, indicating it should be protected during construction and replaced if damaged or lost during construction. Ms. Crow indicated the applicant will provide a storm water management study and SWPPP prior to Final Site Plan submission.

Ms. Crow indicated staff recommends approval with the stipulations indicated on the Staff Report.

The applicant made no comments.

Chair Daley asked about using some of the existing trees. Staff reviewed the landscaping along Essex Street, noting any dead plantings will be replaced.

Mr. Daley opened the public hearing.

No one appeared to oppose or support.

Motion by Smith, seconded by Merriman, to close the hearing. Motion was approved, 3-0.

Mr. Merriman stated an aerial picture showing the existing landscaping of these projects would be beneficial in the future.

Motion by Merriman, seconded by Smith, to approve the Preliminary Site Plan, with the following stipulations: 1.) The noted recommendations are stipulated to as part of approval and incorporated into the Preliminary Development/Site Plan document set; 2.) A Final Site Plan must be submitted and approved prior to commencement of uses and the property shall be developed in accordance with the approved Final Site Plan, Landscaping Plan, Photometric Plan, Stormwater Study and SWPPP as required by City approval of the Preliminary Site Plan, as amended by these stipulations and approved by the City; 3.) All Preliminary Development/Site Plan requirements of the City noted shall be met or

addressed during Final Development/Site Plan submittal as identified; 4.) No signage is proposed with this application. Signage proposed later shall receive separate approval according to the provisions of the UDC; and 5.) All construction plans for any public infrastructure shall be prepared to City standards and approved by the City. Motion was approved, 3-0.

FINAL SITE PLAN, FS2018-05, AMENDING FS2017-01, 19400 ESSEX STREET

Final Site Plan, FS2018-05, pertaining to the amendment of FS2017-01, requesting installation of a Compressed Natural Gas Fueling Station for UPS, located at 19400 Essex Street was considered. Authorized Agent: TruStar Energy for ELHC XXI LLC, Engineer: Katahdin Environmental

Staff presentation on the amendment to the Final Site Plan noted most of the items comply. Applicant is seeking to modify the approved Final Site Plan (FS 2017-01) to accommodate the construction of a Compressed Natural Gas (CNG) fueling facility. The approved Final Site Plan met requirements outlined under L-P, Logistic Park District zoning requirements, and approved Preliminary and Final Plats. The CNG facility consists primarily of 15 dual hose, time-fill stations (30 stations) and 3 (three) fast-fill stations and accompanying appurtenances.

Staff overviewed items for Article 10.1 D, which noted the vicinity plan should be scaled smaller, which will be updated on the Amended Final Site Plan; staff noted to change the title, update the required codes, and update the area for signatures and titles. It was also noted the exterior lot lines with survey pins would need to be updated on Final Site Plan, along with identification for internal pedestrian system and connections. Any site signage application will be evaluated for compliance upon submittal.

Staff reviewed the design guidelines and addressed the need for landscape buffering along the perimeter of the station. Staff also noted the need for identification of the pedestrian access routes between the time-fill area #1 and fast-fill area #2 and the larger site.

Ms. Crow indicated the diesel emission requirements were added, although this project is for compressed natural gas.

Ms. Crow noted several items under general comments were housekeeping related and could be addressed with an amended Final Site Plan. These items include: various scales utilized on the sheets, move gas utility meter set assembly as it is within a required set back, label setback line, indicate scale, show existing and proposed landscaping, identify fence type as done on Sheet S-1 under project description, address stormwater runoff, identify circulation patterns, internal and external, indicate parking stall dimensions, address future tractor staging area, SWPPP has not been submitted.

Ms. Crow indicated staff recommends approval with stipulations.

Maria Cortez, representative of UPS CNG Fueling Facility, discussed the plan for installing the outdoor equipment including dryers, electrical equipment, emergency shut down equipment and the importance of being code compliant in each aspect. She overviewed that the 30 time-fill stations will work overnight and the three fast-fill stations will take anywhere from three to seven minutes, similar to filling at a gas station. This would be their 40th site nationwide, with other Kansas sites being located in Lenexa and Salina. Ms. Cortez, based on question from Chair Daley, discussed the fencing. She indicated other sites have coated 2" chain link.

Staff will work with applicant to make sure fencing is code compliant

Mrs. Linn suggested that the Commissioners table the item until the July 10, 2018 meeting for staff to follow up on safety requirements for this site as well as code compliance with the fencing of the site.

Dan Walker, UPS, informed the Commissioners the plan is to have an interior fence around the fueling site, with another fence surrounding the area. He spoke about chain link or slatted fencing.

Mr. Merriman asked if there are any associated odors with this project. The response was there is no odor associated with the venting.

Motion by Smith, seconded by Merriman, to table this item until July 10, 2018 to allow staff time to further review this matter. Motion was approved, 3-0.

FUTURE MEETING

The next meeting is scheduled for July 10, 2018.

ADJOURNMENT

Motion by Smith, seconded by Merriman, to adjourn. Motion was approved, 3-0.

The meeting adjourned at 7:47 p.m.

Submitted by:

Rachel A. James
City Clerk

STAFF REPORT

Date: July 10, 2018
To: Edgerton Planning Commission
From: Katy Crow, Development Services Director
Re: Consider Approval of Temporary Construction Activities on property located near Homestead Lane and 207th Street – Rock Crushing for Kubota Tractor Corporation (formerly known as Project Mustang)

BACKGROUND INFORMATION

Article 9, Section 6.E of the Unified Development Code (UDC) of the City of Edgerton, Kansas states that the Planning Commission is authorized to review and approve the use of property during times of construction, reconstruction, or adaptation to permit temporary living quarters for construction personnel, offices, buildings for storage, outdoor storage, machinery yards, portable concrete or asphalt mixing plants, sanitary facilities, and similar uses.

MATTERS TO BE CONSIDERED

On April 10, 2018 the Planning Commission considered a request from Clayco to perform rock crushing operations on property located on the northwest corner of Homestead Lane and 207th Street. These operations were necessary for the construction of the Kubota Tractor Corporation project (formerly known as Project Mustang). That request was approved with stipulations through August 11, 2018.

On June 22, 2018, staff received a request from Clayco Construction, to extend rock crushing operations on this site through October 12, 2018. The applicant has requested the extension due to unforeseen project activity sequencing. If approved, operations would end on October 12, 2018.

Edgerton UDC requires applicants obtain property owner permission when temporary construction activities occur on their property. With their request for an extension, Clayco has included a letter from property owner, Kubota Tractor Corporation, granting permission for the rock crushing operation to continue on their property.

There are no changes to the operation that was approved in April. Application materials submitted describe the proposed operation as mobile rock crushing equipment that will move around the site as the rock is excavated. Crushers will be in the blue areas on the attached map and trucks will be used onsite to move the rock where it is needed for deep fills, utility trenches and building pads. The rock crushing equipment contains a dust containment system and the Kansas Department of Health & Environment (KDHE) will be engaged to test the air prior to the start of crushing activities. Monitoring equipment on the crushers will test the air to make sure it does not exceed the level allowed by KDHE. The applicant indicates the operator will be responsible for mitigating dust and maintaining haul roads on site will be kept wet to ensure that airborne dust does not spread to neighboring properties.

If the applicant is not given a deadline extension for this operation, the applicant has stated that the rock blasted on-site would need to be hauled away would equate to 35,000 haul loads

and an additional 10,000 truckloads would be needed to haul in aggregate material for construction applications. If this occurs, the increased truck traffic on adjacent roadways would impede the rebuild of 207th Street and would be detrimental to the flow of local traffic.

STAFF RECOMMENDATION

Staff recommends **approving the requested extension** of a rock crushing operation, deemed to be temporary construction related activities pursuant to Article 9, Section 9.6.E of the Uniform Development Code of the City of Edgerton, located near Homestead Lane and 207th Street, by Clayco, Inc. for construction-related activities related to the Kubota Tractor Corporation, conditioned as follows:

1. Temporary living quarters are not permitted on-site unless prior authorization has been provided by the Planning Commission;
2. All occupied buildings shall have access to potable water from an approved water source;
3. All signage shall be placed pursuant to applicable sign regulations in Article 12 of the Unified Development Code of the City of Edgerton;
4. All buildings, outdoor storage, machinery yards, and similar uses shall be able to be fully secured when not in use;
5. All vertical structures shall require a building permit pursuant to the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton prior to being occupied;
6. Contractors shall obtain all required permits pursuant to the Code of Regulations for Buildings and Construction, 2010 Edition or other applicable chapter of City Code;
7. Off-site impacts from on-site construction-related activities shall be minimized to the extent possible. This shall include compliance with City Regulations and Policies with regards to the tracking of debris onto public streets. Improvements for a construction entrance and the access road shall be required prior to operation and must be continually maintained in good condition;
8. On-site Stormwater Management Plan shall be approved by City prior to the disturbance of land;
9. Land disturbance activities shall be done pursuant to Article 12 of the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton;
10. Contractors agree to address any issues that affect off-site properties or public rights-of-way or easements in a reasonable period of time;
11. All blasting shall be done according to Article 13 of the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton;
12. Hours of operation shall be limited to from 7:00 am to 7:00 pm;
13. Holding tanks shall be used in lieu of sanitary sewer service, and shall be permitted and inspected pursuant to the Johnson County Environmental Sanitary Code;
14. Property owner and/or general contractors shall provide City and emergency response agencies a copy of a site-specific Safety Action Plan;
15. Property owner and/or general contractors shall provide a Construction Management Plan to the City;
16. Maintain a valid City of Edgerton Business License;
17. Staff retains the ability to establish reasonable requirements for their operation;
18. All activities will be performed in compliance with KDHE and the requirements of the KDHE Bureau of Air;
19. Permission for temporary construction activities is granted for a period ending **October 12, 2018**.

ATTACHMENTS:

- Request for activity extension - Clayco
- Permission letter from property owner – Kubota Tractor Corporation



THE ART & SCIENCE OF BUILDING

June 22, 2018

City of Edgerton, KS
404 East Nelson St, Edgerton, KS 66021
Attn: Katy Crow – Development Service Director

RE: Project Mustang – Rock Crushing Permit

Katy,

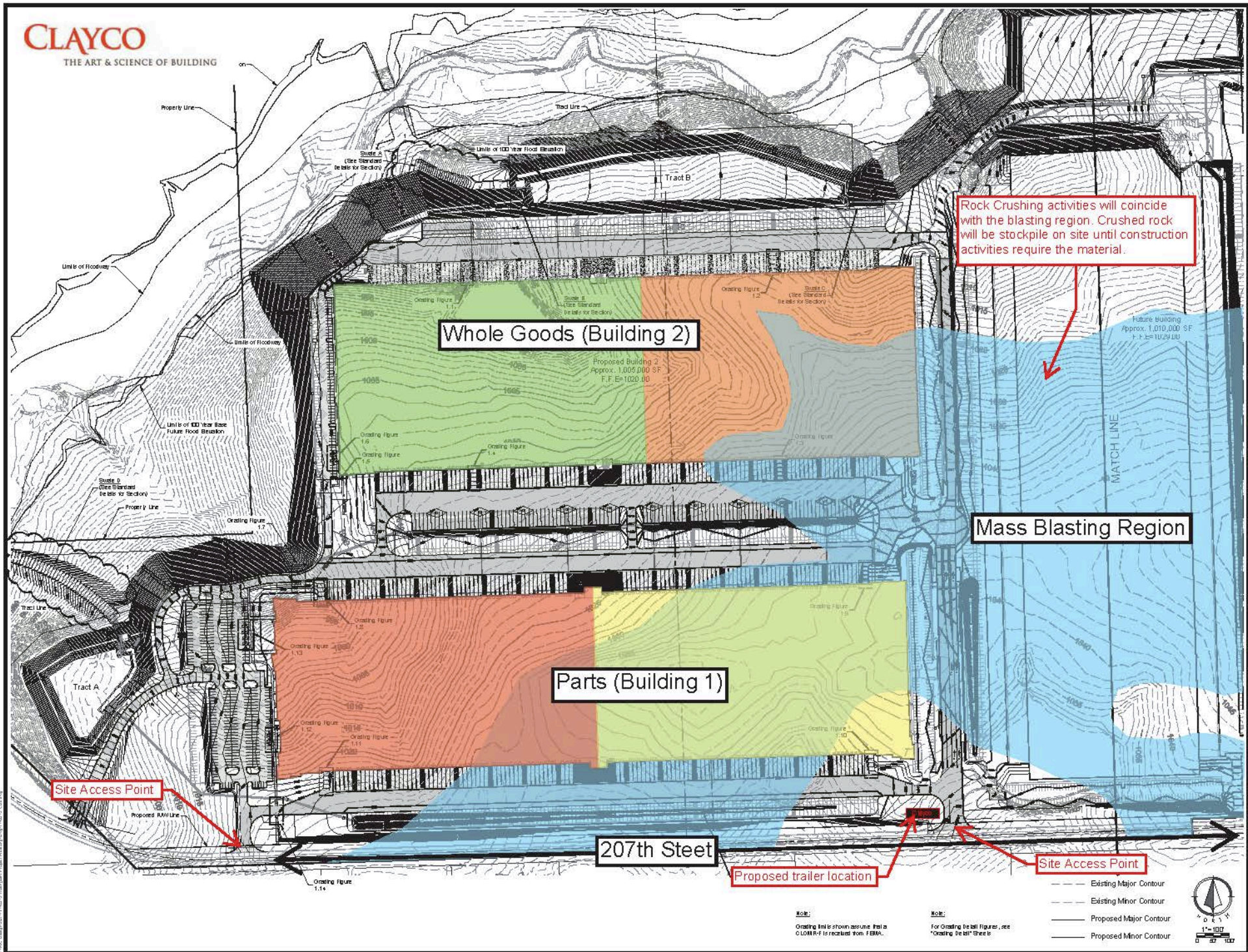
Described below are the exact parameters of the proposed rock crushing operations for Project Mustang. In addition, the earthwork contractor for Project Mustang will be applying for the KDHE permit. Clayco will share the KDHE documentation as soon as it is made available.

- Crushing will commence April 30, 2018 and finish by August 11, 2018.
 - Clayco is requesting an extension to the current temporary use permit. The new completion date for crushing operations will be October 12, 2018. The extension is necessary due to unforeseen project activity sequencing.
- Operating hours will range from 7:00 A.M. - 7:00 P.M.
- Rock crushing activities will be performed Monday-Saturday.
- All crushing equipment will be mobile. Crushers will be relocated frequently throughout the site to ensure efficiency of the crushing process.
- Total quantity of crushed rock generated from the project site will be 700,000 tons.
- All crushed rock will be utilized on site for construction applications (LVC and utility trench backfill).
- Due to crushed rock remaining on site, there will be no exporting of material.
- KDHE will test silica dust air contamination on site prior to the commencement of major crushing activities. Crushers are equipped with a dust containment system. Additional containment measures can be added if air contamination is above KDHE's allowable level.
- Internally, Clayco is committed to silica dust control and protection procedures. Clayco has established policies to protect workers and neighboring properties from harmful silica dust exposure.
- Haul roads on site will be watered as needed using a water truck to ensure airborne dust does not spread to neighboring property owners.
- The denial of this permit will change the overall scope of the project; including but not limited to exporting large quantities of shot rock and importing all required LVC material. This hauling would negatively impact local traffic and infrastructure. Additionally, the denial of this permit will result in drastic changes to the civil design.
- The denial of this permit would require 35,000 haul trucks to export blasted rock material. An additional 10,000 trucks would be required to import aggregate material for construction applications. These hauling activities would severely hinder local traffic, and add a substantial amount of time to the overall project duration.

Respectfully Submitted,

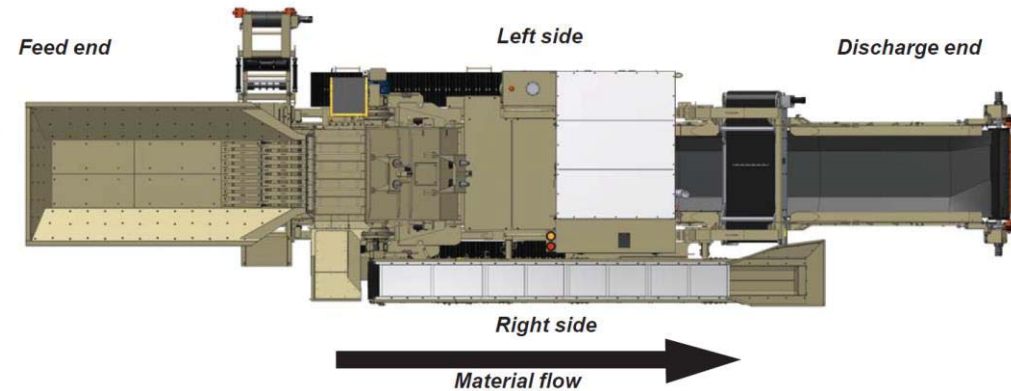
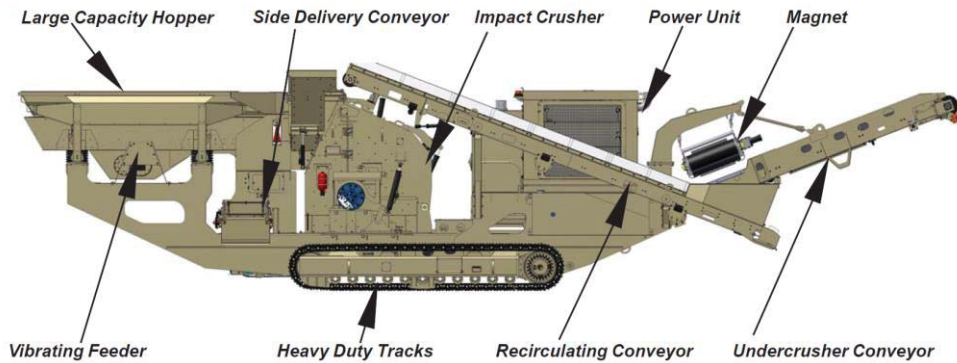
A handwritten signature in dark ink, appearing to read "Patrick Grunloh".

Patrick Grunloh
Senior Project Engineer



FT5260

Track-Mounted Impact Crusher



Vibrating Grizzly Feeder

- 50" X 15' Vibrating Pan Feeder
- 5' Grizzly Fingers 2" spacing

HSI Crusher

- 5260 Horizontal Impactor
- Hydraulically adjustable aprons
- Hydrostatic dual drive motors
- 3-bar rotor

Undercrusher Conveyor

- 60" x 40' Under Crusher Conveyor
- Impact bed with 330 3ply belting
- Hydraulic dual drive motors

Crusher

- Max Feed Size: 21"/533mm
- Plant Capacity up to: 800 STPH/726 MTPH

Chassis

- Sculpted frame design with manufacturing tubing
- 24" 600mm tracks with dual drive

- Track width 11' 7 $\frac{3}{4}$ "/3.549m
- Balanced for zero cribbing
- Dust suppression
- 200 gal/757 L Oil Reservoir

Power Unit

- Cat C15 540hp/402.6kw Tier IV i
- Cat C15 540hp/402.6kw Tier III (International)
- 224gal/847.9L fuel tank
- Fuel Consumption 15-18 gal

Operating Slope

- Side to Side: 1% grade
- Front to Back: 3% grade

Performance When Moving

- Travel Speed: 0.60MPH
- Total Tractive Effort: 70,519 lbf
- Gradability: 50%
- Ground Pressure: 2415PSF

FT5260

Track-Mounted Impactor Crusher

Options

- 24" x 11' Side delivery conveyor
- Permanent cross belt magnet
- 440piw single ply belting
- 24" x 28" Recirculating Conveyor
- 4-Bar Rotor
- Electrical/Hydraulic Control Valve (CE Certification)

Standard

Dimension	Standard	Metric
Overall Length	56' 8 ¾"	17.291m
Operating Height	14' 2"	4.138m
Travel Height	12'	3.658m
Travel Width	12'	3.658m
Feed Height	14' 2"	4.138m
Discharge Height	11'	3.353m
Ground Clearance	10 ½"	266.7mm
Unit Weight	118,600 lbs	53,796 kg

700 W 21st. St., Yankton, SD 57078

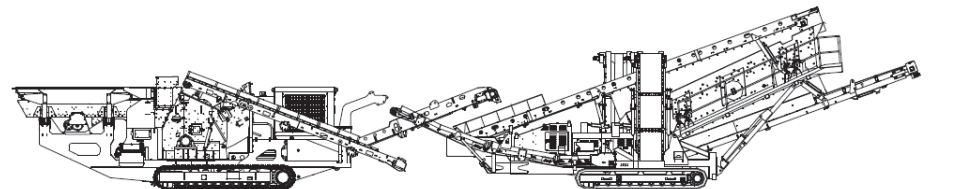
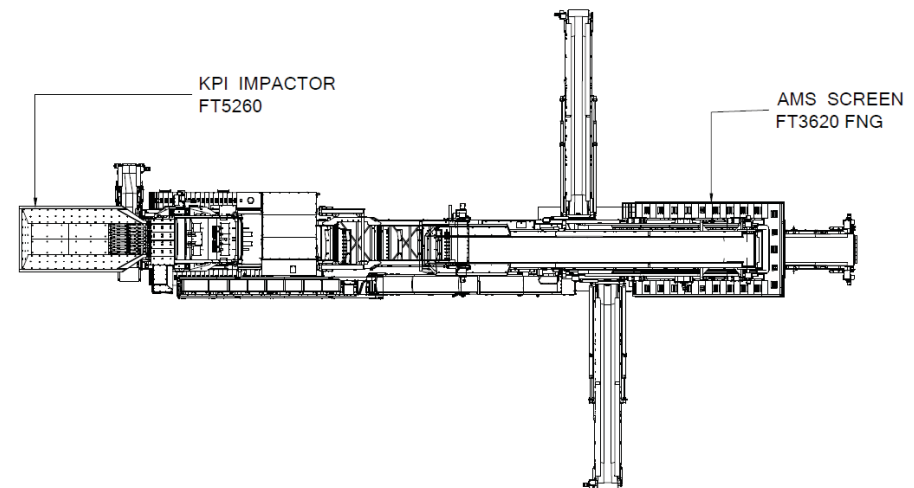
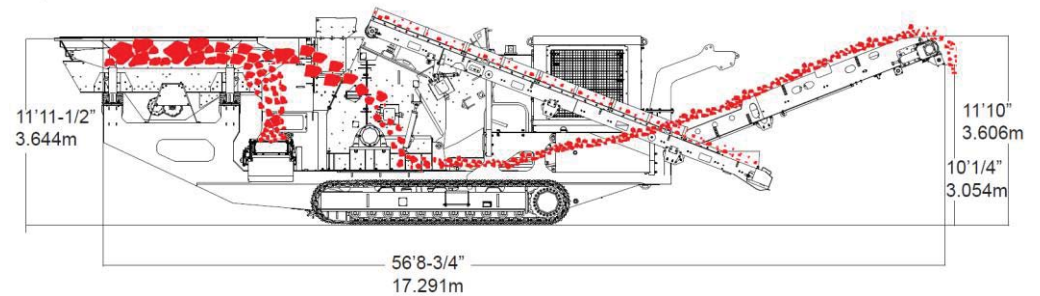
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mail@kpijci.com

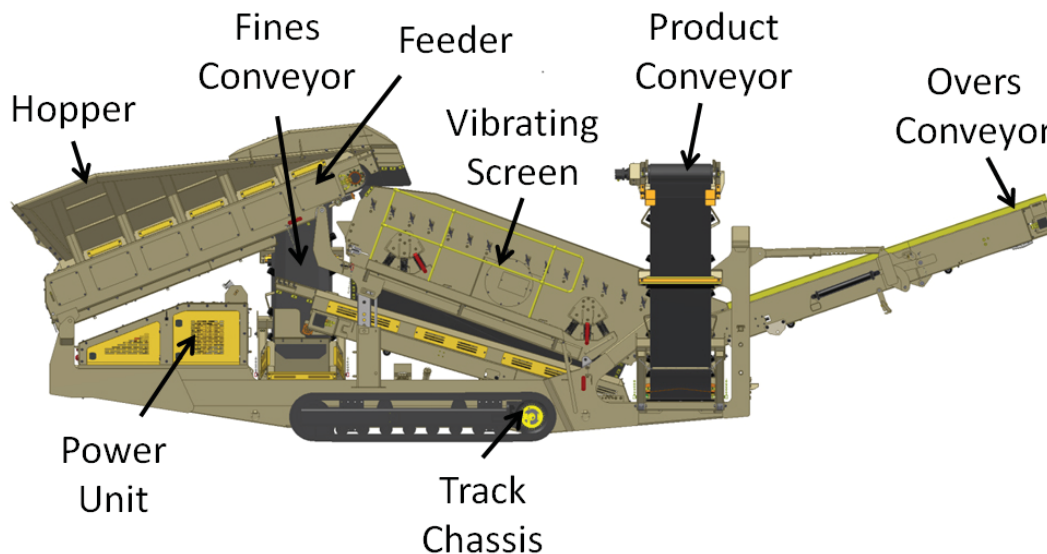
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Model GT165 Mobile Screening Plant Model 165 Spec Sheet



VIBRATING SCREEN

- 5' x 16' top deck, 15' bottom deck
- 900 RPM adjustable amplitude
- Hydraulic controls for variable angle operation
- Access ladder with wrap around walkway
- Modular top deck design
- Discharge end of screen raises for cloth changes

CHASSIS

- 15" channel frame
- Track mount design
- Pendant remote control

HOPPER

- 10.5 cubic yard heaped capacity
- Hydraulic fold for transport

BELT FEEDER

- 17' x 54"(1400 mm) belt feeder
- Hydraulic variable speed dual motor drive
- HD vulcanized belt

OVERS CONVEYOR

- One (1) 20' x 54"(1400mm) belt feeder
- Hydraulic variable speed drive
- Impact Bed
- Hydraulic discharge height adjustment

- Folds for transport

- Chevron Belt, Vulcanized

UNDERSCREEN CONVEYOR

- One (1) 17' x 48"(1200mm) fixed conveyor
- Hydraulic variable speed
- Adjustable back board
- Primary belt cleaner

PRODUCT CONVEYORS

- Two (2) 31' x 36"(900mm) fold out design
- Hydraulic variable speed
- Hydraulic discharge height adjustment
- Chevron Belts, Vulcanized

POWER SYSTEM

- Cat 129 HP Tier III diesel engine
- Oil Cooler
- Engine mounted hydraulic pumps to operate all plant functions
- NEMA-4 rated instrument panel
- Emergency stop

PAINT

- One primer coat, finish coat of KPI Beige

SERVICE CAPACITY

- 120 gallon fuel tank
- 130 gallon hydraulic reservoir

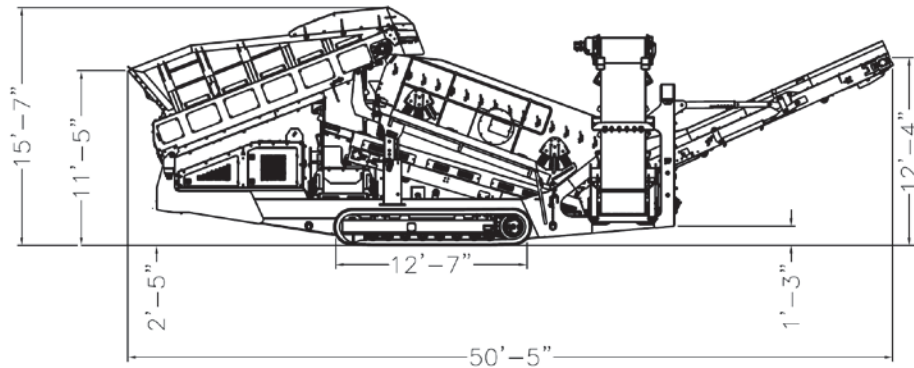
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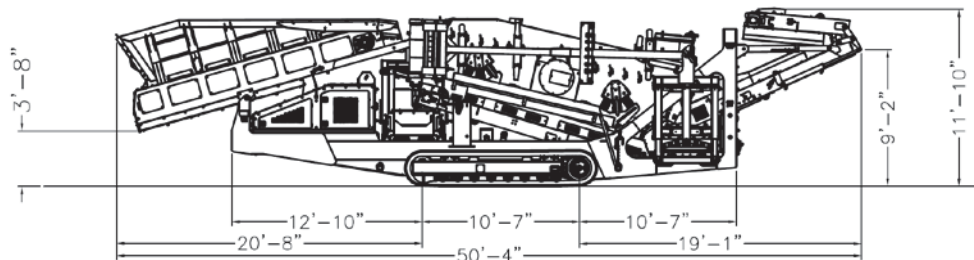
OPTIONS

- Punch Plate Top Deck (Flat or Crowned)
- Grizzly Bars Top Deck
- Finger Bars Top Deck
- Wireless Track Remote
- Tier IV Engine
- Ball Tray for Bottom Deck Module
- Rear Loader Feed Wings
- Hydraulic Grizzly and Bulkhead for Hopper

Operational Mode



Transportation Mode



PHYSICAL OPERATION CHARACTERISTICS

- Overall Length.....50'5"/15.39m
- Travel Length.....50'4"/15.36m
- Operating Height.....15'7"/4.79m
- Travel Height.....11'10"/3.63m
- Operating Width.....53'3"/16.25m
- Travel Width.....10'1"/3.08m
- Unit Weight (Belt Feeder)75,000lbs/34,019kg
- Feed Height (Front Feed).....11'5"/3.51m

- Feed Height (Side Feed).....13'3"/4.05m

APPLICATION PARAMETERS

- Maximum Feed.....24"/610mm
- Maximum Total Products.....(2) sized, 1 oversize

OPERATING SLOPE

- Side to Side.....1% grade
- Front to Back.....3% grade



2704 West LeFevre Road
Sterling, IL 61081
Phone: (815) 626-6374
FAX: (815) 626-6430
mail@kpijci.com
www.kpijci.com

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Because Astec Mobile Screens may use in its catalog & literature, field photographs of its products which may have been modified by the owners, products furnished by Astec Mobile Screens may not necessarily be as illustrated therein. Also continuous design progress makes it necessary that specifications be subject to change without notice. All sales of the products of Astec Mobile Screens are subject to the provisions of its standard warranty. Astec Mobile Screens does not warrant or represent that its product meet and federal, state, or local statutes, codes, ordinances, rules, standards or other regulations, including OSHA and MSHA, covering safety, pollution, electrical wiring, etc. Compliance with these statutes and regulations is the responsibility of the user and will be dependent upon the areas and the use to which the product is put by the user. In some photographs, guards may have been removed for illustrative purposes only. This equipment should not be operated without all guards attached in their normal position. Placement of guards and other safety equipment is often dependent upon the area and the use to which the product is put. A safety study should be made by the user of the application, and, if required additional guards, warning signs and other safety devices should be installed by the user, wherever appropriate before operating the products.

June 22, 2018

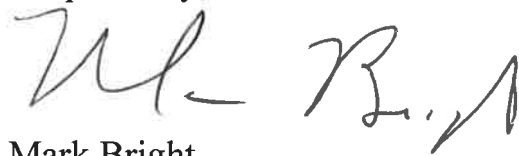
City of Edgerton, KS
404 East Nelson St, Edgerton, KS 66021
Attn: Katy Crow – Development Services Director

RE: Project Mustang Rock Crushing Operation

Dear Katy:

On behalf of Kubota North America Corporation please consider this letter as written permission for Clayco Construction, their subsidiaries or subcontractors to implement rock crushing operation for the purpose of construction Project Mustang on the property as illustrated in their permit submission packet and attached herein.

Respectfully,

A handwritten signature in dark ink, appearing to read 'Mark Bright', is written over the typed name.

Mark Bright
Kubota Tractor Corporation
30901 W. 191st
Edgerton, KS 66021

STAFF REPORT

July 10, 2018

To: Edgerton Planning Commission
Fr: Katy Crow, Development Services Director
Re: Application FS2018-05, Amendment to Final Site Plan FS 2017-01 for Inland Port XXI - Logistic Park Kansas City (UPS Distribution Center)

APPLICATION INFORMATION

Applicant: Jeff Lucero
TruStar Energy CNG
10225 Philadelphia Court
Rancho Cucamonga, CA 91730

Property Owner: ELHC XXI LLC
4825 NW 41st Street, Suite 500
Riverside, MO 64150

Requested Action: Modification and amendment to the approved Final Site Plan for Inland Port XXI, *Logistics Park Kansas City Phase III, Lot 1.*

Legal Description: 4-15-22 BG 582' S & 30' E NW CR NE1/4 E
223.39' ELY CUR LF 359.42' NE 673.75' SE 67.98'
SLY CUR RT 149.64' S 378.42' SLY CUR LF
595.20' SLY CUR RT 578.22' S 634.88' W 1531.88'
N2072.96' TO POB EX 6.22 AC & EX .104 AC
64.151 ACS M/Lin the City of Edgerton, Johnson
County, Kansas.

Site Address/Location: 19400 Essex Street, approximately 64 acres
located along the south side of 199th Street and
the west side of Essex Street.

Existing Zoning and Land Uses: Zoned L-P (Logistics Park District) – IP XXI – UPS
Distribution Center.

Existing Improvements: UPS Distribution Center

Site Size: UPS total site approximately 64 Acres; project site
646 Square Feet

PROJECT DESCRIPTION

The applicant is seeking to modify the previously approved Final Site Plan (FS 2017-01) to accommodate the construction of a Compressed Natural Gas (CNG) fueling facility. The approved Final Site Plan met requirements outlined under L-P, Logistic Park District zoning requirements. The CNG facility consists primarily of 15 dual hose time-fill stations (30 stations), 3 (three) fast-fill stations, accompanying appurtenances, and an equipment compound area.

The submitted modified Final Site Plan sheet set includes general information about the development including the overall general layout, details and layout of equipment areas, a landscape plan, grading and drainage plans, a traffic circulation plan and a photometric. The information and details submitted as part of this modified Final Site Plan are for only the specified area and associated activity. These plans shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument.

STAFF ANALYSIS

Staff has reviewed this modified Final Site Plan submittal for compliance with Article 10 - *Site Plans and Design Standards*, Article 5.2 - *Logistics Park District* and Article 12 - *Sign Regulations*. The combined details of that review are listed below.

Article 10.1.D -- Contents of Site Plans

1. Landscape plan and table (Sheet L-01 and L02)
 - a) A landscape plan drawn to scale, showing the site, building location, planting and seeding schedules, refuse and outdoor storage screening and boundary screening. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. ***Applicant has indicated existing and proposed landscaping on submitted revised plans. Site Plan Complies.***
2. Site map (TruStar Energy Sheets S-2, S-2A, C-1, C-2, C-3, C-4, E-1; RIC Sheets L01, L02, C04-C06)
 - a) A sketch of the entry sign, and all other free-standing, façade, and building signs to be used on the premises. *Site signage and its location is not currently shown. Approval of site signage is granted under a separate approval process and any proposed signage will be evaluated upon receipt of a signage application. Applicant acknowledges.*

Section 5.2 Logistics Park (L-P) District regulations

DESIGN GUIDELINES:

1. The City may require that loading and service areas are screened from public view with landscaping, berming, facade walls, or fencing. *A landscape buffer is required along the perimeter of the CNG Fueling facility addition to create visual screening. Applicant has submitted a revised Site Plan which includes a tan, 8-foot vinyl fence around the compound area with bollards that contain polyethylene thermoplastic sleeves. The 6-foot vinyl coated 1-inch steel fencing that currently surrounds the operations area of UPS will be extended to surround the enclosed compound and the fill stations. Landscaping plans indicate that landscaping will be installed on the exterior of the vinyl coated steel fencing. Site Plan Complies.*

General Comments

1. SWPPP has been submitted and reviewed by the City Engineer.

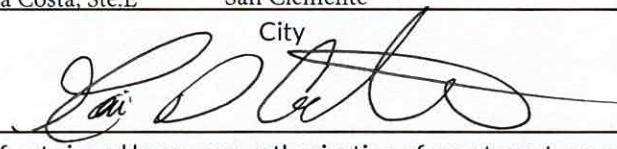
RECOMMENDATION

City staff recommends **approval** of FS2018-05 for the Final Site Plan, subject to the following stipulations.

1. The aforementioned recommendations are stipulated to as a part of this approval and incorporated into the Final Site Plan document set.
2. All infrastructure requirements of the City shall be met.
3. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City.
4. No signage is proposed with this application. Signage proposed later shall receive separate approval according to the provisions of the UDC.
5. A construction/building permit document set must be submitted and approved prior to commencement of any construction activities.
6. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the City Council shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

ATTACHMENTS

- Final Site Plan Application No. FS2018-05
- Amended Final Site Plan – Revised per Staff Comments on 06-12-18 includes landscape plan
- Sample Photos – Equipment Compound, Fast Fill Dispenser and Time Fill Dispenser Area
- Stormwater Drainage Memo

☒ PRELIMINARY SITE PLAN*Amendment to FS 2017-01*
☒ FINAL SITE PLANNAME OF PROPOSED SUBDIVISION: UPS Edgerton CNG Fueling StationLOCATION OR ADDRESS OF SUBJECT PROPERTY: 19400 Essex St.LEGAL DESCRIPTION: 4-15-22 BG 582' S & 30' E NW CR NE1/4 E 223.39' ELY CUR LF 359.42' NE 673.75' SE 67.98' SLY CUR RT 149.64' S 378.42' SLY CUR LF 595.20' SLY CUR RT 578.22' S 634.88' W 1531.88' N2072.96' TO POB EX 6.22 AC & EX .104 AC 64.151 ACS M/LCURRENT ZONING ON SUBJECT PROPERTY: L-P CURRENT LAND USE: 3610-Warehouse distribution/storage facilityTOTAL AREA: 63.67 Acres NUMBER OF LOTS: _____ AVG. LOT SIZE: _____ Sq. Ft.DEVELOPER'S NAME(S): Jeff Lucero PHONE: (909) 793-3700COMPANY: TruStar Energy LLC FAX: (909) 793-8056MAILING ADDRESS: 10225 Philadelphia Ct. Rancho Cucamonga CA 91730
Street City State ZipPROPERTY OWNER'S NAME(S): ELHC XXI, LLC - Attn: Greg Norris PHONE: (816) 888-7381COMPANY: ELHC XXI LLC FAX: _____MAILING ADDRESS: 4825 NW 41st St., Apt. 500 Riverside MO 64150
Street City State ZipENGINEER'S NAME(S): Tim Nelligan PHONE: (949) 885-9890COMPANY: Katahdin Environmental FAX: _____MAILING ADDRESS: 3553 Camino Mira Costa, Ste.E San Clemente CA 92672
Street City State ZipSIGNATURE OF OWNER OR AGENT: 

If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLYCase No.: FS 2018-05 Amount of Fee Paid: \$ 200.00 Date Fee Paid: 4/26/18Received By: Debra Stragg Date of Hearing: —**SITE PLAN INSTRUCTIONS****SUBMITTAL DEADLINE:** The applicant shall submit an application at least thirty (30) working days prior to a scheduled meeting.**NOTICE REQUIREMENTS:** The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.

vs. 9-9-11

DESIGN STANDARDS: Applicants within the Logistics Park (L-P) District should abide by the district regulations and design standards set forth in Section 5.2 of the Edgerton Unified Development Code. These regulations and design standards include, but are not limited to, building placement, architectural design standards, parking and loading, access management, photometrics, landscaping, signage and diesel emissions.

PLANNING COMMISSION REVIEW: The Edgerton Planning Commission meets in the City Hall on the second Tuesday of every month. The Planning Commission shall review the site plan to determine conformity with the design guidelines and other requirements included within the Edgerton Uniform Development Code.

APPROVAL LIMITATIONS: If the Final Site Plan is in conformance with an Approved Preliminary Site Plan, notice and publication of Planning Commission or City Council meetings is not required.

CHECKLIST

The following items shall be included on the site plan. All (FINAL) Site Plans must be submitted on superior quality paper in a 24 x 36 inches format (or a format specified by the Zoning Administrator). The scale shall be a professionally acceptable standard suitable to the area of the proposed project.

Front or Cover Sheet

- ☒ A scale, vicinity map showing the relationship of the site to surrounding neighborhoods, roads and other physical features.
- ☒ A project title, zoning designation and project sponsor.
- ☒ A street, lot or tract address of the project.
- ☒ An index to contents and a data table which includes:
 - ☒ Acreage of the site and number of units per acre (if applicable)
 - ☒ Gross square feet of the building(s) area
 - ☒ Proposed use of each building
 - ☒ Number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load
 - ☒ Total number of parking places
- ☒ Name of the architect, engineer, surveyor or draftsman.
- ☒ Following certificates and signature blocks:

CERTIFICATE:

Received and placed on record this _____ day of _____, 20____ by

_____(Zoning Administrator).

Approved by the Edgerton City Planning Commission this _____ day of _____, 20____ by

_____(Chair of Planning Commission).

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant signature _____ Date _____

Sheet #2

- ☒ A landscape plan drawn to scale, showing the site, building location, planting and seeding schedules, refuse and outdoor storage screening and boundary screening. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives.
- N/A ☐ A table entitled "Planting Schedule" which lists the common name, size and condition of all planting materials, together with a timetable for planting.

Sheet #3

- ☒ A site map with the following features:
- ☒ Topography at reasonable intervals
 - ☒ Exterior lot lines with any survey pins
 - ☒ Location of buildings
 - ☒ Parking areas, paths, walks with sizes and surfaces material specifications
 - ☒ Exterior lighting specifications
 - ☒ Site entrance and connections to streets
 - ☒ Location of easements
 - ☒ Connection point for utilities
- N/A ☐ A sketch of the entry sign, and all other free-standing, façade, and building signs to be used on the premises
- N/A ☐ Features to facilitate handicapped access
- N/A ☐ Profile and detail for roads (if required)

Sheet #4

- N/A ☐ Scale drawing of building floor plans
- N/A ☐ Dimensions and use of rooms and areas
- N/A ☐ Dimensions of entrances/exits and corridors
- N/A ☐ Interior specifications for handicapped accessibility as required by ANSI 117.1 and this ordinance

Sheet #5 (if requested)

- N/A ☐ Scale drawings of all building elevations
- N/A ☐ Roof pitch and materials
- N/A ☐ Siding type and materials, including facie

ADDITIONAL REQUIREMENTS: Depending upon circumstances (especially buildings used for assembly), the Planning Commission may require additional sheets for mechanical and electrical and building materials specifications. The Planning Commission may also require additional information for hazardous material or other environmental impacts.

April 23, 2018

City of Edgerton
404 East Nelson
Edgerton, KS 66021
(913) 893-6231

RE: UPS Edgerton CNG Fueling Station
19400 Essex St.
Edgerton, KS 66021

Permit Department,

Please allow TruStar Energy to sign all permitting applications on behalf of ELHC XXI LLC, as the authorized agent on the UPS Edgerton CNG Station project.

Sincerely,



Nathaniel Hagedorn
Manager, ELHC XXI, LLC

GENERAL NOTES

- CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, OMISSIONS AND/OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF CONTRACT DOCUMENTS, AND ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE.
- CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL PERMITS REQUIRED FOR THIS PROJECT.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE PROJECT DESIGN IS COMPLIANT WITH THE SCOPE OF WORK (THIS SHEET). ANY SPECIFIC EQUIPMENT SHOWN IN THESE DRAWINGS IS CONCEPTUAL ONLY UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OF ANY DISCREPANCY, INCONSISTENCY OR OMISSION BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF ALL REGULATING AGENCIES HAVING JURISDICTION OVER ANY OR ALL PORTIONS OF THE WORK INCLUDING THE STATE AND GSA.
- ALL WORK TO CONFORM TO THE BEST PRACTICES PREVAILING IN THE VARIOUS TRADES AT THE TIME OF THE WORK.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. DO NOT SCALE DIMENSIONS FROM DRAWINGS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN ON THESE DRAWINGS OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL COSTS OF REPAIR OR REPLACEMENT DUE TO SUCH DAMAGE IN THE EXECUTION OF THIS WORK.
- NO STRUCTURAL MEMBER IS TO BE CUT FOR PIPES, CONDUITS, ETC. UNLESS SHOWN ON THE STRUCTURAL DRAWINGS. ALL OTHER DRAWINGS AND SPECIFICATIONS BY OTHERS SHOWING SUCH MUST BE APPROVED BY A STRUCTURAL ENGINEER.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND NOT LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL INDemnIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO BRACING AND SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, TEMPORARY STRUCTURES AND PARTIAL STRUCTURES, AND PARTIALLY COMPLETED WORK, ETC.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION.
- CONTRACTOR'S SCOPE OF WORK INCLUDES COORDINATING THE WORK OF ALL SUBCONTRACTORS AND CONSULTANTS.
- ANY DAMAGE TO THE EXISTING BUILDING AND ITS CONTENTS DURING THE EXECUTION OF THIS WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL MAINTAIN A SET OF AS-BUILT DRAWINGS AS WORK PROGRESSES ON THE JOB SITE.
- CONTRACTOR SHALL PROVIDE THE OWNED COPIES OF INSTALLATION, MAINTENANCE, AND OPERATION MANUALS OF ALL EQUIPMENT INSTALLED.
- ACCESS TO FIRE SAFETY EQUIPMENT MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.
- CONTRACTOR TO REMOVE ALL EXCAVATED MATERIAL AND DEBRIS.
- NEW CONCRETE SHALL CONFORM TO AC AND ACI CODE.
- THE OWNER OF THE FACILITY SHALL INSURE THE SAFE OPERATION OF THE CNG FUELING EQUIPMENT AND TRAINING OF USERS.

SPECIAL INSPECTIONS:

- SPECIAL INSPECTION IS REQUIRED FOR THE INSTALLATION OF ANCHOR BOLTS.
- SPECIAL TESTING IS REQUIRED FOR HIGH PRESSURE GAS TESTING. SEE SHEET P-200 FOR PRESSURE TESTING PROCEDURES.

SITE DATA TABLE

LOT 1 ACREAGE:	66.462 ACRES
TRACT A ACREAGE:	3.038 ACRES
TOTAL LAND AREA:	69.500 ACRES

CNG STATION DATA TABLE	
BUILDING AREA:	N/A
PROPOSED BUILDING USE:	FUELING FACILITY
TOTAL NUMBER OF PROPOSED STALLS:	30
TOTAL NUMBER AKA STALLS:	N/A
NUMBER OF EMPLOYEES:	N/A
BOCA BUILDING CODE:	N/A
EQUIPMENT COMPOUND	
TIME-FILL AREA #1	272 SQ. FT.
TIME-FILL AREA #2	338 SQ. FT.
TIME-FILL AREA #3	36 SQ. FT.
TOTAL	646 SQ. FT.

LEGAL

ALL OF LOT 1, LOGISTICS PARK KANSAS CITY PHASE II, FIRST PLAT, A SUBDIVISION OF LAND IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS.

JOHNSON COUNTY BENCHMARK

- JOHN BM181
REINSTEIN ALUMINUM DISK STAMPED BM 1181, LOCATED ON CENTER WEST END OF THE NORTH HEADWALL ROB. FROM THE INTERSECTION OF WAREWYER ROAD AND 191ST STREET, GO WEST 0.10 MILES TO ROB. ELEV: 1010.97
- JOHN BM138
REINSTEIN ALUMINUM DISK STAMPED BM 1138, LOCATED ON CENTER SOUTH END OF THE WEST HEADWALL ROB. FROM THE INTERSECTION OF FOUR CORNERS ROAD AND 191ST STREET, GO SOUTH 0.20 MILES TO ROB. ELEV: 984.93
- BM #3
A "4" CUT LOCATED ON THE NORTHWEST CORNER OF A CURB INLET AT THE SOUTHWEST CORNER OF LOGISTICS PARK KANSAS CITY LOT 1, FROM THE INTERSECTION OF WAREWYER ROAD AND 191ST STREET, GO WEST .056 MILES TO CURB INLET. ELEV: 1033.40
- BM #4
A "4" CUT LOCATED ON THE NORTHWEST CORNER OF A CURB INLET AT THE SOUTHWEST CORNER OF LOGISTICS PARK KANSAS CITY LOT 1, FROM THE INTERSECTION OF WAREWYER ROAD AND 191ST STREET, GO WEST .038 MILES TO CURB INLET. ELEV: 1033.40

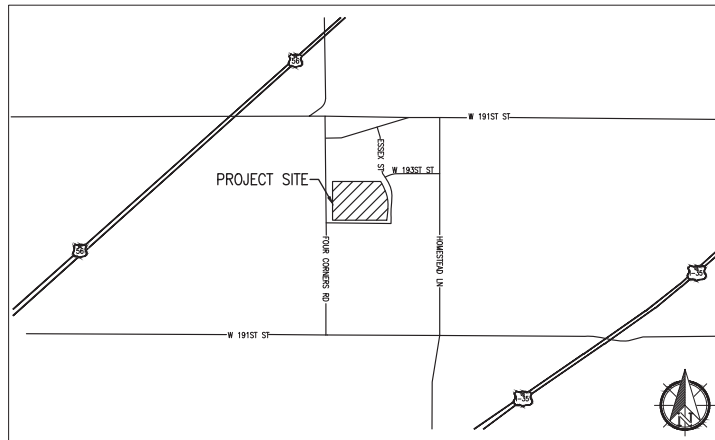
UTILITIES	
ELECTRIC	SEWER
KANSAS CITY POWER AND LIGHT	CITY OF EDGERTON
	404 EAST NELSON
	P.O. BOX 255
GAS	TELEPHONE
KANSAS GAS SERVICE	EDGERTON, KANSAS
11401 WEST BIRTH ST	PHONE: 913.889.6231
OVERLAND PARK, KANSAS	CABLE
PHONE: 913.599.8981	CENTURY LINK
	PHONE: 800.788.3500
JOHNSON RURAL WATER DISTRICT 7	
534 WEST MAIN	CENTURY LINK
GARDNER, KANSAS	PHONE: 877.837.5738
PHONE: 913.856.7173	

AMENDED FINAL SITE PLAN - UPS EDGERTON CNG FUELING FACILITY

19400 ESSEX
EDGERTON, KS
CNG FUELING FACILITY

PARCEL NO. BF221504-3010
FEMA FLOOD ZONE: X
ZONING: L-P

VICINITY MAP



PROJECT SITE



PROJECT DESCRIPTION:

INSTALLATION OF COMPRESSED NATURAL GAS (CNG) FUELING STATION EQUIPMENT TO SUPPLY FUEL TO THE CLIENT'S NATURAL GAS VEHICLE FLEET.

- EQUIPMENT:
- (4) ANGI M3030 COMPRESSORS - 200HP
 - (1) ANGI DRIVER - G2-308-54-400-150-4
 - (2) ASME STORAGE CYLINDER - 37" (3 PACK)
 - (1) ANGI SERIES II DISPENSER SINGLE HOSE - CT5000
 - (1) ANGI SERIES II DISPENSER DUAL HOSE - CT1000
 - (1) DUAL BUFFER W/TIME FILL PANEL
 - (1) DUAL MOTOR STARTER PANEL - 800A
 - (1) SERVICE ENTRANCE RATED MANUAL TRANSFER SWITCH W/ DISTRIBUTION - 1600A
 - (1) COMMUNICATIONS PANEL
 - (1) DE-FUELING PANEL (DUAL HOSE)
 - (1) FILTER STAND W/ CNG METER - 2 ASSEMBLIES
 - (1) FILTER STAND - 1 ASSEMBLY
 - (15) TIME-FILL POSTS - DUAL HOSE - LOCAL VENT/ DUAL OPPOSITE
 - (2) SINGLE HEAD - 25" LED LIGHT POSTS
 - (3) DUAL HEAD - 25" LED LIGHT POSTS
 - (1) DUAL HEAD - 20" LED LIGHT POST
 - (1) SINGLE HEAD - 15" LED LIGHT POSTS
 - (3) EMERGENCY-SHUT DOWN SWITCH - 6" DIRECT BURIAL W/ FIRE EXTINGUISHER
 - (3) EMERGENCY-SHUT DOWN SWITCH ONLY
 - (12) 8" BOLLARDS
 - (64) 4" BOLLARDS
 - ~ CIRCUMFERENCE 165 LF
 - ~ TAN VINYL FENCE 250 LF

CODE COMPLIANCE

THE SYSTEM SHALL BE DESIGNED IN FULL COMPLIANCE WITH THE LATEST EDITION OF THE APPLICABLE SECTIONS OF THE FOLLOWING CODES, STANDARDS, AND GUIDELINES AS AMENDED BY THE STATE HAVING JURISDICTION WHERE CONFLICT EXISTS. CONTRACTOR SHALL FOLLOW THE MOST STRINGENT REQUIREMENTS, IN CASE OF A CONFLICT BETWEEN THE NATIONAL FIRE PROTECTION ASSOCIATION, AND GSA STANDARDS, THE MOST STRINGENT CONDITION SHALL APPLY:

- 2006 EDITION, INTERNATIONAL BUILDING CODE
2018 EDITION, INTERNATIONAL PLUMBING CODE
2018 EDITION, INTERNATIONAL FUEL GAS CODE
2018 EDITION, INTERNATIONAL MECHANICAL CODE
2018 EDITION, INTERNATIONAL FIRE CODE
2005 EDITION, NATIONAL ELECTRIC CODE
- INDUSTRY STANDARDS
- AMERICAN CONCRETE INSTITUTE (ACI)
AMERICAN GAS ASSOCIATION NATURAL GAS VEHICLE (AGA-NGV)
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
AMERICAN PETROLEUM INSTITUTE (API)
AMERICAN STANDARD MECHANICAL ENGINEERS (ASME)
AMERICAN SOCIETY OF TESTING MATERIALS (ASTM)
AMERICAN WELDING SOCIETY (AWS)
INSTRUMENT SOCIETY OF AMERICA (ISA)
INTERNATIONAL APPROVAL SERVICES (IAS)
NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA)
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) #52
NATIONAL INSTITUTE OF STANDARDS AND TESTING (NIST)
OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
SOCIETY OF AUTOMOTIVE ENGINEERS (SAE)
UNDERWRITERS LABORATORY (UL) AND/OR FACTORY MUTUAL (FM)

TRUSTAR SHEET INDEX

- G-1 GENERAL - TITLE SHEET
S-2 GENERAL - SITE PLAN
S-3A GENERAL - PROJECT AREA
C-1 CIVIL - EQUIPMENT AREA
C-2 CIVIL - TIME-FILL AREA
C-3 CIVIL - FAST-FILL AREA
C-4 CIVIL - FAST-FILL AREA
E-1 ELECTRICAL - PHOTOGRAPHIC

CIVIL ENGINEER

TIM NELLIGAN P.E.
KATAHAIN ENVIRONMENTAL
26882 CALLE HERMOSA UNIT 3
CAPSTRAND BEACH, CA 92624
(949) 885-8890

PROJECT ENGINEER

PATRICK CASSIDY P.E.
RENAISSANCE INFRASTRUCTURE CONSULTING
5015 NW CANAL ST SUITE 100
RIVERIDE, MO 64150
(816) 800 0950

RENAISSANCE INFRASTRUCTURE CONSULTING INDEX

- C04 GRADING PLAN
C06 TRUCK CIRCULATION PLAN
L01 OVERALL LANDSCAPE PLAN
L02 LANDSCAPE PLAN

ELECTRICAL ENGINEER

LED MATH P.E.
DESIGN WEST ENGINEERING
270 W. HOSPITALITY LANE, SUITE 100
SAN BERNARDINO, CA 92408
(909) 890-3700

CERTIFICATE:

RECEIVED AND PLACED ON RECORD THIS ____ DAY OF ____, 20____.

(ZONING ADMINISTRATOR)

APPROVED BY EDGERTON CITY PLANNING COMMISSION THIS ____ DAY OF ____, 20____.

JOHN DALEY, CHAIR OF THE PLANNING COMMISSION

KATY CROW, ZONING ADMINISTRATOR

I CERTIFY THAT I HAVE REVIEWED THIS SITE PLAN AND WILL COMPLY WITH ALL SPECIFICATIONS, CHANGES, AND AMENDMENTS HEREIN, AND THAT THIS INSTRUMENT CREATES A LEGALLY ENFORCEABLE OBLIGATION TO BUILD AND DEVELOP IN ACCORDANCE WITH ALL FINAL AGREEMENT.

APPLICANT SIGNATURE: _____ DATE: _____
JEFF LUCERO
TRUSTAR ENERGY LLC

OWNER

UPS EDGERTON
19400 ESSEX ST
EDGERTON, KS
404-826-6906

GENERAL CONTRACTOR:

TRUSTAR ENERGY
10225 PHILADELPHIA CT
RANCHO CUCAMONCA, CA 91730
(909) 793-3700



AMENDED FINAL SITE PLAN - UPS EDGERTON CNG FUELING FACILITY

19400 ESSEX ST.
EDGERTON, KS 66021



3553 CAMINO MIRRA COSTA SUITE E
SAN CLEMENTE, CA 95072
CA PE LICENSE # 68666

REVISIONS	NO.	DATE	BY	REMARK
	1	6/11/18	SR	SITE PLAN COMMENTS

GENERAL - TITLE SHEET

DRAWN: SBR
CHECKED: SRR
DATE: 06/11/18
SCALE: AS SHOWN
JOB NO: 18019

G-1

LEGEND:

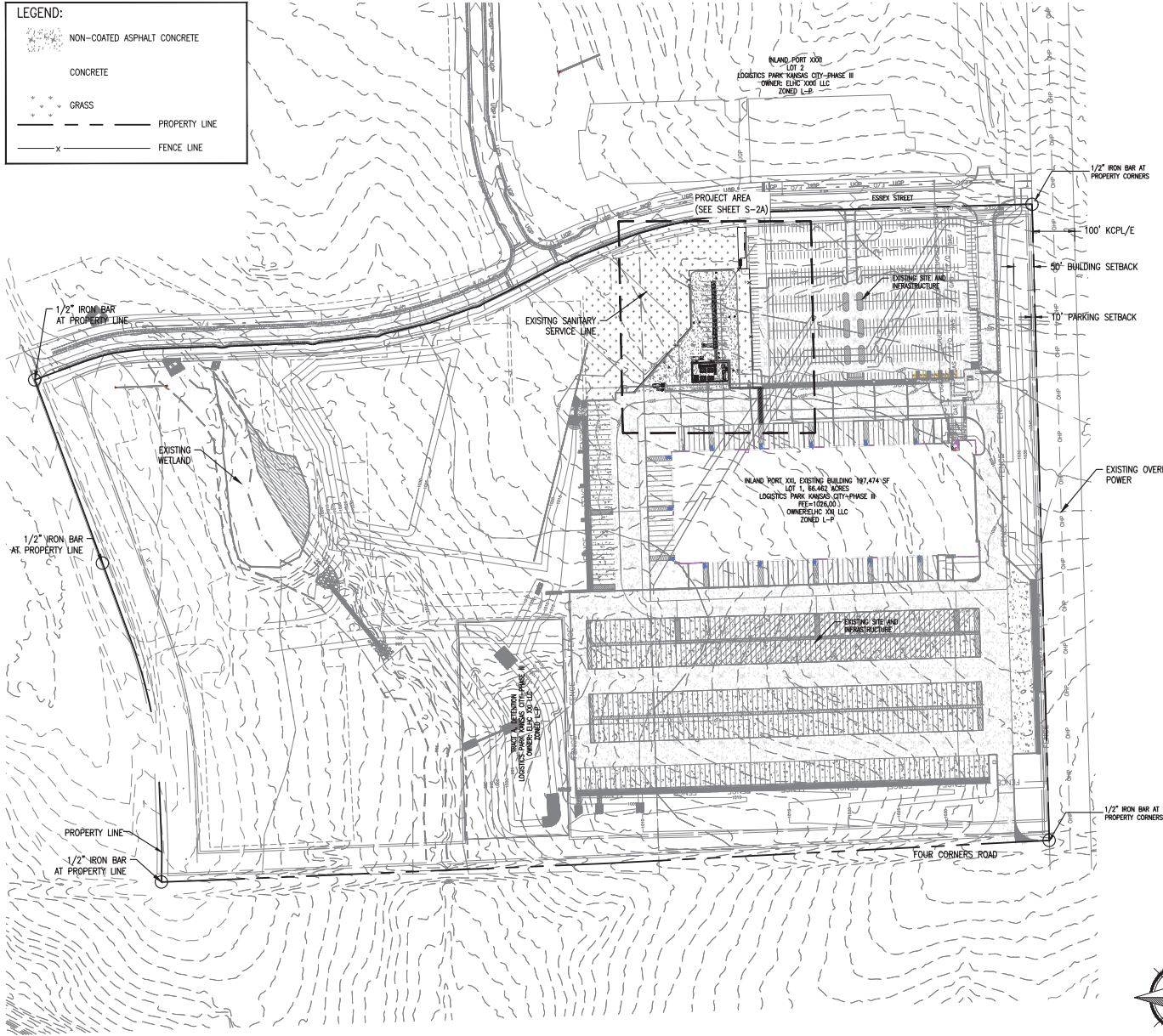
NON-COATED ASPHALT CONCRETE

CONCRETE

GRASS

PROPERTY LINE

FENCE LINE

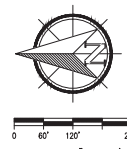


- LAYOUT & PAVING NOTES
1. All construction shall conform to the City of Edgerton's minimum design standards.
 2. Contractor shall keep a full set of KC-APWA Standard Details onsite at all times.
 3. The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies to the architect/engineer prior to beginning work.
 4. The contractor shall verify the exact location of all existing utilities, take care to protect utilities that are to remain, and repair contractor caused damage according to current local standards and at the contractor's expense. Coordinate all construction with the appropriate utility company.
 5. The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work.
 6. Prior to installing, or performing any work in the public right of way or on the public storm sewer line (including concrete pavement or connecting private drainage systems to the storm sewer), contact City of Edgerton Public Works at 813.883.6807 for inspection of the work. Contact must be made at least 24 hours prior to start of the work.
 7. Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Adjust all utilities prior to installation of pavement.
 8. The contractor shall protect all trees to remain, in accordance with the specifications. Do not operate or store heavy equipment, nor handle, nor store materials within the drip lines of trees or outside the limit of grading.
 9. Concrete walks and pads shall have a broom finish. All concrete shall be 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalks and ramp forms prior to placement of concrete.
 10. All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
 11. Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
 12. Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
 13. Parking stripes shall be 4-inch wide pavement paint.
 14. For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.
 15. All concrete pavement to contain joint sealant in contraction joints.

- PAVEMENT MARKING AND SIGNAGE NOTES
1. Parking stall marking stripes shall be four inch (4") wide white stripes. Handicap stall marking shall be furnished at locations shown on plans.
 2. Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform Traffic Control Devices."
 3. Traffic control and pavement markings shall be painted with a white Sherwin Williams S-W traffic marking series S-2502 or approved equal. The pavement marking shall be applied in accordance with the recommendations of the Manual of Uniform Traffic Control Devices. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

- GRADING NOTES
1. All construction shall conform to the City of Edgerton's minimum design standards.
 2. Spot Grades shown herein shall govern over finished grades.
 3. All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
 4. The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
 5. The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
 6. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
 7. The contractor shall seal all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
 8. Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
 9. All work shall be confined within easements and/or construction limits as shown on the plans.
 10. Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
 11. All National Pollution Discharge Elimination System (NPDES) standards shall be met.
 12. Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.
 13. All exterior doors shall have a landing area with a minimum width and length of 60"x60" with a maximum slope of 2% in all directions.

- ADA ACCESSIBLE ROUTE NOTES
1. All Accessible route construction shall conform to the latest version of the ADA Standards for Accessible Design published by the Department of Justice and the Proposed Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way published by the United States Access Board.
 2. Other than ramps and ramp runs, walking surfaces must have running slopes not steeper than 1:20.
 3. The cross slope of walking surfaces shall not be steeper than 2%.
 4. The minimum width for a linear segment of accessible route shall be 36 inches.
 5. Where the accessible route makes a 180 degree turn around an element which is less than 48 inches wide, clear width shall be 42 inches minimum approaching the turn, 48 inches minimum at the turn and 42 inches leaving the turn.
 6. An accessible route with a clear width less than 60 inches shall provide passing spaces at intervals of 200 feet maximum. Passing spaces shall be 60 inch by 60 inch minimum.
 7. Ramp runs shall have a running slope not steeper than 1:12.
 8. Ramp runs with a rise greater than 6 inches shall have handrails.
 9. Ramp landings with a maximum slope of 1:50 shall be provided before and after ramp runs.
 10. The maximum rise of a ramp run shall be 30 inches.
 11. The maximum counter slope between the pavement and the curb at a curb ramp shall be 1:20.
 12. Curb ramp landings with a maximum slope of 1:48 shall be provided at the top of curb ramps with a clear width of 60 inches.
 13. Detectable warning surfaces complying with the latest ADA Standards shall be provided at pedestrian street crossings and refuge islands.
 14. Passenger loading zones shall be provided adjacent to any ADA Accessible stall and have a 2% maximum slope in all directions.
 15. Contractor to field verify existing site conditions and contact the engineer if field conditions do not match plan prior to construction.
 16. City and design engineer will field verify ADA facilities for conformance to ADA guidelines.



OWNER
UPS EDGERTON
UPS EDGERTON, KS
404-626-6906

GENERAL CONTRACTOR
TruStar Energy CNG
10025 PALMDENA CT.
RANCHO CUCAMONCA, CA. 91730
(909) 793-3700

AMENDED FINAL SITE PLAN - UPS EDGERTON CNG FUELING FACILITY

19400 ESSEX ST.
EDGERTON, KS 66021



Katahdin Environmental

3553 CAMINO MIRLA COSTA SUITE E
SAN CLEMENTE, CA 92672
CA PE LICENSE # 68666

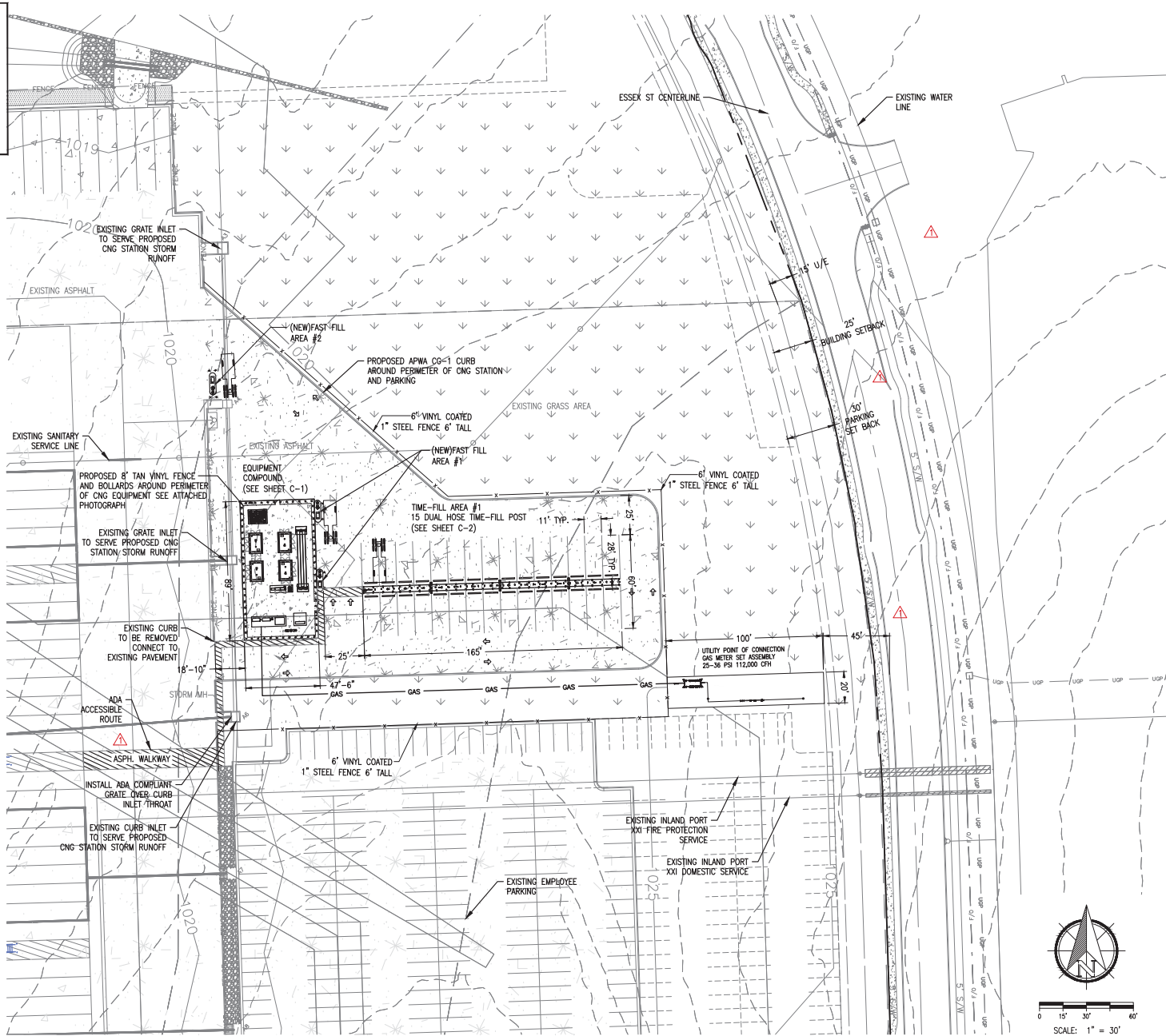
REVISIONS	NO.	DATE	BY	REMARK	SITE PLAN COMMENTS
	1	6/11/18	SR		

SITE PLAN

DRAWN: SBR
CHECKED: SRR
DATE: 06/11/18
SCALE: AS SHOWN
JOB NO: 18019

S-2





**AMENDED FINAL SITE
PLAN - UPS EDGERTON
CNG FUELING FACILITY**



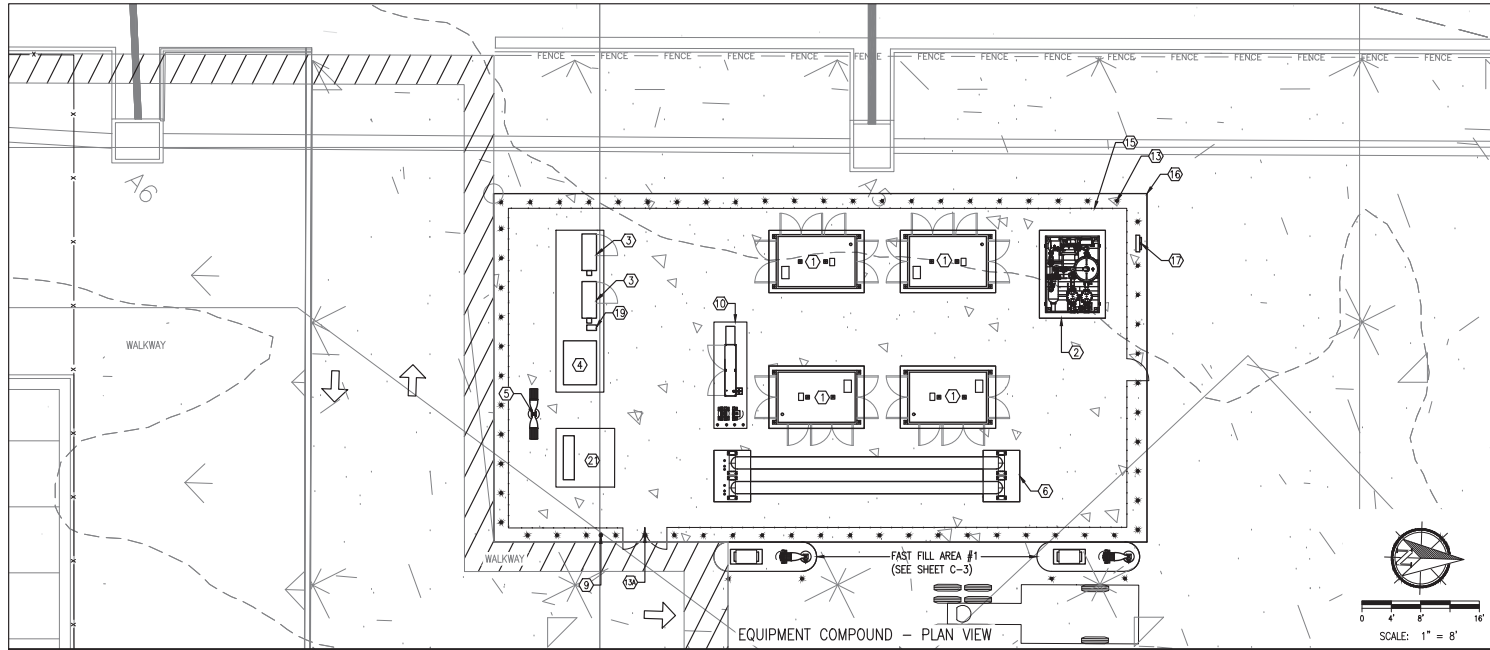
3553 CAMINO MIRA COSTA SUITE E
SAN CLEMENTE, CA 92672
CA PE LICENSE # 68666

[illegible]

PROJECT AREA

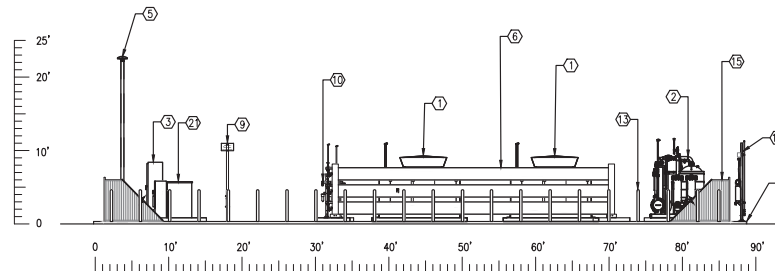
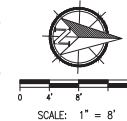
DRAWN: SBR
CHECKED: SRR
DATE: 06/11/18
SCALE: AS SHOWN
JOB NO: 18019

S-2A



- EQUIPMENT LIST:**
- ① ANGI 300 COMPRESSOR (QTY 4)
 - ② ANGI GD-036-S-M-460-150-4 DRYER
 - ③ DUAL MOTOR STARTER PANEL
 - ④ MANUAL TRANSFER SWITCH - SERVICE ENTRANCE RATED 1,600 AMP
 - ⑤ 20" DUAL HEAD LED
 - ⑥ 37" STORAGE BOTTLE (3 PACK)
 - ⑦ TIME FILL POST DUAL OPPOSITE*
 - ⑧ FILTER STAND
 - ⑨ EMERGENCY SHUT-DOWN SWITCH W/ FIRE EXTINGUISHER
 - ⑩ BUFFER PANEL W/FILTER STAND
 - ⑪ WHEEL STOP (QTY. 30)*
 - ⑫ GUARD RAIL*
 - ⑬ 4" FIXED BOLLARD
 - ⑭ 4" REMOVABLE BOLLARD
 - ⑮ 8" FIXED BOLLARD**
 - ⑯ 8' TAN VINYL FENCE
 - ⑰ 4" HOUSEKEEPING PAD
 - ⑱ DE-FUELING POST
 - ⑲ UTILITY METER SET ASSEMBLY****
 - ⑳ COMMUNICATION PANEL
 - ㉑ 25' LIGHT*
 - ㉒ UTILITY TRANSFORMER
 - ㉓ ANGI SINGLE HOSE DISPENSER - HIGH FLOW**
 - ㉔ ANGI DUAL HOSE DISPENSER - LOW FLOW**
 - ㉕ 15' LIGHT***

SEE SHEET C-2*
SEE SHEET C-3**
SEE SHEET C-4***
SEE SHEET S-2A****



SCALE: 1" = 8'

AMENDED FINAL SITE PLAN - UPS EDGERTON CNG FUELING FACILITY 19400 ESSEX ST. EDGERTON, KS 66021



3553 CAMINO MIRA COSTA SUITE E
SAN CLEMENTE, CA 92072
CA PE LICENSE # 68666

REVISIONS	NO.	DATE	BY	REMARK
	1	6/11/18	SR	SITE PLAN COMMENTS

CIVIL - EQUIPMENT AREA

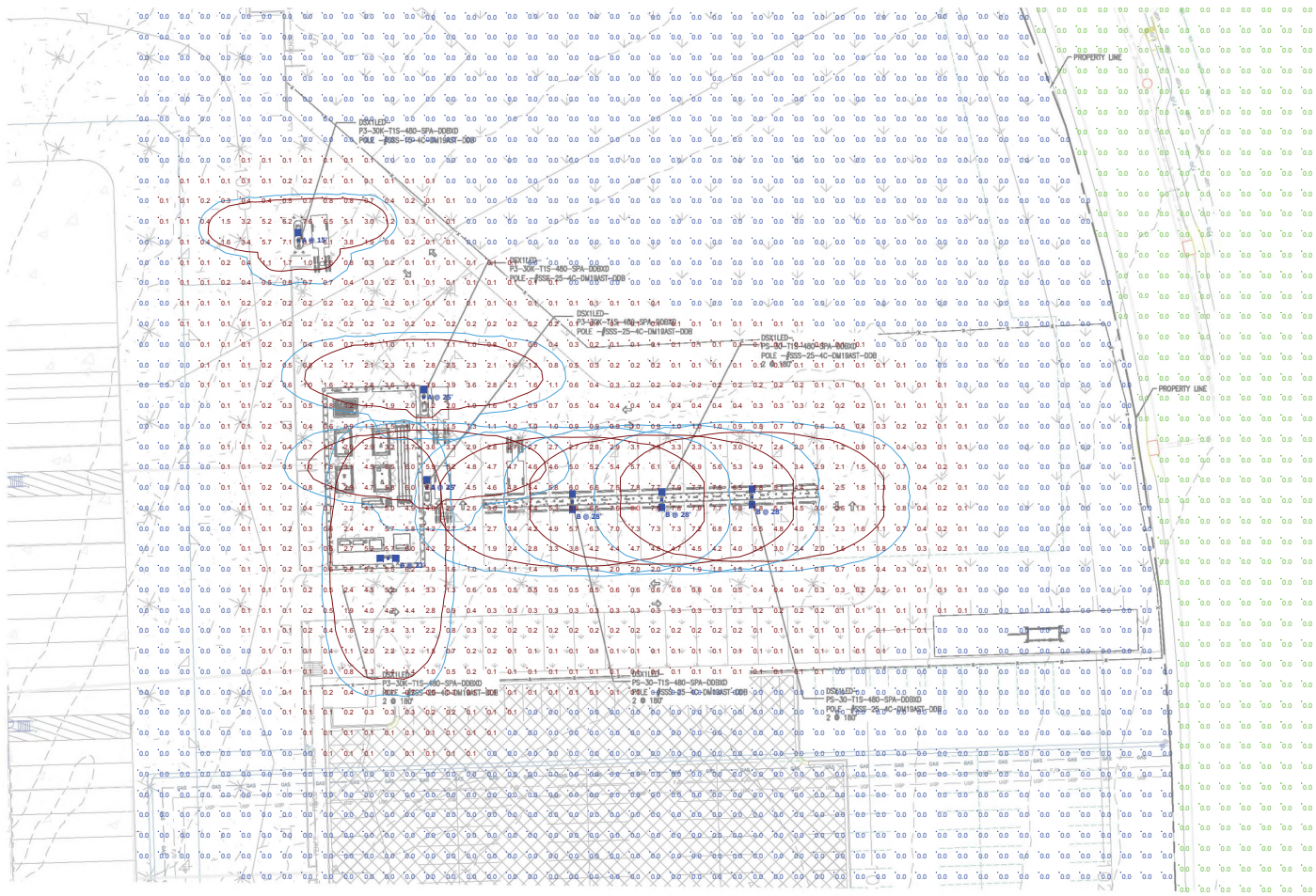
DRAWN: SBR
CHECKED: SRR
DATE: 06/11/18
SCALE: AS SHOWN
JOB NO: 18019

C-1

OWNER
UPS EDGERTON
19400 ESSEX ST.
EDGERTON, KS
404-626-6906

GENERAL CONTRACTOR
TRUSTAR ENERGY
10025 PHILADELPHIA CT.
RANCHO CUCAMONCA, CA. 91730
(909) 793-3700





Plan View
Scale - 1" = 20ft

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename
	A	3	Lithonia Lighting	DSX1 LED P3 30K T15 MVOLT	DSX1 LED P3 30K T15 MVOLT	LED	1	DSX1_LED_P3_30K_T15_MVOLT.ie
	B	4	Lithonia Lighting	DSX1 LED P3 30K T15 MVOLT	DSX1 LED P3 30K T15 MVOLT	LED	1	DSX1_LED_P3_30K_T15_MVOLT.ie

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
behind Property Line		0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Site		0.5 fc	8.0 fc	0.0 fc	N/A	N/A



CORNER
UPS EDGERTON
EDGERTON, KS
404-626-6906
GENERAL CONTRACTOR:
TRUSTAR ENERGY
10025 PHILADELPHIA CT
RANCHO CUCAMONCA, CA. 91730
(909) 793-3700



AMENDED FINAL SITE PLAN - UPS EDGERTON CNG FUELING FACILITY

19400 ESSEX ST.
EDGERTON, KS 66021



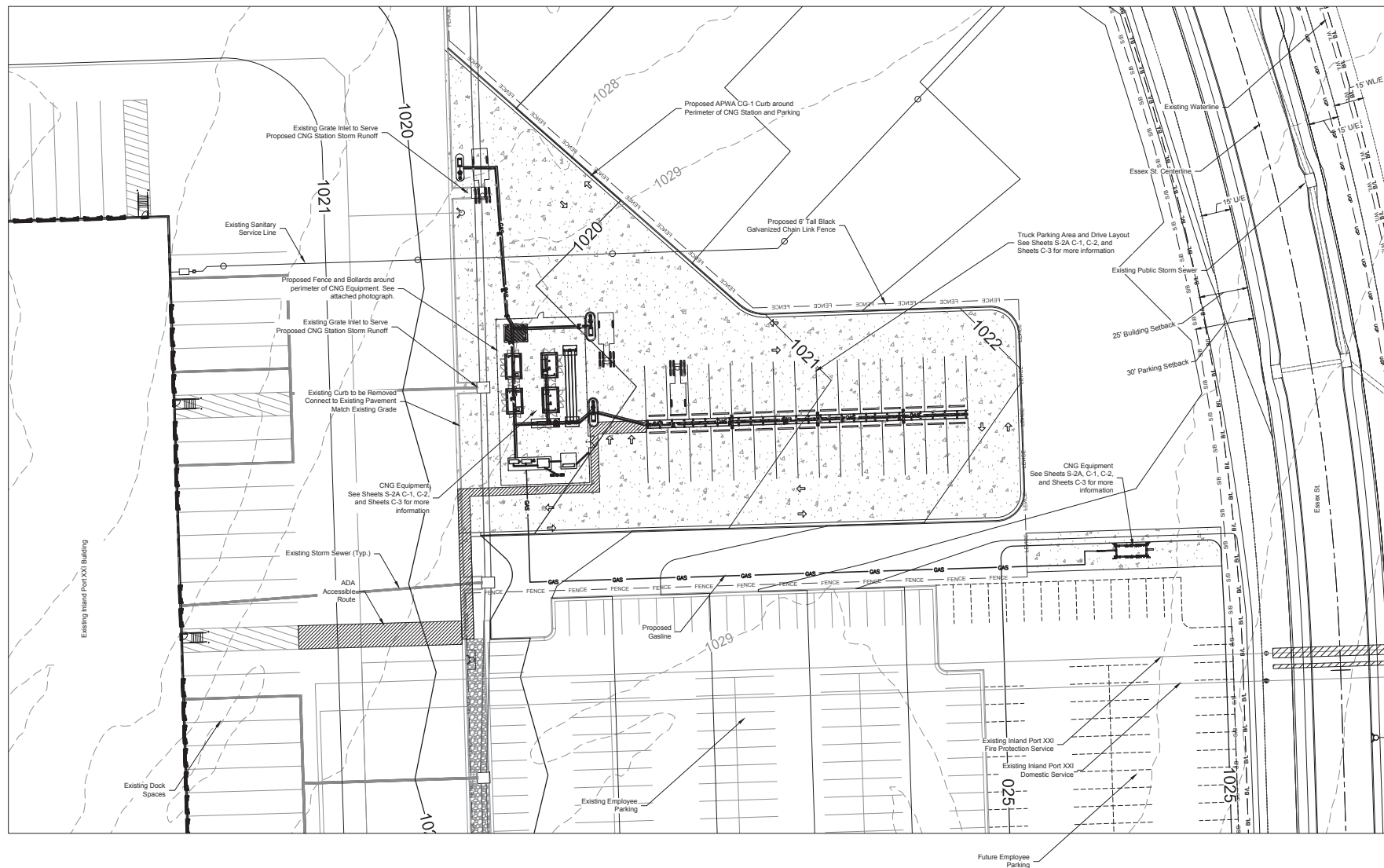
3593 CAMINO MIRA COSTA SUITE E
SAN CLEMENTE, CA 95072
CA PE LICENSE # 68666

REVISIONS	NO.	DATE	BY	REMARK
	1	6/11/18	SR	SITE PLAN COMMENTS

ELECTRICAL - PHOTOMETRIC

DRAWN: SRR
CHECKED: SRR
DATE: 06/11/18
SCALE: AS SHOWN
JOB NO: 18019

E-1



LEGEND

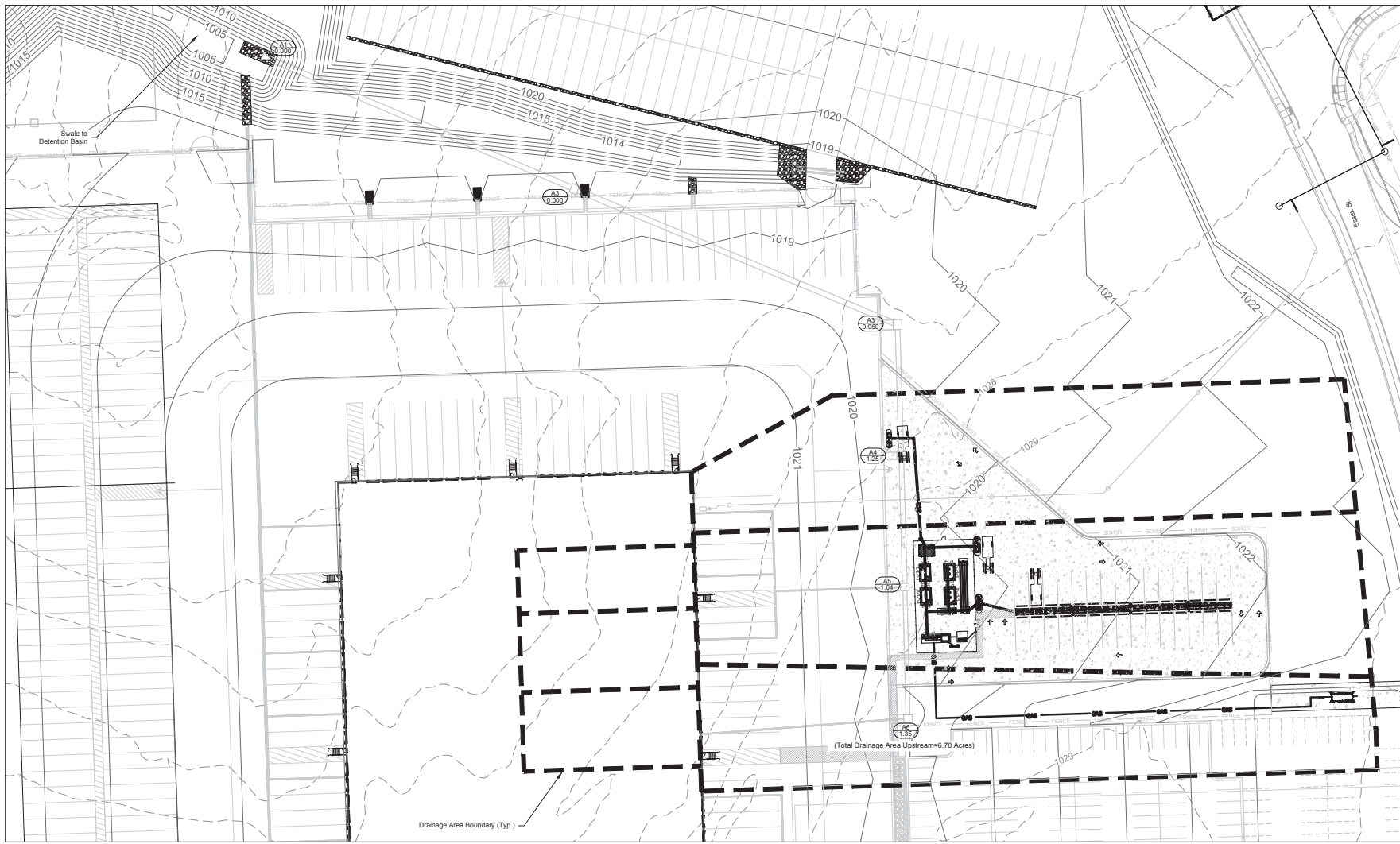
— — — Existing Contour

————— Proposed Contour

Paving Schedule

8" Portland Concrete Pavement

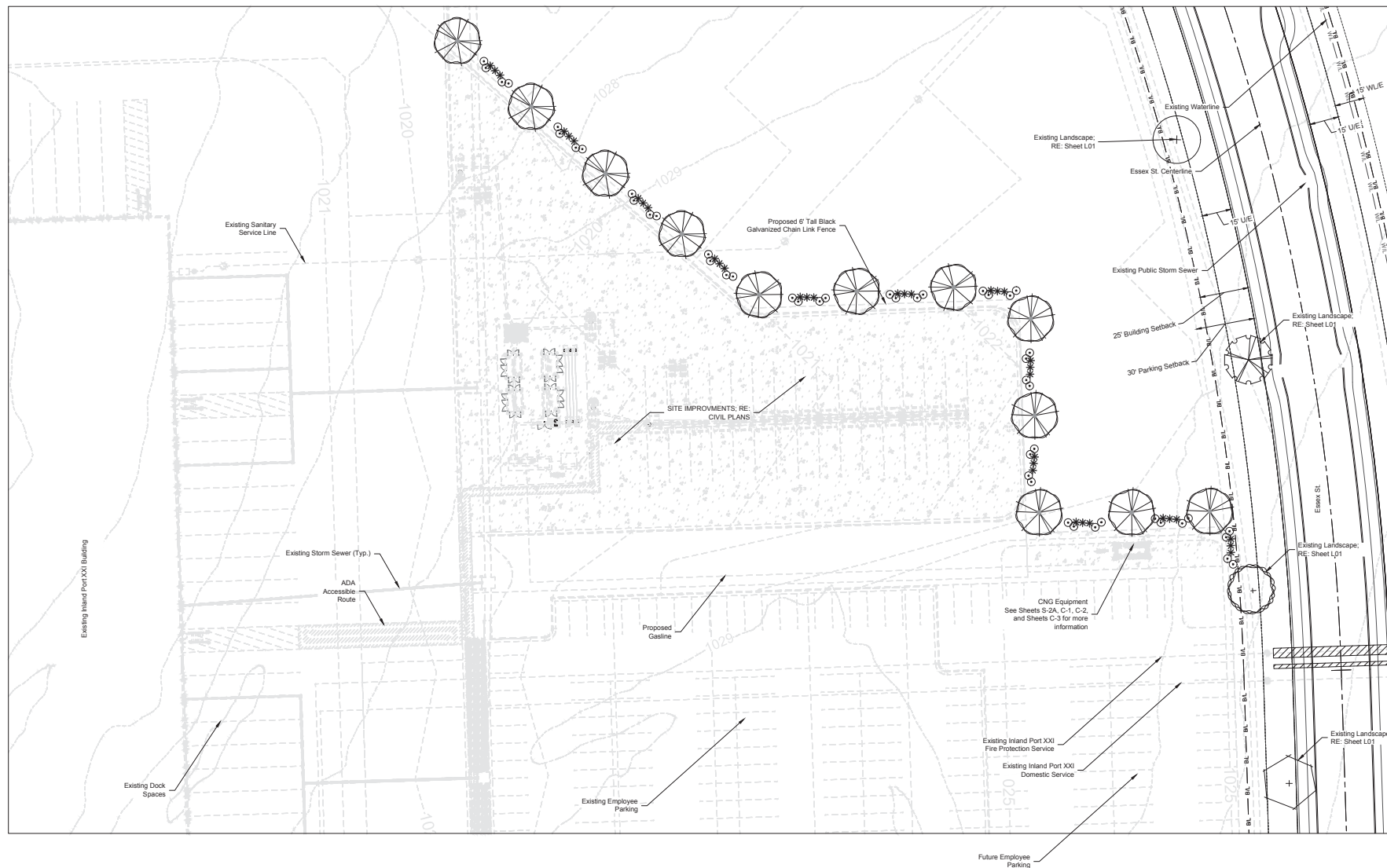







Overland Flow										System Flow										Pipe Design										Structure Design									
Line	Pipe	Area (Ac)	Flow (cfs)	Velocity (ft/s)	Time of Conc. (min)	Intensity (in/hr)	Flow (cfs)	Velocity (ft/s)	Time of Conc. (min)	Intensity (in/hr)	Flow (cfs)	Velocity (ft/s)	Time of Conc. (min)	Intensity (in/hr)	Flow (cfs)	Velocity (ft/s)	Time of Conc. (min)	Intensity (in/hr)	Flow (cfs)	Velocity (ft/s)	Time of Conc. (min)	Intensity (in/hr)	Flow (cfs)	Velocity (ft/s)	Time of Conc. (min)	Intensity (in/hr)	Flow (cfs)	Velocity (ft/s)	Time of Conc. (min)	Intensity (in/hr)	Flow (cfs)	Velocity (ft/s)	Time of Conc. (min)	Intensity (in/hr)	Flow (cfs)	Velocity (ft/s)	Time of Conc. (min)	Intensity (in/hr)	
A	A10	2.680	0.87	10	1	5.00	7.35	16.96	0.00	16.96	2.80	0.870	2.31	7.35	16.96	A10	A9	HDPE	Round	24	79.12	0.013	0.03	16.96	5.40	0.20	1014.30	1016.50	1014.00	2.50	2.40	1016.11	1016.16	Q	1016.00				
				100	1.25	5.00	10.32	29.76	9.41	36.16	2.45	5.00	10.32	27.35	A9	A8	HDPE	Round	30	100.00	0.010	0.30	27.35	5.85	0.25	1015.50	1016.50	1015.50	2.40	2.80	1015.42	1015.57	Q	1016.40					
	A9	1.520	0.87	10	1	5.00	7.35	9.72	0.00	9.72	4.110	0.870	3.69	7.29	26.40	A9	A8	HDPE	Round	30	100.00	0.010	0.30	26.40	5.85	0.25	1015.50	1016.50	1015.50	2.40	2.80	1015.42	1015.57	Q	1016.40				
				100	1.25	5.00	10.32	11.06	0.00	11.06	4.17	5.00	10.32	42.70	A8	A7	HDPE	Round	30	100.00	0.010	0.70	42.70	5.85	0.28	1015.50	1016.50	1015.50	3.40	4.10	1014.53	1014.76	Q	1016.40					
A7	A8	1.130	0.87	10	1	5.00	7.35	7.23	0.00	7.23	5.300	0.870	4.61	7.22	39.27	A8	A7	HDPE	Round	30	100.00	0.010	0.70	39.27	5.85	0.28	1015.50	1016.50	1015.50	3.40	4.10	1014.53	1014.76	Q	1016.40				
				100	1.25	5.00	10.32	12.89	0.00	12.89	5.30	5.45	10.34	53.73	A7	A6	HDPE	Round	36	100.00	0.010	0.70	53.73	5.85	0.27	1015.30	1016.50	1015.30	4.40	5.10	1014.05	1014.28	Q	1016.40					
	A7	1.400	0.87	10	1	5.00	7.35	8.96	0.00	8.96	6.700	0.870	5.83	8.96	7.15	41.70	A7	A6	HDPE	Round	36	100.00	0.010	0.40	41.70	5.85	0.25	1015.30	1016.50	1015.30	4.40	5.10	1014.05	1014.28	Q	1016.40			
				100	1.25	5.00	10.32	15.42	0.00	15.42	6.70	6.91	10.05	67.36	A6	A5	HDPE	Round	36	100.00	0.010	0.05	67.36	5.85	0.28	1015.40	1016.50	1015.40	5.40	6.10	1012.70	1013.16	Q	1016.40					
A6	A6	1.290	0.87	10	1	5.00	7.35	8.25	0.00	8.25	7.800	0.870	6.80	7.35	40.23	A6	A5	HDPE	Round	36	100.00	0.010	0.05	40.23	5.85	0.28	1015.40	1016.50	1015.40	5.40	6.10	1012.70	1013.16	Q	1016.40				
				100	1.25	5.00	10.32	14.76	0.00	14.76	7.80	8.00	9.35	79.56	A5	A4	HDPE	Round	42	100.00	0.010	0.35	79.56	5.85	0.24	1015.25	1016.50	1015.25	6.40	7.10	1011.43	1011.83	Q	1016.40					
	A5	1.380	0.87	10	1	5.00	7.35	8.70	0.00	8.70	9.300	0.870	8.13	7.03	57.16	A5	A4	HDPE	Round	42	100.00	0.010	0.35	57.16	5.85	0.24	1015.25	1016.50	1015.25	6.40	7.10	1011.43	1011.83	Q	1016.40				
				100	1.25	5.00	10.32	15.27	0.00	15.27	9.30	9.55	10.00	88.82	A4	A3	HDPE	Round	42	100.00	0.010	0.50	88.82	5.85	0.27	1015.40	1016.50	1015.40	7.40	8.10	1011.23	1011.58	Q	1016.40					
A4	A4	1.250	0.87	10	1	5.00	7.35	8.25	0.00	8.25	10.000	0.870	9.25	6.06	54.18	A4	A3	HDPE	Round	42	100.00	0.010	0.50	54.18	5.85	0.27	1015.40	1016.50	1015.40	7.40	8.10	1011.23	1011.58	Q	1016.40				
				100	1.25	5.00	10.32	14.03	0.00	14.03	9.75	10.00	9.75	103.60	A3	A2	HDPE	Round	48	200.53	0.010	0.34	103.60	5.85	0.60	1017.40	1011.40	1016.50	7.40	8.10	1010.22	1010.15	I	1016.40					
	A3	0.960	0.87	10	1	5.00	7.35	6.14	0.00	6.14	11.900	0.870	10.09	6.91	69.49	A3	A2	HDPE	Round	48	200.53	0.010	0.34	69.49	5.85	0.60	1017.40	1011.40	1016.50	7.40	8.10	1010.22	1010.15	I	1016.40				
				100	1.25	5.00	10.32	10.76	0.00	10.76	11.90	6.54	9.72	112.35	A2	A1	HDPE	Round	48	202.80	0.010	0.27	112.35	5.85	0.72	1016.00	1010.00	1016.50	8.40	9.10	1009.01	1009.96	I	1016.00					
A1	A2	0.000	0.87	10	1	5.00	7.35	0.00	0.00	0.00	11.900	0.870	10.96	6.75	67.85	A2	A1	HDPE	Round	48	202.80	0.010	0.27	67.85	5.85	0.72	1016.00	1010.00	1016.50	8.40	9.10	1009.01	1009.96	I	1016.00				
				100	1.25	5.00	10.32	0.00	0.00	0.00	11.96	6.54	9.90	109.85																									

Legend:
 A10-Structure Label
 3.00-Area to Structure (Ac.)





Proposed Plant Schedule

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	12	Black Gum	<i>Nyssa sylvatica</i> 'Wildfire'	2.5" cal	BB	As Shown
	48	Compact Burning Bush	<i>Euonymus alatus</i> 'Compactus'	5 gal.	Cont.	As Shown
	36	Eulalia Grass	<i>Microstichus sinensis</i> 'Morning Light'	5 gal.	Cont.	As Shown



Sample CNG Station Reference Photos



8' Tan Vinyl
Fence

Equipment
Protective
Bollards

Equipment Compound Aerial View

Western Office

10225 Philadelphia Ct
Rancho Cucamonga, CA 91730
909-793-3700

Midwest Office

2222 18th Avenue NW
Rochester, MN 55901
813-545-1343

Eastern Office

1 N. Lexington Avenue * Suite 620
White Plains, NY 10601
914-421-4900

www.trustarenergy.com

Fax: 909-793-8056



Inside Compound Area



Street View of an 8' Vinyl Fence

Western Office

10225 Philadelphia Ct
Rancho Cucamonga, CA 91730
909-793-3700

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Rochester, MN 55901
813-545-1343

Eastern Office

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White Plains, NY 10601
914-421-4900

www.trustarenergy.com

Fax: 909-793-8056



Fast Fill Dispenser Area



Time Fill Dispenser Area

Western Office

10225 Philadelphia Ct
Rancho Cucamonga, CA 91730
909-793-3700

Midwest Office

2222 18th Avenue NW
Rochester, MN 55901
813-545-1343

Eastern Office

1 N. Lexington Avenue * Suite 620
White Plains, NY 10601
914-421-4900

www.trustarenergy.com

Fax: 909-793-8056

MSA – Reference Photo



Western Office

10225 Philadelphia Ct
Rancho Cucamonga, CA 91730
909-793-3700

Midwest Office

2222 18th Avenue NW
Rochester, MN 55901
813-545-1343

Eastern Office

1 N. Lexington Avenue * Suite 620
White Plains, NY 10601
914-421-4900

www.trustarenergy.com

Fax: 909-793-8056



June 25, 2018

City of Edgerton
404 East Nelson
Edgerton, KS 66021

Re: Inland Port XXI CNG Station Drainage Memo

The proposed Inland Port XXI CNG Station is located adjacent to the existing Inland Port XXI building on Lot 1 of Logistics Park Kansas City-Phase III at the southwest corner of 193rd and Essex St. in Edgerton, Kansas. Storm drainage for the proposed CNG Station complies with the Micro Storm Water Drainage Study of Inland Port XXI, prepared on February 3, 2016 by Renaissance Infrastructure Consulting.

Exhibit D of the above-mentioned report shows the proposed drainage map for Inland Port XXI. The proposed CNG Station lies within the "IP 21 Detained" sub-basin. The IP 21 Detained sub-basin has a Curve Number of 95. The land use of a CNG Station along with associated infrastructure is consistent with a 95 Curve Number. All runoff generated from Inland Port XXI CNG Station will be detained on site.

After reviewing the overall Inland Port XXI Micro Storm Drainage Study, the proposed Inland Port XXI CNG project is consistent with the land use planned for in the study. The storm water generated from the Inland Port XXI CNG site has been accounted for in the overall development's storm water analysis.

Based on this information, Renaissance Infrastructure Consulting recommends approval of this storm analysis.

If you have any questions or need additional information please contact me.

Sincerely,



Patrick Cassity, P.E.
RIC