

EDGERTON PLANNING COMMISSION  
REGULAR SESSION  
Edgerton City Hall  
March 10, 2020  
7:00 P.M.

1. Call Meeting to Order
2. Pledge of Allegiance
3. Roll Call

4. **CONSENT AGENDA**

*(Consent Agenda items will be acted upon by one motion unless a Planning Commissioner requests an item be removed for discussion and separate action.)*

**A. MINUTES**

Consideration of the Planning Commission meeting minutes for February 11, 2020.

**B. REVISED FINAL SITE PLAN FOR ON THE GO TRAVEL CENTER –  
APPLICATION FS2020-01**

Consideration of Application FS2020-01, a revision to Final Site Plan FS2019-04, located on the east side of Homestead Lane at Interstate-35.

Applicant: David Anderson  
Agent: KBS Constructors, Inc.

6. Future Meetings
  - Regular Session – April 14, 2020 at 7:00 PM
7. Adjourn

EDGERTON CITY HALL  
PLANNING COMMISSION MEETING  
REGULAR SESSION  
February 11, 2020

The Edgerton Planning Commission (the Commission) met in regular session with Chair John Daley calling the meeting to order at 7:03 p.m.

All present participated in the Pledge of Allegiance.

The Roll Call was answered, indicating those present were Commissioner Jeremy Little, Commissioner Deb Lebakken, and Chair John Daley. Commissioner Charlie Crooks and Commissioner Tim Berger were absent from the meeting. Also present were City Administrator Beth Linn, Mayor Donald Roberts, Development Services Director Katy Crow, and Planning and Zoning Coordinator/City Clerk Chris Clinton.

The Planning and Zoning Coordinator/City Clerk announced a quorum was present.

**CONSENT AGENDA**

**MINUTES**

The approval of the minutes from the Regular Session held on January 14, 2020 were considered.

Ms. Lebakken motioned to approve the consent agenda; Mr. Little seconded the motion. The consent agenda was approved, 3-0.

**NEW BUSINESS**

**APPROVAL OF AMENDED MINUTES OF THE PLANNING COMMISSION MEETING FOR APRIL 9, 2019**

Chair Daley introduced the minutes from the Planning Commission that was held on April 9, 2019. He asked if it was procedural to approve amended minutes. Ms. Katy Crow, Development Services Director, replied that it is. Mr. Little motioned to approve the minutes as amended, Ms. Lebakken seconded. The minutes from the April 9, 2019 Planning Commission meeting were approved as amended, 3-0.

**FUTURE MEETING**

The next meeting is scheduled for March 10, 2020 at 7:00 p.m.

**ADJOURNMENT**

Motion by Ms. Lebakken to adjourn the meeting, Mr. Little seconded. Motion was approved, 3-0.

The meeting adjourned at 7:05 p.m.

Submitted by: Chris Clinton, Planning and Zoning Coordinator/City Clerk



## STAFF REPORT

March 10, 2020

To: Edgerton Planning Commission  
Fr: Chris Clinton, Planning and Zoning Coordinator  
Re: **FS2020-01** Revised Final Site Plan for FS2019-04 *On the Go Travel Center, First Plat* located at the northeast corner of Homestead Lane and Interstate 35 (I-35).

### **APPLICATION INFORMATION**

**Applicant:** David Anderson, Agent  
KBS Constructors, Inc.  
14955 W. 117<sup>th</sup> Street  
Olathe, KS 66062

**Property Owner:** Moussa Sobaiti  
My Store III Inc.  
14728 W. 93<sup>rd</sup> Street  
Lenexa, KS 66215

**Requested Action:** Approval of Revised Final Site Plan for *On the Go Travel Center, First Plat* – initially approved August 13, 2019.

**Site Address/Location:** Northeast corner of Homestead Lane and I-35.

**Existing Zoning and Land Uses:** Existing zoning – C-2 (Heavy Service Commercial) District.

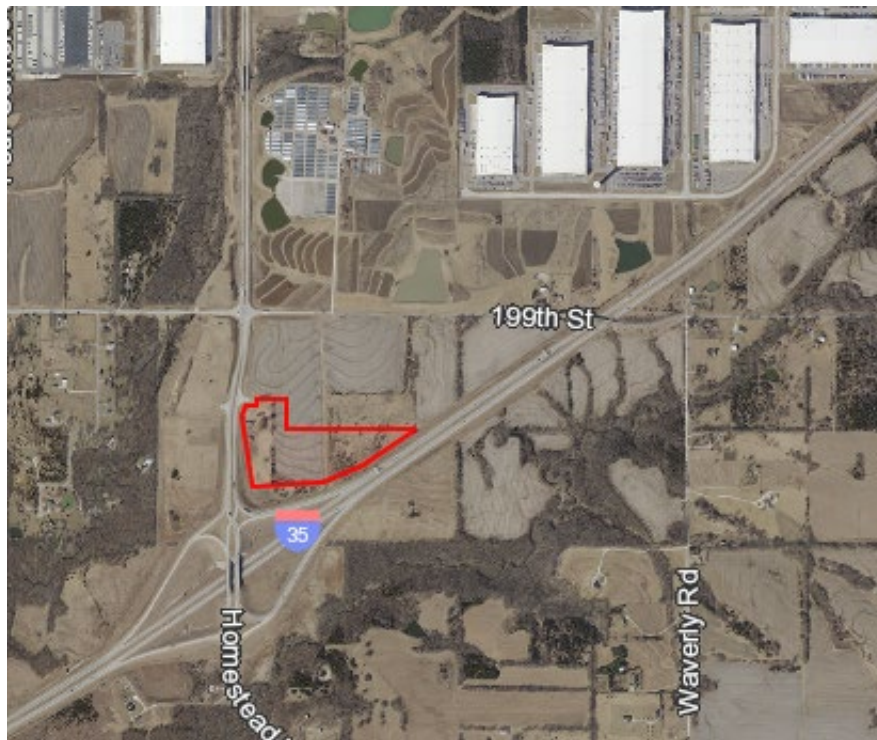
**Site Size:** Approximately 12.162 Acres

### **PROJECT DESCRIPTION**

Application FS2020-01 is a request for approval of a revised Final Site Plan for FS2019-01 *On the Go Travel Center, First Plat*. The project is located on the northeast corner of Homestead Lane and I-35, serving highway traffic along the I-35 corridor and Logistics Park Kansas City. The 7,200 square foot travel center proposes fuel pumps for both passenger vehicles and semi-trucks with a truck wash and truck service facility.

The submitted revised Final Site Plan contains several updates since receiving Planning Commission approval on August 13, 2019. The majority of these changes were driven by the inclusion of the full access intersection at Homestead Lane and 200<sup>th</sup> Street, the roadway that will give access to this parcel. In addition, the applicant has signed a franchise agreement with Travel Centers of America for a TA Express Travel Center to be part of this project.

## Subject Property



## **INFRASTRUCTURE AND SERVICES**

1. Access to the property and development will be from a newly constructed public street, West 200<sup>th</sup> Street, which will turn east off Homestead Lane and run adjacent to the north side of the parcel. The applicant has proposed two (2) private drives from West 200<sup>th</sup> Street into the project. The intersection of Homestead Lane and West 200<sup>th</sup> Street is being designed to be a full access intersection.
2. Utilities and service providers.
  - a. Water - Johnson County Water District #7
  - b. Sanitary Sewer - City of Edgerton
  - c. Electrical Service - Kansas City Power & Light
  - d. Gas Service – Kansas Gas Service
  - e. Police service is provided by the city of Edgerton through the Johnson County Sheriff's Office.
  - f. Fire protection is provided by Johnson County Fire District #1.
3. Development proposal is located within the Bull Creek watershed.

Pursuant to Article 10, Section 10.1(J) of the Edgerton Unified Development Code (UDC), significant site plan modifications require a resubmittal to the Planning Commission for approval. All of the changes included in the revised Final Site Plan, submitted for the Planning Commission's approval, either meet or exceed the UDC requirements. Some of these changes include:

- The widening of West 200<sup>th</sup> Street to accommodate the full access intersection, caused some of the buildings (including fueling stations) on the site to shift south on the parcel. The only building that did not shift was the Truck Service Facility.
- The development initially had three access drives. Accommodating the full access intersection resulted in the removal of the eastern most drive entrance (the one closest to Homestead). There are now two (2) proposed access drives.
- The first of the remaining two access drives, has been narrowed to 30' and it will fully accommodate vehicle (not truck) traffic. It has been extended by 30'.
- The second access drive has been extended 40 feet as well.
- The revised plan shows 96 vehicle parking stalls, an increase of 21 over the initial approved site plan. Truck parking was decreased from 91 to 79. The overall number of stalls meets the requirements of UDC Article 16.
- A truck turn-around area has been provided within the parking area on the northwest corner of the parcel.
- The trash enclosure has been relocated to be closer to the Travel Center.
- The Truck Wash and Service facility was narrowed by 11 feet but the overall length increased by 22.12 feet to the north.
- Due to this change, the overall square footage of the Truck Wash and Service Facility was increased by almost 2,000 square feet.
- The storage area for the Truck Wash and Service Facility was fully enclosed.
- The 'Future Street' to go north from West 200<sup>th</sup> Street to 199<sup>th</sup> Street has been removed.
- Turn lanes have been added to West 200<sup>th</sup> Street to accommodate the full access intersection.

## **REVIEW OF REVISED FINAL SITE PLAN**

Staff has reviewed the revised Final Site Plan submittal for compliance with the requirements of Article 10, *Site Plans and Design Standards*; Section 4.3, *Heavy Service Commercial (C-2) District*; Section 4.6, *Awning and Fencing*; Section 4.7, *Fuel Stations, Convenience Stores and/or Drive-*

Throughs of Article 4; and Article 16, *Parking and Loading Regulations* of the Edgerton UDC. Review comments are listed below.

#### **Article 10 - Section 10.1 – Site Plan**

1. Contents of Site Plan Drawings. All material shall be adequately labeled and should provide complete details which show compliance with District requirements.
  - a. Connection point for utilities and the location and size of all utility lines including but not limited to sewer lines and manholes; water lines and fire hydrants; telephone, cable, fiber, and electrical systems; and storm drainage systems including inlets, catch basins, lines and other appurtenances, existing and proposed. *The City Engineer recommends further discussion between the City and Developer's Engineer prior to proceeding with the design of the sanitary sewer. Applicant acknowledges to continue to work with City Staff to design sanitary sewer.*
  - b. Scale drawings of all proposed signage including location, height, size, area, materials and design to be used on the premises with construction drawings required when applying for a sign permit in accordance with Article 12, Sign Regulations, of the UDC. *A rendering of proposed signage has been submitted by the applicant. Proposed signage is not in compliance with the existing UDC. Revisions to proposed signage are required along with Sign Permit Applications for each proposed sign. The Zoning Administrator will review for UDC compliance. Any signs not found to be in compliance will require revisions or a variance from the Board of Zoning Appeals. Applicant acknowledges. Applicant acknowledges.*
  - c. Profile and details for roads, the location and width of sidewalks, and the location of trails. *Public improvement plans will be required for the proposed road, per the City Engineer comments will be provided separately. Provide documentation to dedicate right-of-way, any necessary easements and private property construction. If the applicant is unable to provide documentation, the project will need to be revised to be located entirely on this property. Applicant acknowledges and will provide documentation when available.*
  - d. The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right-of-way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. Include type of screening that will be used around equipment. *There is rooftop equipment proposed and is screened from public view. City Staff will continue to monitor the project development to ensure proper screening of all equipment is provided. Applicant acknowledges that if rooftop equipment can be seen from adjacent public streets, additional screening will be required and an elevation of such will be required before Building Permit issuance. Applicant acknowledges requirements to screen rooftop equipment.*

#### **OTHER COMMENTS**

1. Diesel emission regulations set forth by KDHE must be complied with. *Applicant acknowledges.*

## **RECOMMENDATION**

City staff recommends **approval** of **FS2020-01** Revision to Final Site Plan FS2019-04 Final Site Plan for *On the Go Travel Center, First Plat*, subject to compliance with the following stipulations:

1. The staff recommendations and comments noted related to infrastructure, landscaping, the stormwater plan and all else discussed as included in this Staff Report are included as stipulations as part of approval of this Final Site Plan.
2. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City.
3. Any items added must comply with the Edgerton UDC and it is the building owner's ultimate responsibility to ensure code compliance.
4. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.
5. Any requirements on public or private property by the City of Edgerton or KDOT determined necessary for the improvement of the intersection shall be adhered to.

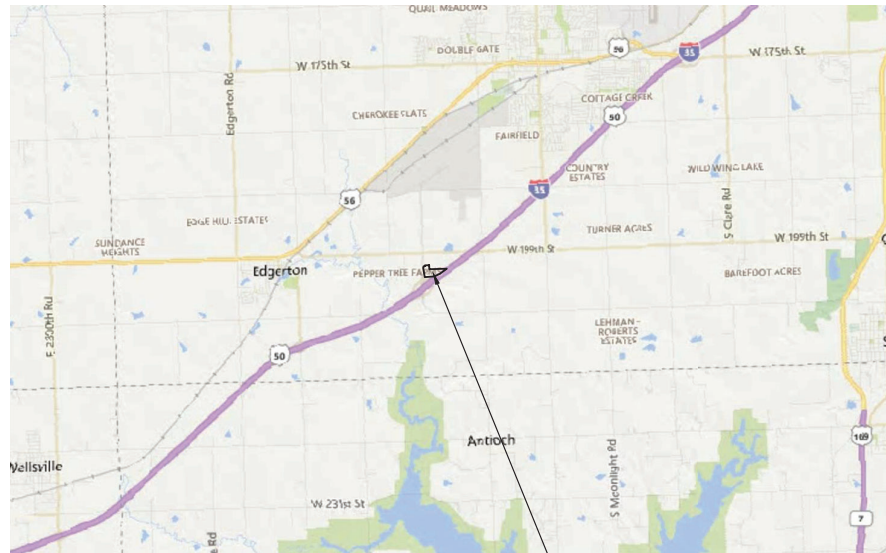
## **ATTACHMENTS**

- Revised Final Site Plan for *On the Go Travel Center, First Plat* including Architectural drawings and renderings.
- Staff Report for FS2019-04
- Application for FS2019-04
- Final Site Plan FS2019-04



# FINAL SITE DEVELOPMENT PLANS FOR ON THE GO-TRAVEL CENTER

PLAT NAME: ON THE GO-TRAVEL CENTER, FIRST PLAT  
CITY OF EDGERTON, JOHNSON COUNTY, KANSAS  
ADDRESS: 32501 & 32511 W. 200TH STREET



CONTRACTOR TO REFER TO SEPARATE SET OF  
SANITARY SEWER PLANS FOR PUBLIC SANITARY  
SEWER INSTALLATION.

CONTRACTOR TO REFER TO SEPARATE SET OF  
PLANS FOR PUBLIC STREET & STORM SEWER  
INSTALLATION.

**FLOOD NOTES:**  
THE SUBJECT PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE  
OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE  
RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR COMMUNITY  
NO. 200508, JOHNSON COUNTY, KANSAS, MAP NO. 20080101340, AND DATED AUGUST 3,  
2008.

**ZONING:**  
THIS PROPERTY IS ZONED C-2 (HEAVY SERVICE COMMERCIAL) PER JOHNSON COUNTY  
LAND RESOLUTION.  
NOTE: THIS SURVEYOR WAS NOT SUPPLIED A ZONING REPORT OR LETTER FOR THIS  
SURVEY.

**REMARKS:** (VERTICAL DATUM = NAVD83 BASED ON JOHN BM 130.) SQUARE  
CUT ON TOP OF CURB EAST SIDE OF SOUTHEAST CORNER ISLAND AT  
INTERSECTION OF HOMESTEAD LANE AND 199TH STREET. ELEVATION= 1013.81

BM 997 = PLUS OUT TOP CURB ON NORTH SIDE OF CONCRETE ENTRANCE TO  
SUBJECT PROPERTY. ELEVATION=1025.80

## LEGAL DESCRIPTION: (ON THE GO-TRAVEL CENTER)

This is a survey and subdivision of all that part of the NW1/4 of Section 10, Township 15, Range 22, in the City of  
Edgerton, Johnson County, Kansas, more particularly described as follows: Commencing at the Northwest corner of  
the NW1/4 of said Section 10; thence S 2° 53' 48" E, along the West line of the NW1/4 of said Section 10, a  
distance of 991.89 feet; thence N 87° 35' 22" E, a distance of 280.86 feet, to a point on the North right-of-way  
line of Interstate Highway No. 35, as established in the Warranty Deed recorded in Book 207108 at Page 00716, in  
the Office of the Register of Deeds, Johnson County, Kansas, said point also being the true point of beginning;  
thence continuing in S 77° 50' 22" E, a distance of 233.86 feet; thence Eastwesterly, along a curve to the  
right having a radius of 342.00 feet, a central angle of 28° 51' 02" and whose initial tangent bearing is S 64°  
30' 40" E, on an arc distance of 160.27 feet, to a point of tangency; thence S 37° 45' 38" E, a distance of 128.54  
feet, to a point of curvature; thence Southwesterly and Easterly, along a curve to the left having a radius of  
358.00 feet and a central angle of 21° 35' 34", on an arc distance of 118.56 feet; thence S 37° 45' 38" E, a  
distance of 61.44 feet, to a point on the North line of the South Half of the NW1/4 of said Section 10; thence S  
1° 47' 20" E, a distance of 658.10 feet, to a point on the North right-of-way line of said Interstate Highway No.  
35; thence S 85° 06' 40" W, along the North right-of-way line of said Interstate Highway No. 35, a distance of  
503.79 feet; thence N 10° 04' 47" W, along the North right-of-way line of said Interstate Highway No. 35, a  
distance of 802.50 feet; thence N 57° 12' 54" E, along the North right-of-way line of said Interstate Highway No.  
35, a distance of 141.15 feet; thence N 88° 57' 08" E, along the North right-of-way line of said Interstate  
Highway No. 35, a distance of 116.36 feet; thence N 0° 28' 27" W, along the North right-of-way line of said  
Interstate Highway No. 35, a distance of 76.42 feet, to the true point of beginning, containing 12.210 acres, more  
or less.



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C1.2	TYPICAL PUBLIC STREET SECTION
C2	GRADING PLAN
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## CERTIFICATE:

RECEIVED AND PLACED ON RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ZONING ADMINISTRATOR  
KATY CROW

APPROVED BY THE EDGERTON CITY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIR OF THE PLANNING COMMISSION:  
JOHN DALEY

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes,  
conditions required during Site Plan approval and amendments herein, and that this instrument  
creates a legally enforceable obligation to build and develop in accordance with all  
final agreements.

APPLICANT SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
TITLE \_\_\_\_\_ ORGANIZATION \_\_\_\_\_

## OWNER:

MY STORE II INC.  
14728 W. 93RD STREET  
LENEXA, KANSAS 66615  
MR. MOUSSA SOBATI

## ARCHITECT:

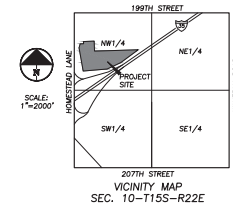
BCS DESIGN, INC.  
19920 WEST 161ST STREET  
OLATHE, KANSAS 66062  
(913) 780-4820

## SURVEYOR:

PHELPS ENGINEERING, INC.  
1270 N. WINCHESTER  
OLATHE, KANSAS 66061  
(913) 393-1155  
(913) 393-1166 (FAX)

## ENGINEER:

PHELPS ENGINEERING, INC.  
1270 N. WINCHESTER  
OLATHE, KANSAS 66061  
(913) 393-1155  
(913) 393-1166 (FAX)



## UTILITY COMPANIES:

KANSAS GAS SERVICE CO. (913) 344-8808  
MS. LYN LEE (LLEE@KGS.COM)  
7421 W. 129TH ST. #100  
OVERLAND PARK, KS. 66213

EVERGY (913) 681-7369  
MS. NANCY MARTIN (NANCY.MARTIN@KPL.COM) (913) 681-7365--FAX  
P.O. BOX 159  
STILWELL, KANSAS 66085

CITY OF EDGERTON -- (SANITARY & STORM) (913) 893-6231--PHONE  
404 EAST NELSON,  
EDGERTON, KANSAS 66021

WATER DISTRICT NO. 7, JOHNSON COUNTY (913) 856-7375--PHONE  
534 W. MAIN STREET, (913) 856-7173--FAX  
P.O. BOX 7  
GARDNER, KANSAS 66030



Know what's below.  
Call before you dig.



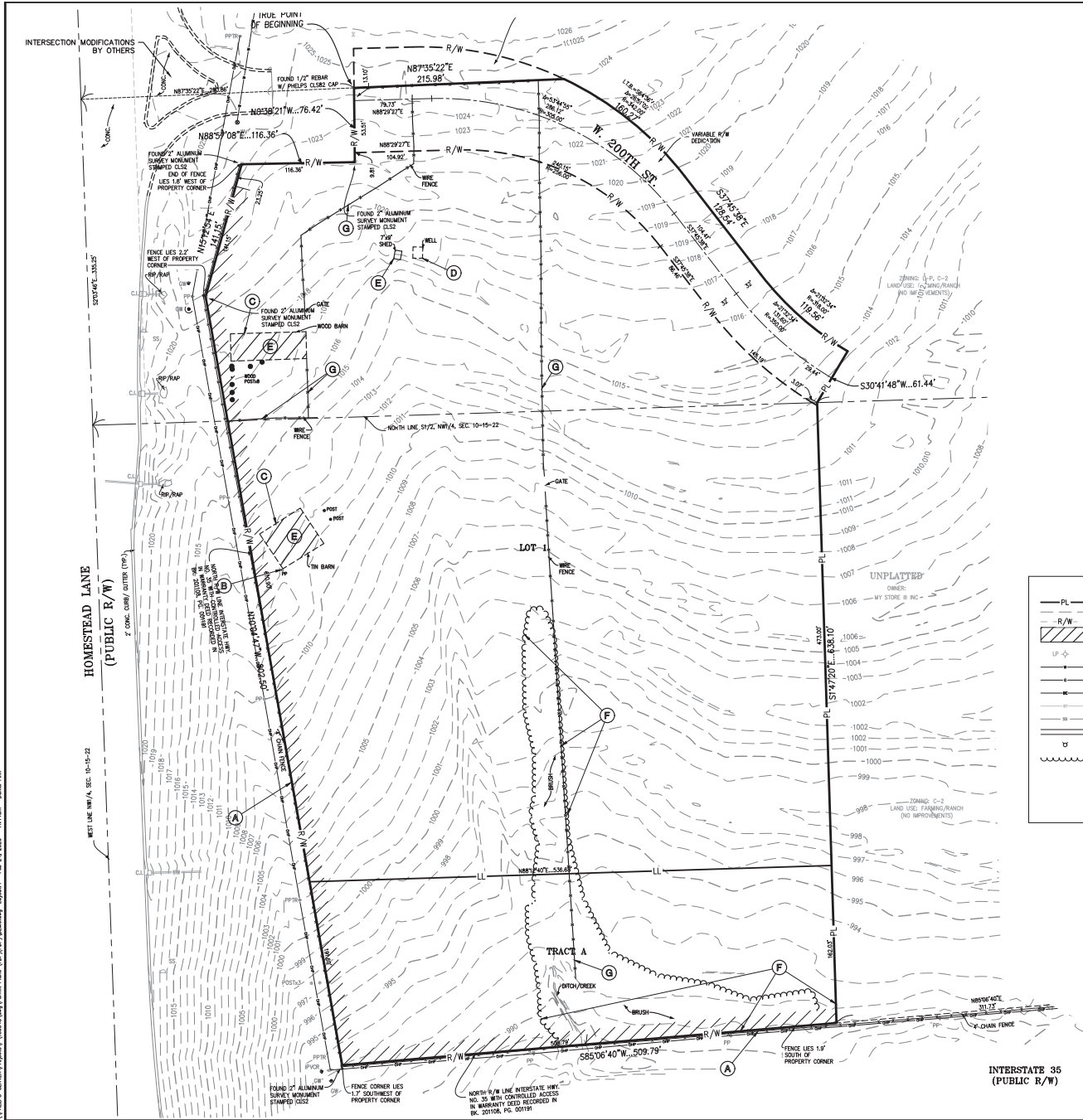
Professional Engineer  
Daniel A. Fink  
License No. 24192  
State of Kansas  
www.danfink.com



COVER SHEET  
ON THE GO-TRAVEL CENTER  
32501 & 32511 W. 200TH STREET  
EDGERTON, JOHNSON COUNTY, KANSAS

PROJECT NO.	DATE	REVISION	BY	CHK
DATE & 22-10-20	10-12-19	Revised Per City Staff Comments.	CHL	CHL
CHANGED DAD APPROVED	1-29-20	EDP Resubmitted to City	CHL	CHL
CHANGED DAD APPROVED	1-31-20	Out to Permit	CHL	CHL
CHANGED DAD APPROVED	2-23-20	EDP Resubmitted to City	CHL	CHL
CHANGED DAD APPROVED	3-11-20	Out to Permit	CHL	CHL
CHANGED DAD APPROVED	3-11-20	Out to Permit	CHL	CHL
CHANGED DAD APPROVED	3-11-20	Out to Permit	CHL	CHL

SHEET  
C0

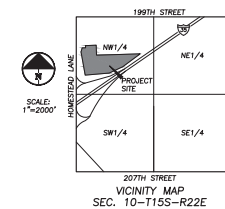
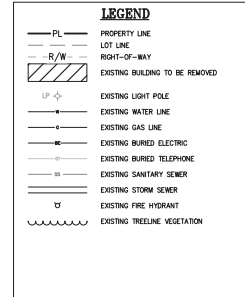


### DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
4. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.

### DEMOLITION KEY NOTES:

- A. ROOT RIGHT-OF-WAY FENCE ALONG THE EAST & SOUTH PROPERTY LINE SHALL REMAIN IN PLACE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY DAMAGE TO ROOT RIGHT-OF-WAY FENCE. TYPICAL LOCATION.
- B. THE CONTRACTOR SHALL REMOVE ALL UNDERGROUND/OVERHEAD ELECTRICAL SERVICES, TELEPHONE AND CABLE SERVICE LINES AND THEIR APPURTENANCES WITHIN THE PROJECT BOUNDARY. THE UTILITY SERVICES SHALL BE DISCONNECTED ALONG THE PROJECT BOUNDARY. TYPICAL LOCATION.
- C. THE CONTRACTOR SHALL REMOVE ALL UNDERGROUND GAS LINES, WATER LINES, SANITARY AND STORM SEWER SERVICE LINES AND THEIR APPURTENANCES. APPURTENANCES INCLUDE, BUT NOT LIMITED TO, ALL PIPES, MANHOLES, JUNCTION BOXES, CATCH BASINS, YARD INLETS, FLUMES AND METER PITS. THE UTILITY SERVICES SHALL BE DISCONNECTED ALONG THE PROJECT BOUNDARY LINE TO THE EXISTING HOME TO BE DEMOLISHED.
- D. CONTRACTOR TO REMOVE EXISTING WELL PER KDHE REQUIREMENTS.
- E. THE CONTRACTOR SHALL REMOVE ALL PRE-EXISTING STRUCTURES, FOUNDATIONS, FOOTINGS, PIERS, WATER WELLS, SEPTIC TANKS, LATERAL LINES, BURIED DEBRIS, MISCELLANEOUS CONCRETE, ETC. WHICH MAY BE ENCOUNTERED DURING DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL DISPOSE OF THESE MATERIALS IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES.
- F. THE CONTRACTOR SHALL BE REQUIRED TO BACKFILL ALL EXCAVATIONS/DEPRESSIONS CREATED BY THE REMOVAL OF STRUCTURES, FOUNDATIONS, FOOTINGS, PAVING, SEPTIC TANKS, WELLS, PIPES, TREE ROOTS, DEBRIS AND UTILITY STRUCTURES, ETC. ALL EXCAVATIONS SHALL BE BACKFILLED TO EXISTING GROUND ELEVATIONS ON ALL SIDES OF THE EXCAVATION.
- G. THE CONTRACTOR SHALL REMOVE EXISTING FENCE WITHIN PROPERTY BOUNDARY.



UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES.

**DEMOLITION PLAN**  
ON THE GO-TRAVEL CENTER  
32501 & 32511 W. 200TH STREET  
EDGERTON, JOHNSON COUNTY, KANSAS

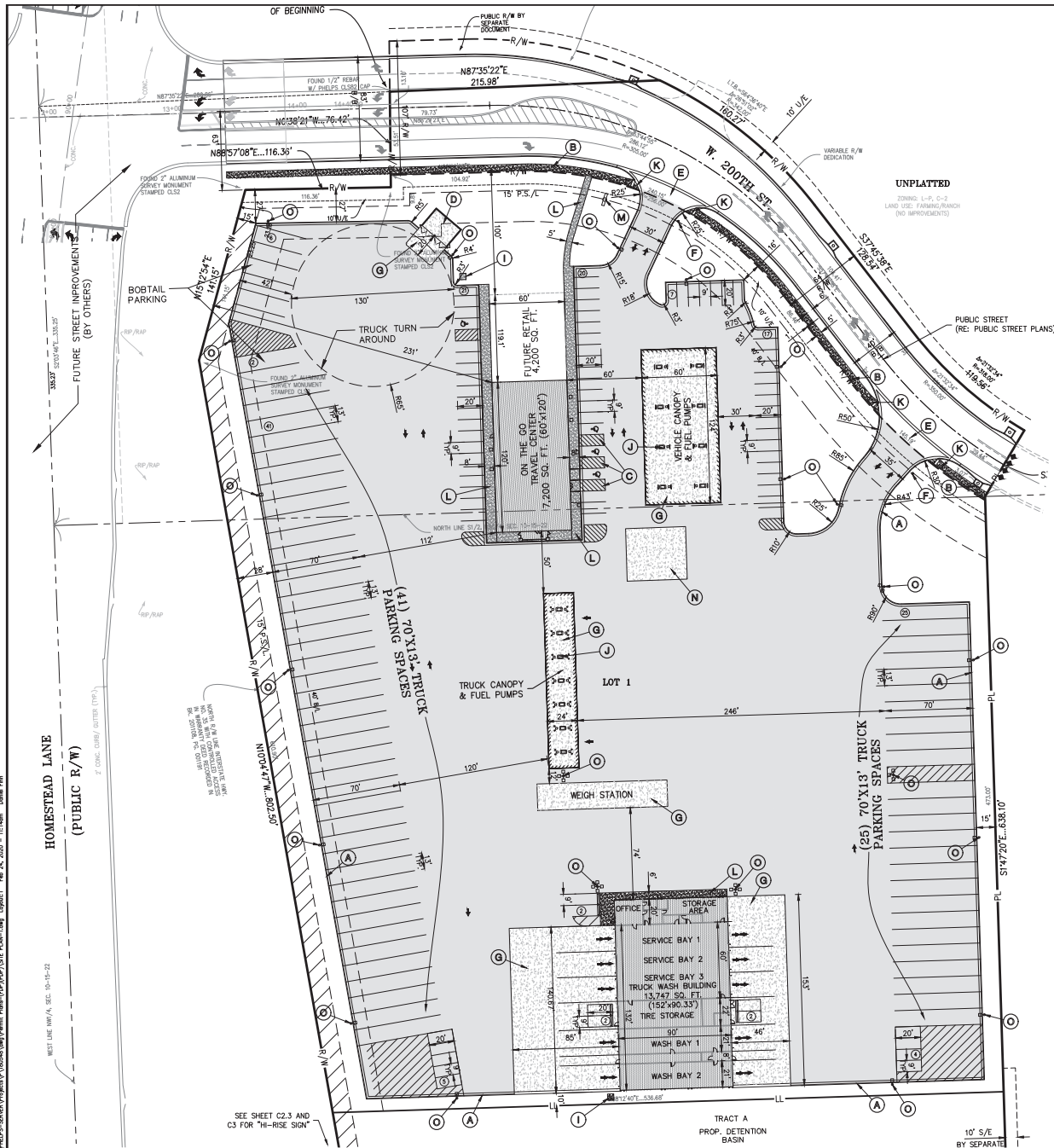
DATE	BY	CHK	APP	REVISION
10/24/2025	JK...	JK...	JK...	1. Initial Design
10/24/2025	JK...	JK...	JK...	2. Final Design
10/24/2025	JK...	JK...	JK...	3. Construction

SHEET  
C0.1









#### APPLICANT:

MY STORE III INC.  
14728 W. 93RD STREET  
LENEXA, KANSAS 66215  
MR. MOUSSA SOBAITI

#### ARCHITECT:

BCS DESIGN, INC.  
19922 WEST 161ST STREET  
OLATHE, KANSAS 66062  
(913) 780-4820

#### SURVEYOR:

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(913) 393-1155  
(913) 393-1166 (FAX)

#### ENGINEER:

PHILIPS ENGINEERING, INC.  
1270 N. WINCHESTER  
OLATHE, KANSAS 66061  
(913) 393-1155  
(913) 393-1166 (FAX)

#### UNPLATTED

ORIGIN: LOT 1, C-2  
LAND USE: FARMING/RANCH  
(NO IMPROVEMENTS)

#### LEGAL

LOT 1, ON THE GO TRAVEL CENTER, FIRST PLAT, A SUBDIVISION IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS.

#### SITE DIMENSION NOTES:

1. BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDING.

2. ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FROM BACK OF CURB TO BACK OF CURB.

#### PAVEMENT MARKING AND SIGNAGE NOTES:

1. PARKING STALL MARKING STRIPES SHALL BE FOUR (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.

2. HANDICAP PARKING MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.

3. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.

4. STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.

5. TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES B-2972 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.

#### FLOOD NOTE:

THE SUBJECT PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR COMMUNITY NO. 200705, JOHNSON COUNTY, KANSAS, MAY NO. 20090302A, AND DATED AUGUST 3, 2009.

#### ZONING:

THIS PROPERTY IS ZONED C-2 (HEAVY SERVICE COMMERCIAL) PER JOHNSON COUNTY AND WEBSITE.

NOTE: THIS SURVEYOR WAS NOT SUPPLIED A ZONING REPORT OR LETTER FOR THIS SURVEY.

BENCHMARK: (VERTICAL DATUM = NAVD83 BASED ON JVDN BM 130) SQUARE CUT ON TOP OF CURB EAST SIDE OF SOUTHEAST CORNER ISLAND AT INTERSECTION OF HOMESTEAD LANE AND 199TH STREET. ELEVATION=1015.81

BM 927 = PLUS CUT TOP CURB ON NORTH SIDE OF CONCRETE ENTRANCE TO SUBJECT PROPERTY. ELEVATION=1025.81

#### SITE KEY NOTES:

- (A) CONSTRUCT 2" TYPE 'B' CURB & GUTTER (TYPICAL)
- (B) CONSTRUCT PUBLIC CONCRETE SIDEWALK (TYPICAL)
- (C) CONSTRUCT ACCESSIBLE PARKING SPACE. INSTALL PAVEMENT MARKINGS, LAYDOWN CURB & BUMPERS. (SEE ACCESSIBLE PARKING SPACE DETAIL 101.12.)
- (D) INSTALL MASONRY TRASH ENCLOSURE (REFER TO ARCH. PLANS)
- (E) CONSTRUCT COMMERCIAL CONCRETE ENTRANCE (PER CITY STD. DETAIL)
- (F) INSTALL STOP SIGN
- (G) INSTALL CONCRETE PAVEMENT (SEE TYPICAL SECTION SHEET C11)
- (H) CONSTRUCT TYPE A SIDEWALK RAMP WITH LAYDOWN CURB & GUTTER (OMIT DETECTABLE MARKINGS)
- (I) CONSTRUCT CONCRETE TRANSFORMER PAD
- (J) PLANS FOR BUILDING MATERIALS FOR FUEL ISLANDS. (REFER TO ARCH. PLANS)
- (K) CONSTRUCT CITY STANDARD SIDEWALK RAMP WITH LAYDOWN CURB AND GUTTER WITH DETECTABLE MARKING MEETING PROWING REQUIREMENTS
- (L) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL)
- (M) PROPOSED MONUMENT SIGN TO BE REVIEWED UNDER SIGN APPLICATION (REFER TO ARCH. PLANS)
- (N) CONCRETE PAD FOR UNDERGROUND GAS TANKS (SEE ARCH. PLANS)
- (O) PARKING LOT LIGHT POLE (REFER TO LIGHTING PLANS)

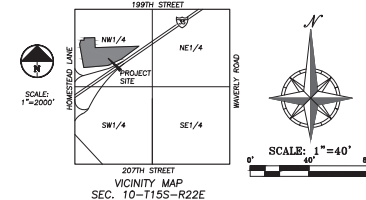
#### SITE DATA

SITE AREA TOTAL:	531,889± SQ.FT./12.21± AC.
ZONING	C-2
EXISTING	
FUTURE RETAIL BUILDING (1-STORY)	4,200 S.F.
PROPOSED BUILDING (1-STORY)	7,200 S.F.
PROPOSED TRUCK WASH (1-STORY)	13,747 S.F.
PROPOSED # OF EMPLOYEES (MAX SHIFT)	10 EMPLOYEES

#### VEHICULAR PARKING DATA

PROPOSED AUTO PARKING	PROVIDED	REQUIRED
STANDARD STALLS (9'-0" X 20'-0")	76	4 (76-100)
ACCESSIBLE STALLS	4	
TOTAL	80	36 (1/200)
PROPOSED SEMI-TRUCK PARKING		
TRUCK STALLS	66	
PUMPS	8	
SERVICE & WASH BAYS	9	
TOTAL	83	
PROPOSED BOB-TAIL TRUCK PARKING	8	

NOTE: AUTO PARKING INCLUDES THE 15 STALLS ADJACENT TO THE SERVICE & WASH BAYS.



#### LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- RW — RIGHT-OF-WAY
- W/E — WATERLINE EASEMENT
- U/E — UTILITY EASEMENT
- P/E — PEDESTRIAN EASEMENT
- A/E — PROPOSED ACCESS EASEMENT
- P — PROPOSED CONCRETE PAVEMENT
- A — PROPOSED ASPHALT PAVEMENT
- C — PROPOSED 2" CURB & GUTTER
- S — PROPOSED CONCRETE SIDEWALK
- D — PROPOSED PARKING LOT LIGHT



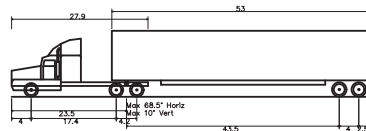
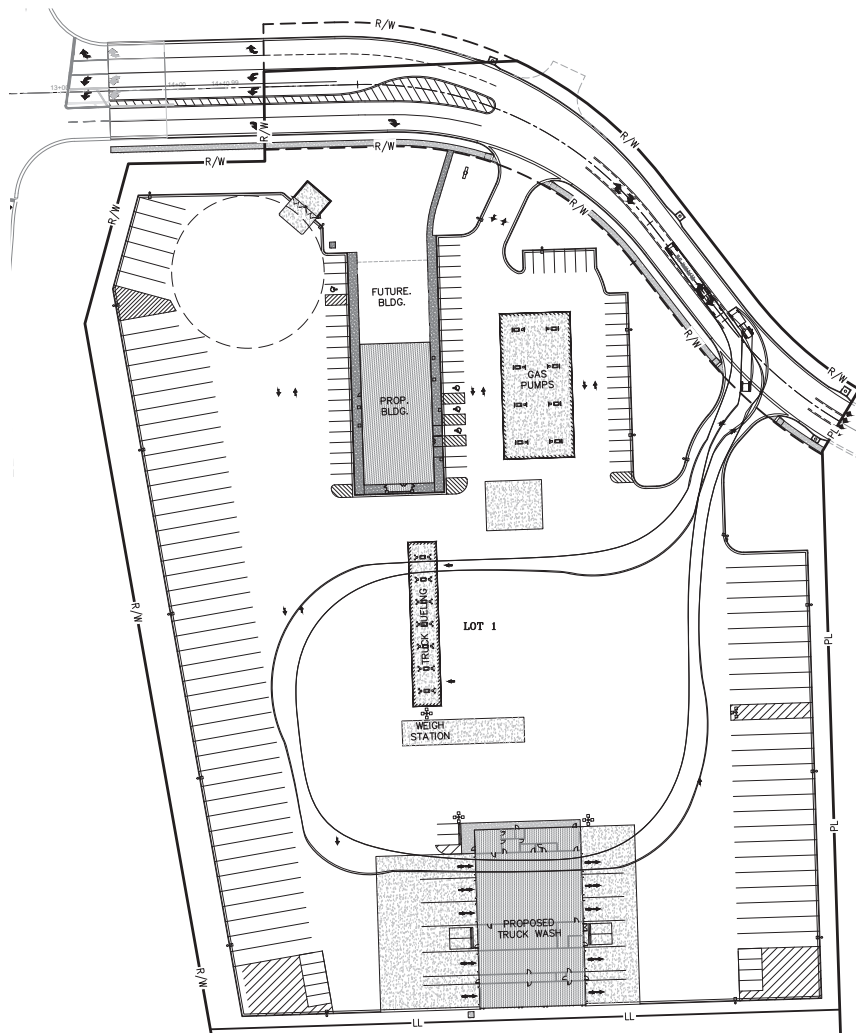
Know what's below.  
Call before you dig.

UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, IS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES.

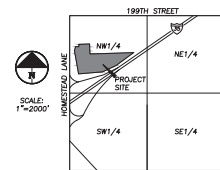
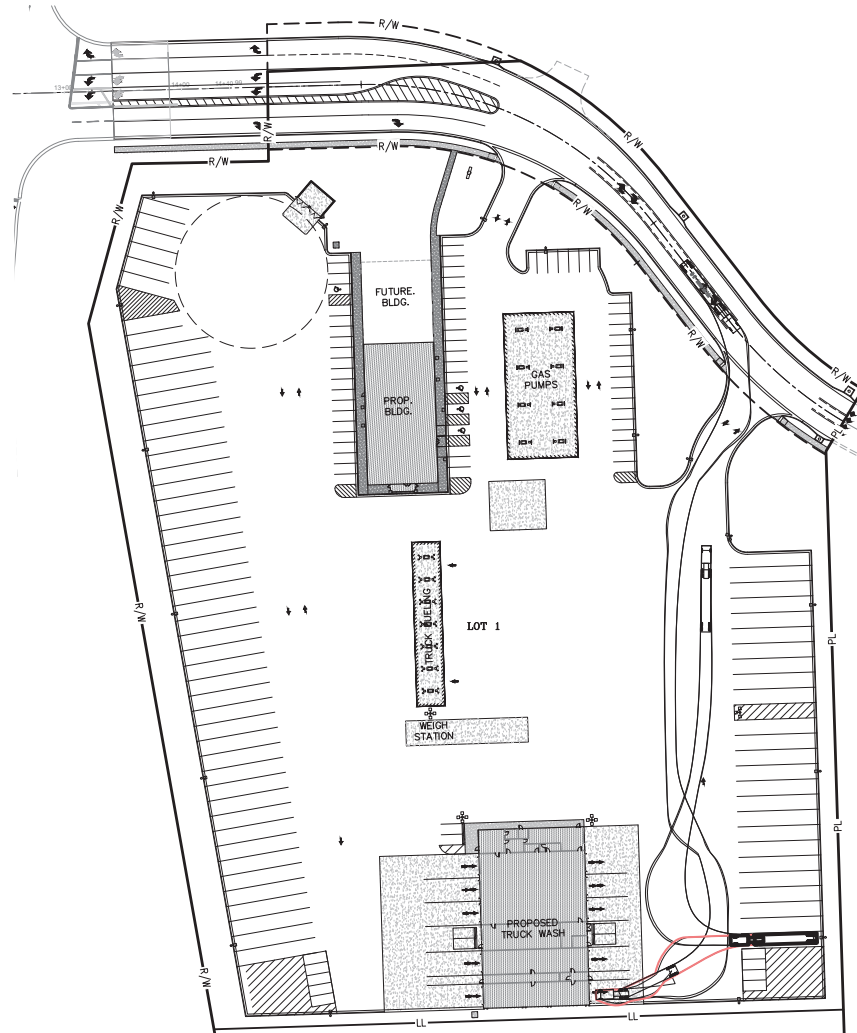


Professional Engineer  
Daniel A. Fink  
State of Kansas  
No. 24832





WB-67 - Interstate Semi-Trailer  
 Overall Length 73.501ft  
 Overall Width 8.500ft  
 Overall Body Height 13.500ft  
 Min Body Ground Clearance 1.334ft  
 Max Track Width 6.500ft  
 Lock-to-lock time 6.00s  
 Max Steering Angle (Virtual) 28.40°



Professional Engineer  
 Daniel A. Jones  
 License No. 24132  
 State of Kansas



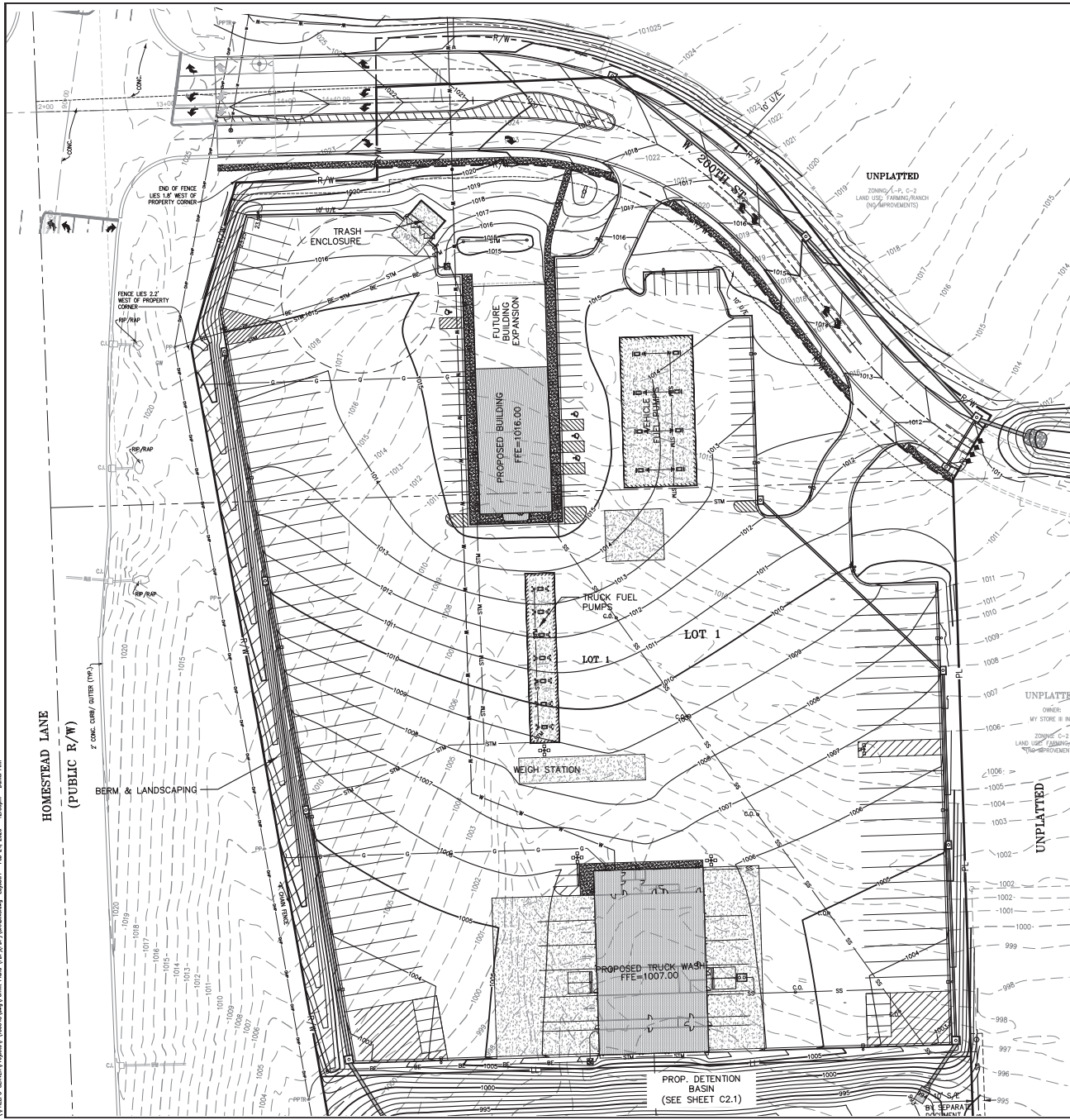
**TRUCK TURN PLAN**  
 ON THE GO-TRAVEL CENTER  
 32501 & 32511 W. 200TH STREET  
 EDGERTON, JOHNSON COUNTY, KANSAS

NO.	DATE	REVISION
1	10-11-2011	Initial Design
2	10-11-2011	Revised Per City Staff Comments
3	10-11-2011	Final Design
4	10-11-2011	Final Design
5	10-11-2011	Final Design
6	10-11-2011	Final Design
7	10-11-2011	Final Design
8	10-11-2011	Final Design
9	10-11-2011	Final Design
10	10-11-2011	Final Design

SHEET  
**C1.1**



\\V:\V\GIS\GIS\SEVEN\Projects\1\105448.dwg [Print] Phase: 07/27/2019 10:40:00 AM User: J1 Feb 24, 2020 - 12:30pm David Finn



### Earthwork Summary On The Go Travel Center 2/17/2020

Raw Excavation	27,945 Cu. Yds.
In Place Compaction (+15%)	-49,371 Cu. Yds.
Building Adjustment	1,552 Cu. Yds. (assume 24" of additional excavation)
Pavement Adjustment	11,038 Cu. Yds. (assume 12" of additional excavation)
On Site Net	-6,836 Cu. Yds.

\* EARTHWORK COMPUTATIONS BY PHELPS ENGINEERING, INC. ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY CONTRACTORS BY THEIR CHOSEN METHOD PRIOR TO PLACING BID. ALL EARTHWORK SHALL BE CONSIDERED UNCLASSIFIED. 15% WAS ADDED INTO RAW FILL QUANTITY TO ACCOUNT FOR SHRINKAGE.

#### FLOOD NOTE:

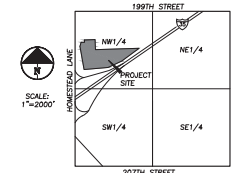
THE SUBJECT PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR COMMUNITY NO. 200155, JOHNSON COUNTY, KANSAS, MAP NO. 2009IC0134G, AND DATED AUGUST 3, 2009.

#### ZONING:

THIS PROPERTY IS ZONED C-2 (HEAVY SERVICE COMMERCIAL) PER JOHNSON COUNTY AIMS WEBSITE. NOTE: THIS SURVEYOR WAS NOT SUPPLIED A ZONING REPORT OR LETTER FOR THIS SURVEY.

**BENCHMARK:** (VERTICAL DATUM = NAVD83 BASED ON JCWA BM 130.) SQUARE CUT ON TOP OF CURB EAST NOSE OF SOUTHEAST CONCRETE ISLAND AT INTERSECTION OF HOMESTEAD LANE AND 199TH STREET. ELEVATION= 1013.81

BM# 997 = PLUS CUT TOP CURB ON NORTH SIDE OF CONCRETE ENTRANCE TO SUBJECT PROPERTY. ELEVATION=1025.89



207TH STREET  
VICINITY MAP  
SEC. 10-T15S-R22E



UTILITY NOTES:  
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PHILIPS ENGINEERING, INC.  
24132  
2/23/2020  
KANSAS  
PROFESSIONAL ENGINEER



**GRADING PLAN**  
ON THE GO-TRAVEL CENTER  
32501 & 32511 W. 200TH STREET  
EDGERTON, JOHNSON COUNTY, KANSAS

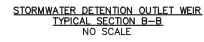
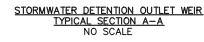
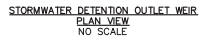
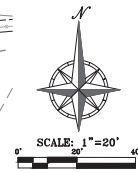
DATE	BY	CHK	APP	REVISION
07/27/2019	JAF			1. Initial Design
08/01/2019	JAF			2. Revised Per City Staff Comments
08/01/2019	JAF			3. Final Design
08/01/2019	JAF			4. Final Design
08/01/2019	JAF			5. Final Design
08/01/2019	JAF			6. Final Design
08/01/2019	JAF			7. Final Design
08/01/2019	JAF			8. Final Design
08/01/2019	JAF			9. Final Design
08/01/2019	JAF			10. Final Design

SHEET  
C2

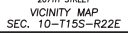








BM# 997 = PLUS CUT TOP CORB ON NORTH SIDE OF CONCRETE ENTRANCE TO SUBJECT PROPERTY. ELEVATION=1025.89



LG LIP OF GUTTER  
TC TOP OF CURB  
SW SIDEWALK  
ME MATCH EXISTING  
HP HIGH POINT  
LP LOW POINT  
P TOP OF PAVEMENT  
TE TOP OF STRUCTURE  
GR GROUND ELEVATION



UTILITY NOTES:  
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**DETENTION PLAN**  
ON THE GO-TRAVEL CENTER  
32501 & 32511 W. 200TH STREET  
EDGERTON, JOHNSON COUNTY, KANSAS

PROJECT NO.	180548	No.	Date	Revisions	By
DESIGNED 8-22-19	JAWWANE, JOL	1	9-12-19	Revised Per City Staff Comments.	CHL JDC
ORDERED 8-22-19	JAWWANE, JOL	1	1-29-20	FDP Representative to City	CHL JDC
ORDERED 8-22-19	JAWWANE, JOL	1	3-31-20	Out to Permit	CHL JDC
ORDERED 8-22-19	JAWWANE, JOL	2	2-23-20	FDP Representative to City	CHL JDC
DATE OF AUTHORIZATION					
DATE OF REVIEW					
DATE OF REVIEW					

SHEET  
C2.3



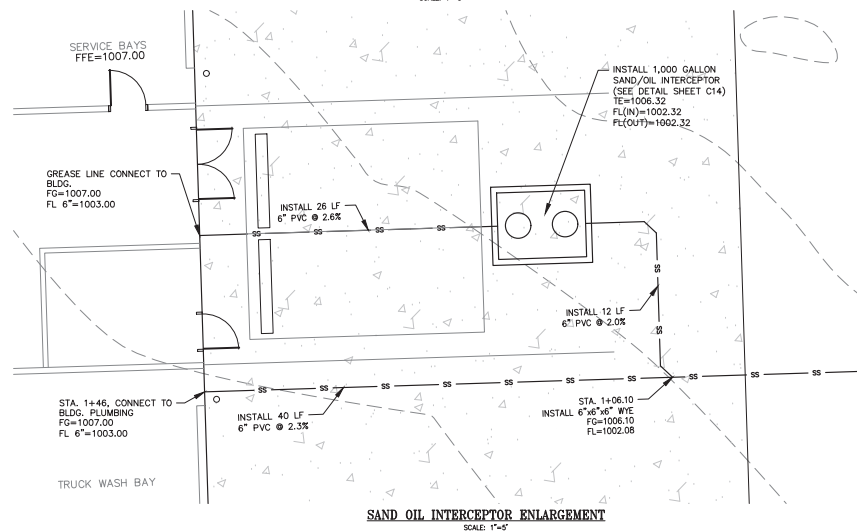
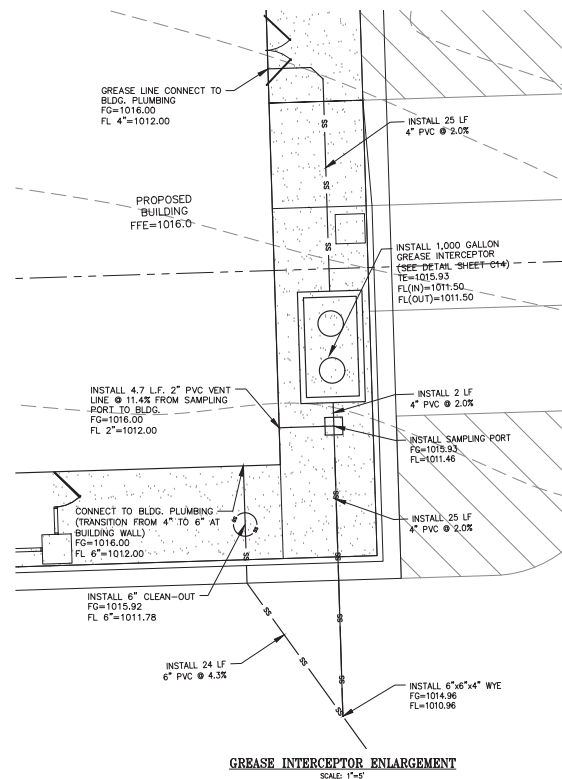
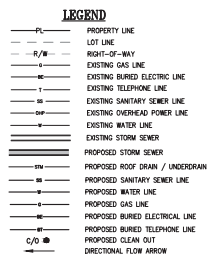








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For more information, call 1-800-451-7243.

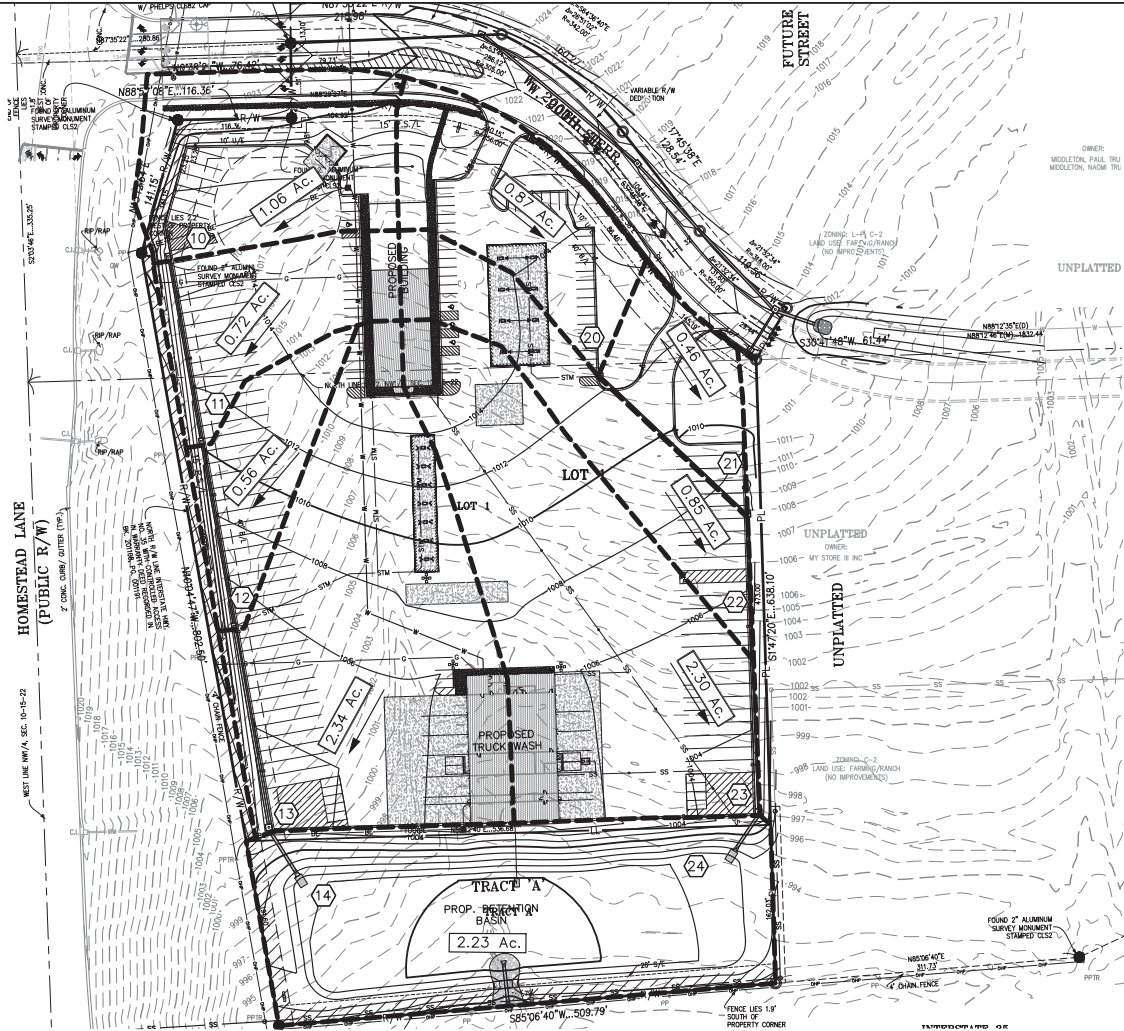


**UTILITY PLAN – ENLARGEMENT**  
ON THE GO-TRAVEL CENTER  
32501 & 32511 W. 200TH STREET  
EDGERTON, JOHNSON COUNTY, KANSAS

[illegible]

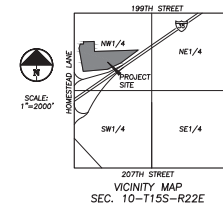
SHEET

C3.2



#### LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- DENOTES DRAINAGE AREA
- DENOTES FLOW DIRECTION
- DENOTES DRAINAGE AREA TO STRUCTURE
- DENOTES STRUCTURE NUMBER



DESIGN CRITERIA: K <sub>10</sub> = 1.1; K <sub>100</sub> = 1.25; n = 0.019 (ROP); STORM FREQUENCY = 25 YEAR; A1 = AREA INLET; J.B = JUNCTION BOX; C1 = CURB INLET; C2 = CURB OUT; G1 = GRATE INLET; HEIGHT OF STRUCTURE = PIPE ELEVATION MINUS FLOWLINE OUT.																								REMARKS	
STATION NUMBER	I. RUNOFF					III. PIPE DESIGN																			
	INCREMENTAL RUNOFF COEFFICIENT "C"	AREA "A" (ACRES)	C1-A	AREA "A" (ACRES)	C1-A	SYSTEM TIME OF CONCENTRATION "T <sub>c</sub> " AT STRUCTURE (MIN)	RAINFALL INTENSITY "I <sub>a</sub> " (IN/HR)	ANTECEDENT PRECIPITATION FACTOR "K <sub>a</sub> " (K <sub>10</sub> )	RUNOFF "Q <sub>10</sub> " (CFS)	STRUCTURE		PIPE													
										Upstream Structure Number	Downstream Structure Number	Upstream Structure Run Elevation	Height of Structure (FT)	Diameter "D" (IN)	Length "L" (FT)	Upstream Invert Elevation	Downstream Invert Elevation	Slope "S" (FT/FT)	Total Time in Pipe "T <sub>T</sub> " (min)	Velocity Full V <sub>f</sub> (FPS)	Runoff Q <sub>10</sub> (CFS)	Runoff Q <sub>100</sub> (CFS)	Full Flow Q <sub>100</sub> (CFS)		
1	10	0.90	1.06	0.95	1.06	0.95	5.00	8.53	1.10	8.9	10	11	1015.10	6.40	18	191.99	1008.70	1007.00	0.0089	0.57	5.6	8.9	12.3	9.9	
								10.32	1.25	12.3															
	11	0.90	0.72	0.65	1.78	1.60	5.57	8.33	1.10	14.7	11	12	1010.71	4.21	18	191.98	1006.50	1001.80	0.0245	0.34	9.4	14.7	20.2	16.4	
								10.09	1.25	20.2															
	12	0.90	0.56	0.50	2.34	2.10	5.91	8.22	1.10	19.0	12	13	1005.67	4.37	24	208.83	1001.30	998.59	0.0130	0.42	8.2	19.0	26.1	25.8	
2	13	0.90	2.34	2.11	4.68	4.21	6.33	9.96	1.25	26.1															
								9.80	1.25	51.6															
								9.80	1.25	51.6															
								9.80	1.25	51.6															
								9.80	1.25	51.6															
2	20	0.90	0.87	0.78	0.87	0.78	5.00	8.53	1.10	7.3	20	21	1012.59	4.00	15	206.04	1008.59	1003.44	0.0250	0.41	8.4	7.3	10.1	10.2	
								10.32	1.25	10.1															
	21	0.90	0.46	0.41	1.33	1.19	5.41	8.29	1.10	11.0	21	22	1007.48	4.54	18	144.00	1002.94	1001.06	0.0151	0.35	6.8	11.0	15.1	12.0	
								10.15	1.25	15.1															
	22	0.90	0.85	0.77	2.18	1.96	5.76	8.27	1.10	17.8	22	23	1005.42	4.86	24	161.42	1000.56	998.46	0.0130	0.33	8.3	17.8	24.5	26.4	
	23	0.90	2.30	2.07	4.48	4.03	6.09	10.02	1.25	24.5															
								8.16	1.10	36.2	23	24	1001.20	8.14	30	40.82	995.06	994.05	0.0100	0.08	8.4	36.2	49.8	42.1	
								9.89	1.25	49.8															



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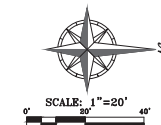
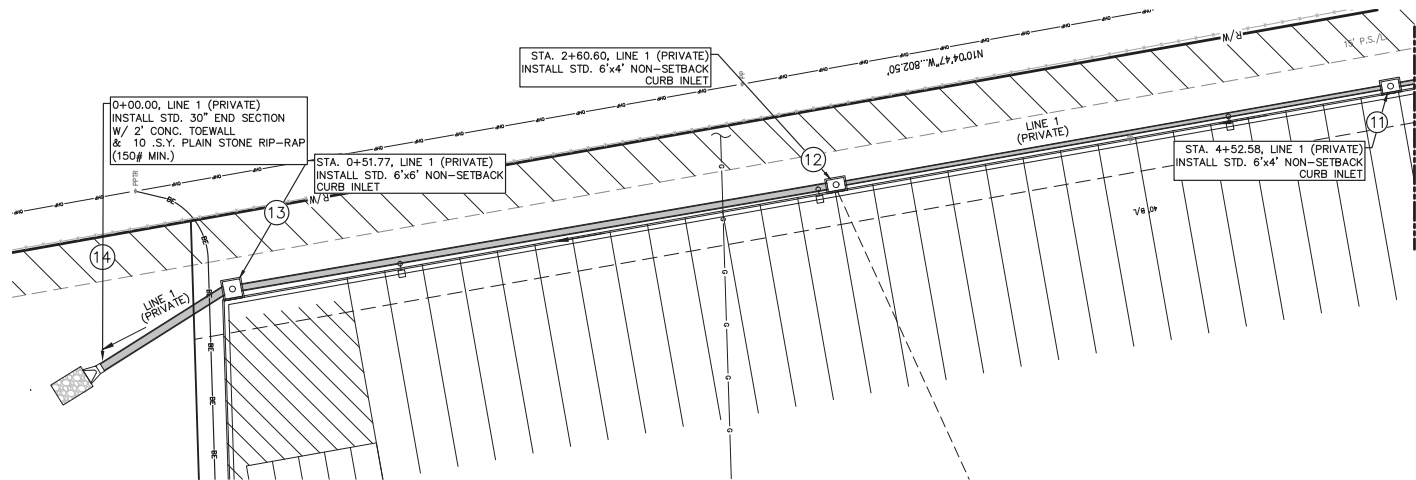
Professional Engineering and  
Surveying  
Daniel A. Finn  
24832  
KANSAS  
www.danfinn.com



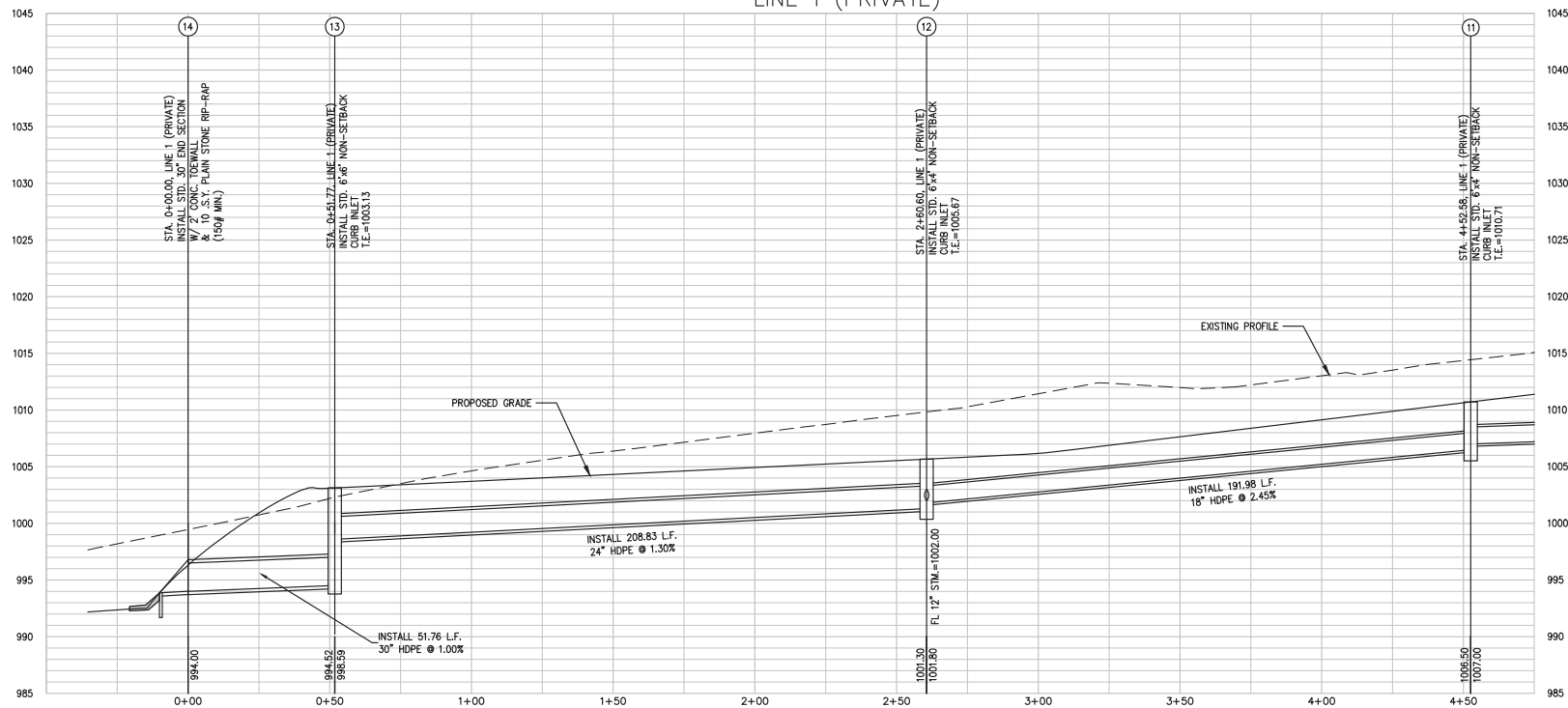
**DRAINAGE MAP**  
ON THE GO-TRAVEL CENTER  
32501 & 32511 W. 200TH STREET  
EDGERTON, JOHNSON COUNTY, KANSAS

DATE	BY	CHK	APP	REVISION
10-24-2022	JAF	JAF	JAF	1. Initial Design
10-24-2022	JAF	JAF	JAF	2. Final Design
10-24-2022	JAF	JAF	JAF	3. Construction

SHEET  
C4



# LINE 1 (PRIVATE)



## LEGEND

← DIRECTIONAL FLOW ARROW



Know what's below.  
Call before you dig.

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Professional Engineering and  
Surveying  
Daniel A. Fink  
24132  
2/23/2019  
Kansas  
www.danfink.com



**STORM SEWER PLAN & PROFILE**  
ON THE GO-TRAVEL CENTER  
32501 & 32511 W. 200TH STREET  
EDGERTON, JOHNSON COUNTY, KANSAS

NO.	DATE	REVISION
1	01/15/20	Revised Per City Staff Comments.
2	01/20/20	Revised Per City Staff Comments.
3	01/20/20	Revised Per City Staff Comments.
4	01/20/20	Revised Per City Staff Comments.
5	01/20/20	Revised Per City Staff Comments.
6	01/20/20	Revised Per City Staff Comments.
7	01/20/20	Revised Per City Staff Comments.
8	01/20/20	Revised Per City Staff Comments.
9	01/20/20	Revised Per City Staff Comments.
10	01/20/20	Revised Per City Staff Comments.

SHEET  
C5



Know what's below.  
**Call** before you dig

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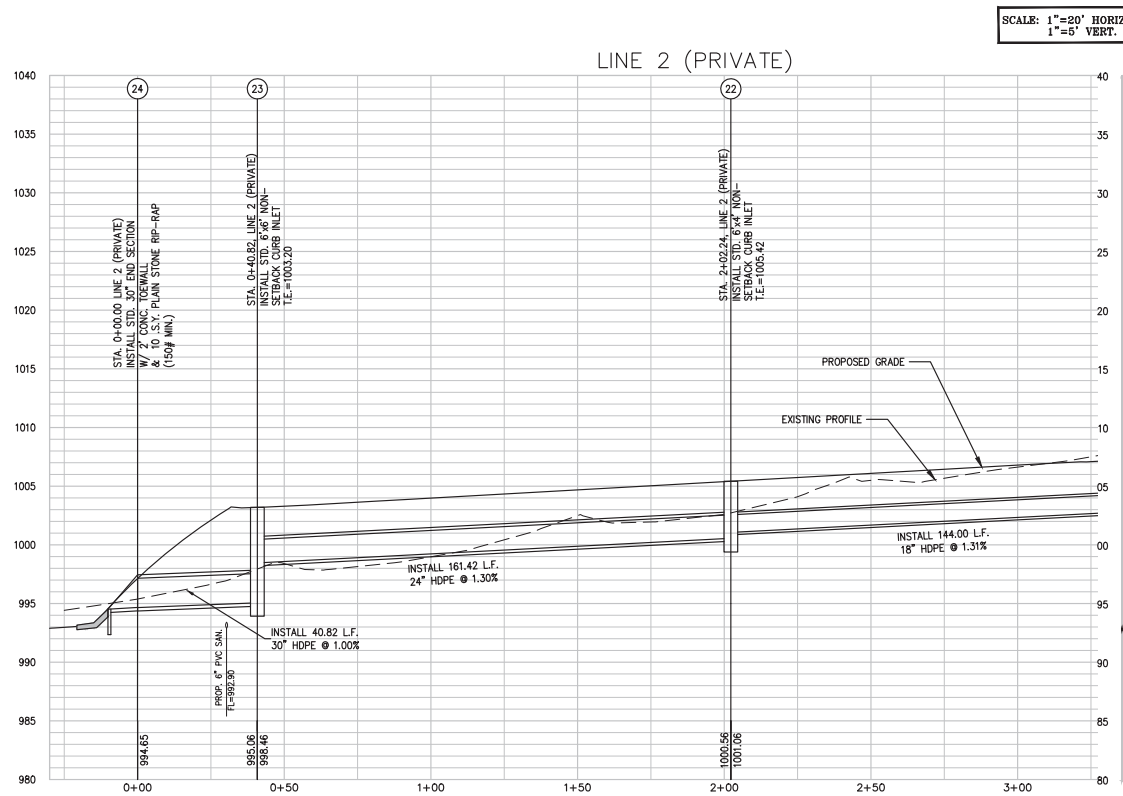
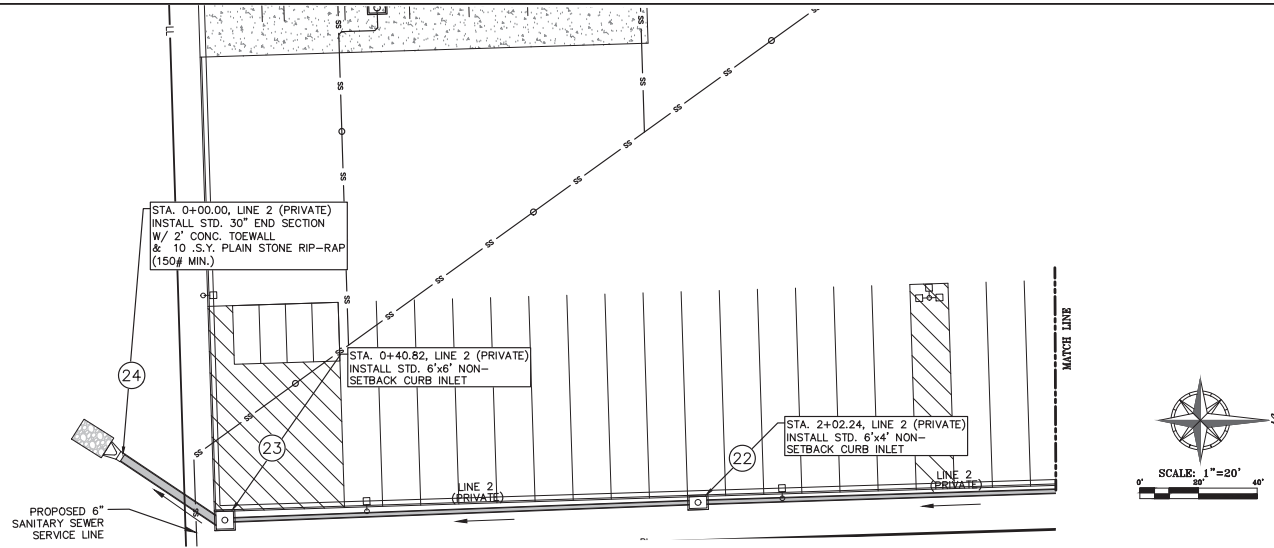
1-800-368-7777  
 500-500 0000  
 1000 0000 0000  
 00000000 0000  
 0000 0000 0000



**STORM SEWER PLAN & PROFILE**  
ON THE GO-TRAVEL CENTER  
32501 & 32511 W. 200TH STREET  
EDGERTON, JOHNSON COUNTY, KANSAS

DATE: 8-22-19	PAUSE: CHL	CHL JDC
1.	9-12-19	CHL JDC
2.	1-29-20	CHL JDC
3.	1-31-20	CHL JDC
4.	2-23-20	CHL JDC
REVISED PW CITY STAFF COMMENTS FIP REASSEMBLED TO CITY OIL TO PERMIT FIP REASSEMBLED TO CITY		
CERTIFICATE OF AUTHORIZATION LAW ENFORCEMENT - 1-3-20 LAW ENFORCEMENT - 1-3-20 LAW ENFORCEMENT - 1-3-20 LAW ENFORCEMENT - 1-3-20		

SHEET  
C6



# LEGEND

← DIRECTIONAL FLOW ARROW



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Professional Engineer  
Daniel A. Fries  
License No. 24132  
State of Kansas



**STORM SEWER PLAN & PROFILE**  
ON THE GO-TRAVEL CENTER  
32501 & 32511 W. 200TH STREET  
EDGERTON, JOHNSON COUNTY, KANSAS

NO.	DATE	DESCRIPTION	BY	CHK.
1	04/20/20	DESIGN	DF	DF
2	04/20/20	REVISION	DF	DF
3	04/20/20	REVISION	DF	DF
4	04/20/20	REVISION	DF	DF
5	04/20/20	REVISION	DF	DF
6	04/20/20	REVISION	DF	DF
7	04/20/20	REVISION	DF	DF
8	04/20/20	REVISION	DF	DF
9	04/20/20	REVISION	DF	DF
10	04/20/20	REVISION	DF	DF

SHEET

C7



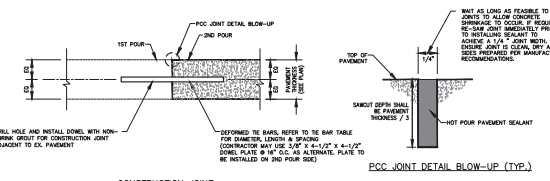




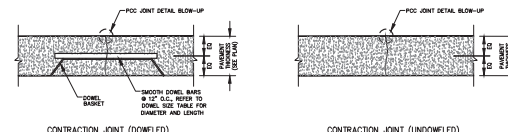




Dowel size*			Tie bar dimensions		
Slab depth, in. (mm)	Dowel diameter, in. (mm)	Dowel embedment, in. (mm)	Total dowel length, in. (mm)	Tie bar size, in. (mm)	Tie bar spacing
5 (125)	5/8 (16)	5 (125)	12 (300)	Distance to nearest free edge or to nearest joint where movement can occur	
6 (150)	3/4 (19)	6 (150)	14 (360)	5 (125)	12 x 24 (13 x 610)
7 (180)	3/4 (19)	6 (150)	14 (360)	5 (125)	12 x 24 (13 x 610)
8 (200)	1 (25)	6 (150)	14 (360)	5 (125)	12 x 24 (13 x 610)
9 (230)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
10 (250)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
11 (280)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
12 (300)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
13 (330)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
14 (360)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
15 (380)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
16 (400)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
17 (430)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
18 (460)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
19 (490)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
20 (510)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
21 (540)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
22 (570)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
23 (600)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)
24 (610)	1-1/8 (29)	7 (180)	16 (400)	5 (125)	12 x 24 (13 x 610)

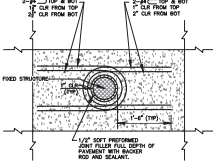


CONSTRUCTION JOINT



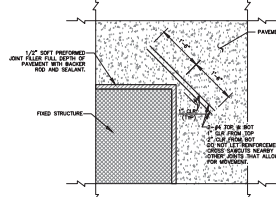
CONCRETE JOINT DETAILS

SCALE: N.T.S.



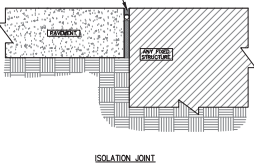
TYPICAL ROUND FIXED STRUCTURE PLAN DETAIL

USES: MANHOLES, LIGHT POLE BASES AND BOLLARDS



TYPICAL RECTANGULAR FIXED STRUCTURE PLAN DETAIL

USES: BUILDINGS, RETAINING WALLS/DOCK WALLS AND DROP INLETS

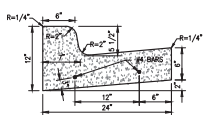


ISOLATION JOINT

NOTES:  
ISOLATION JOINT TO BE USED FOR FIXED STRUCTURES SUCH AS BUILDINGS, RETAINING WALLS/DOCK WALLS, DROP INLETS, MANHOLES, LIGHT POLE BASES AND BOLLARDS.  
PAVEMENT IS NOT CONSIDERED A FIXED STRUCTURE.

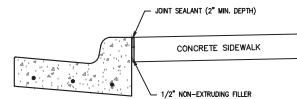
ISOLATION JOINT DETAILS

SCALE: N.T.S.



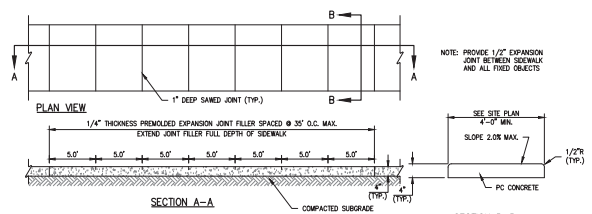
CURB & GUTTER DETAILS

SCALE: N.T.S.



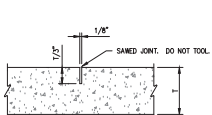
SIDEWALK AT CURB DETAIL

SCALE: N.T.S.



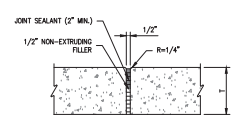
CONCRETE SIDEWALK (PRIVATE SIDEWALKS)

SCALE: N.T.S.



JOINT DETAILS

REV. 08/13/03



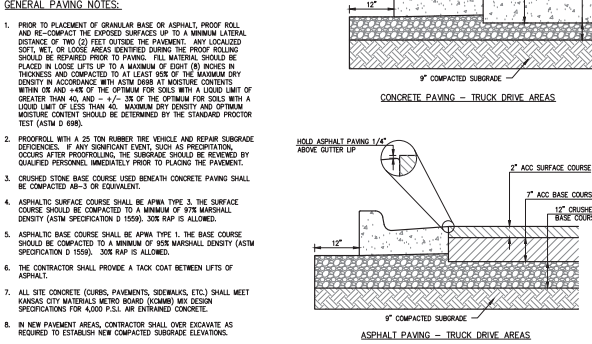
JOINT DETAILS

REV. 08/13/03

NOTE: TYPE A JOINTS SHALL NOT EXCEED 20 TIMES THE PAVEMENT THICKNESS (T).

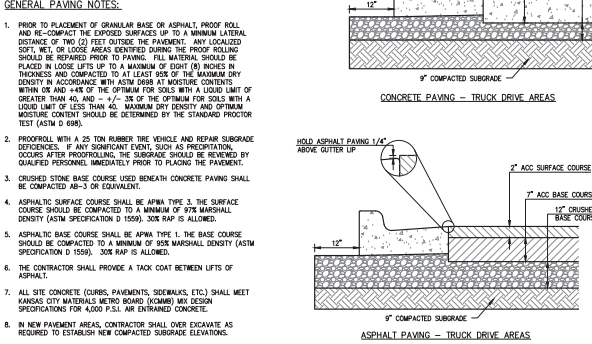
CONCRETE SIDEWALK JOINT DETAILS

SCALE: N.T.S.



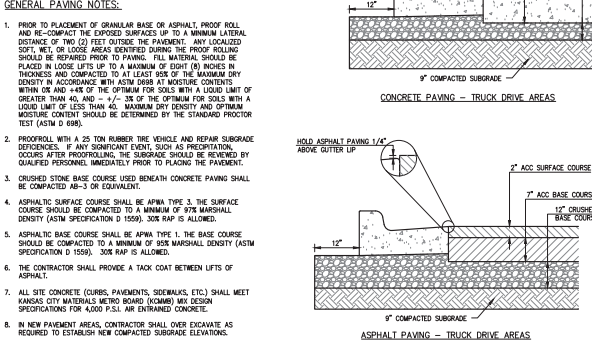
PAVING SECTIONS

SCALE: N.T.S.



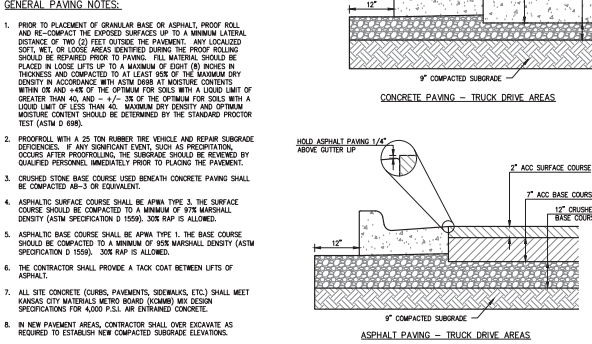
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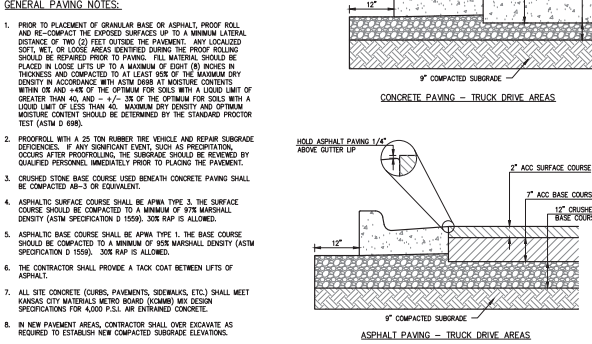
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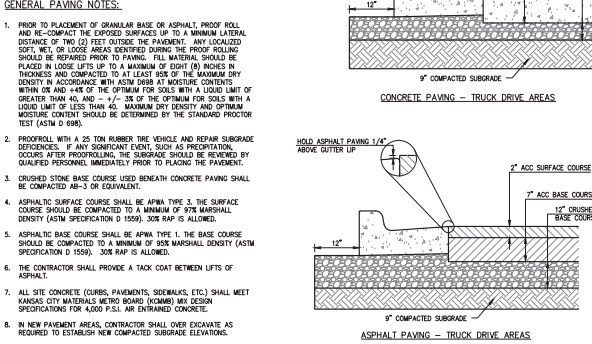
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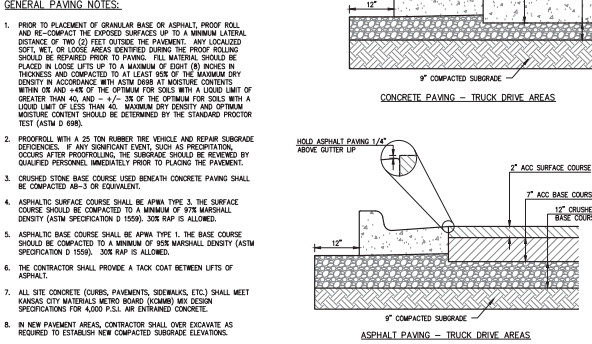
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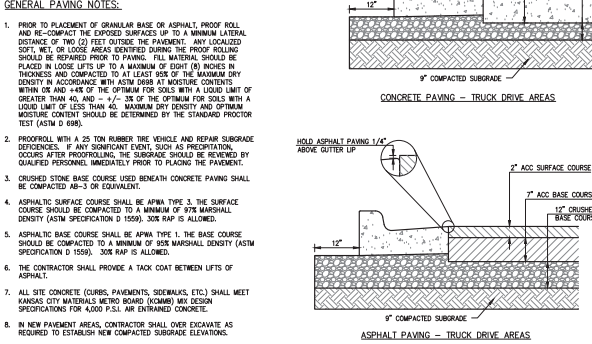
PAVING SECTIONS

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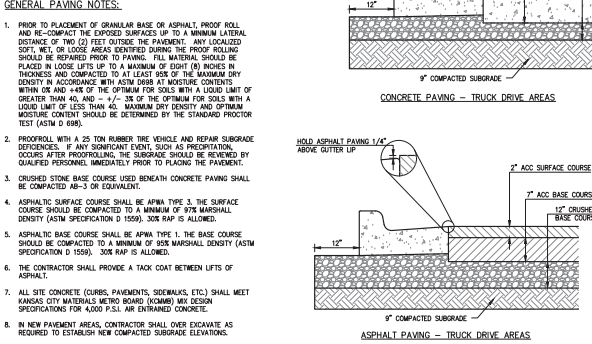
PAVING SECTIONS

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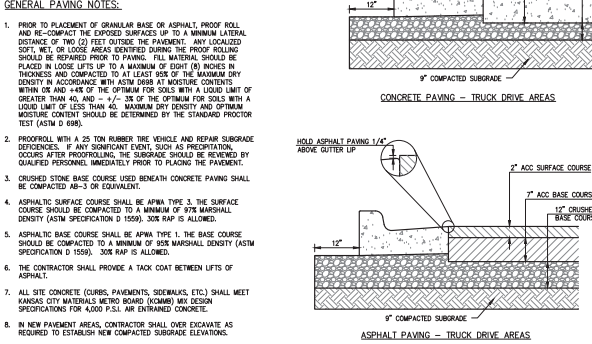
PAVING SECTIONS

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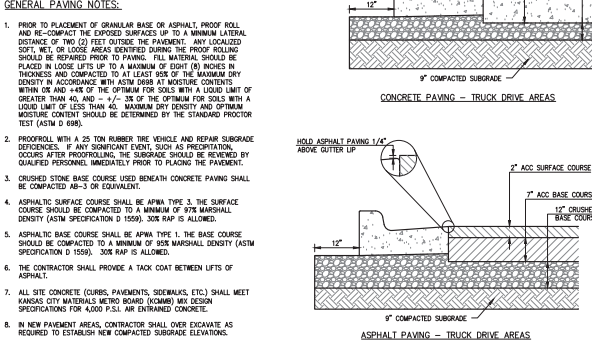
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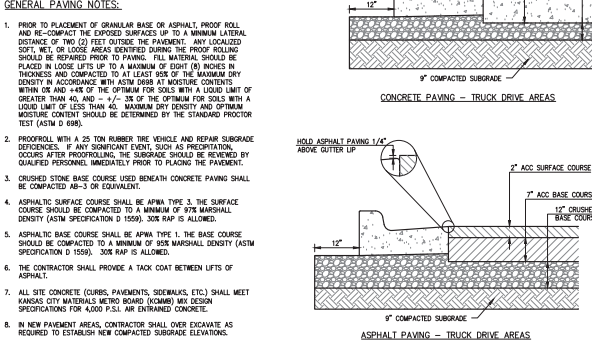
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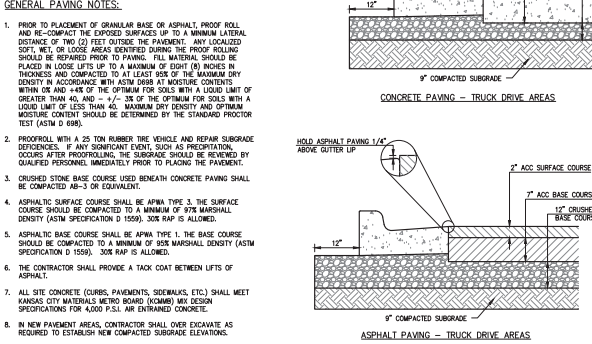
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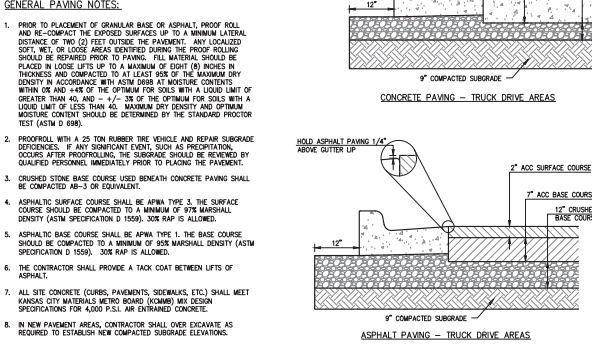
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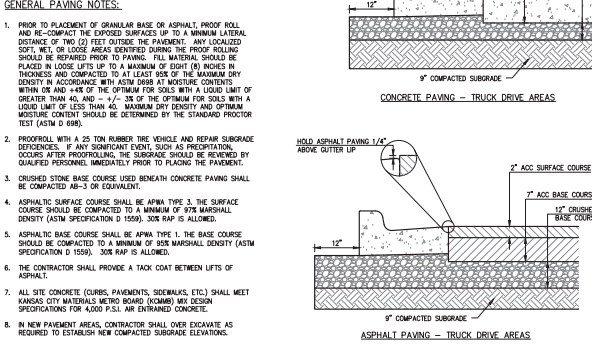
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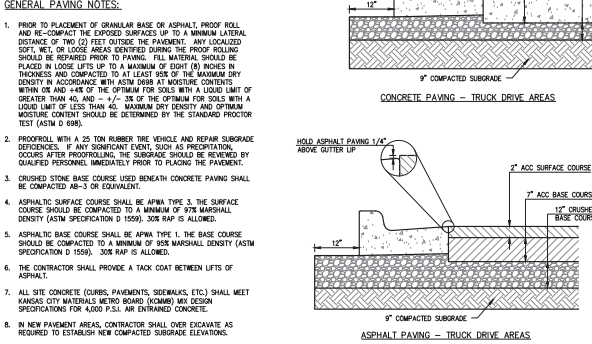
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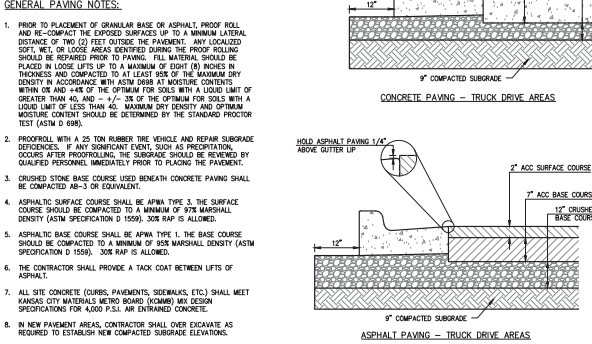
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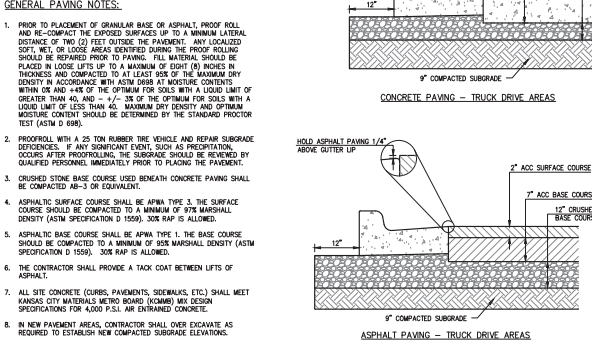
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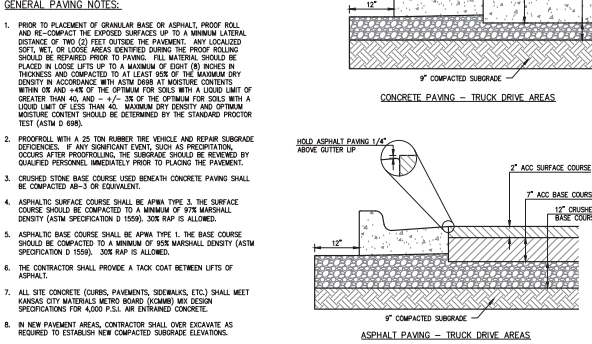
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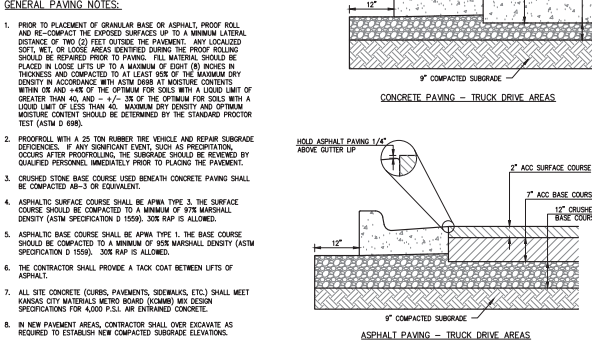
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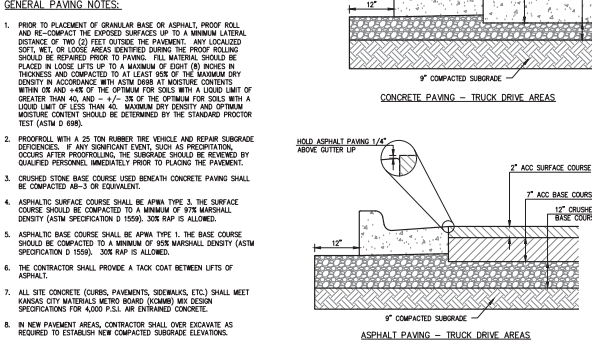
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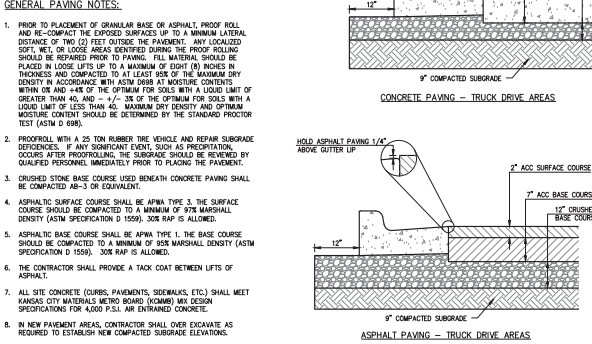
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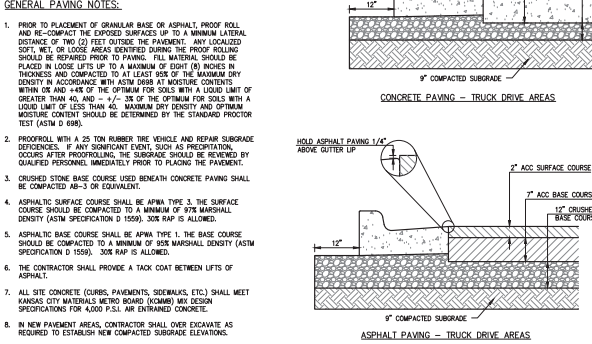
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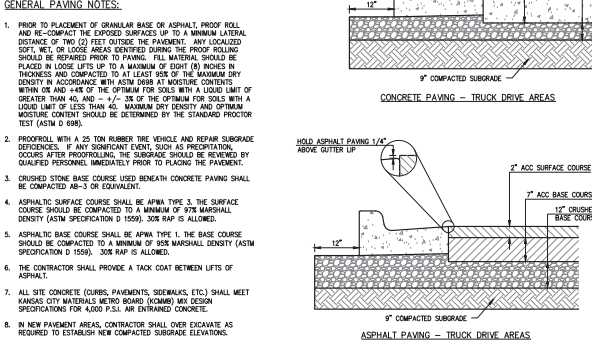
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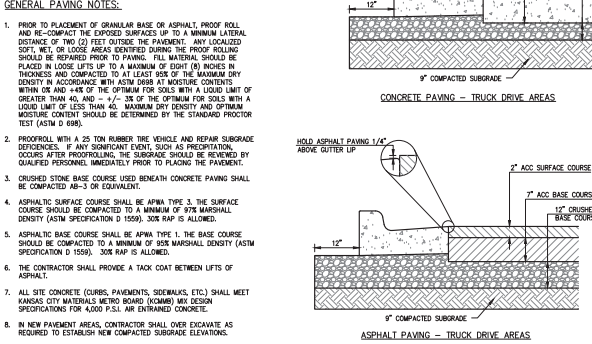
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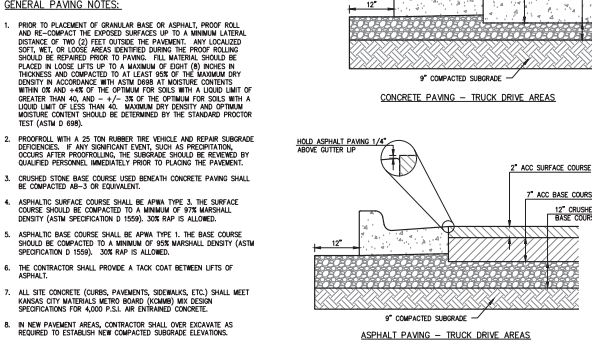
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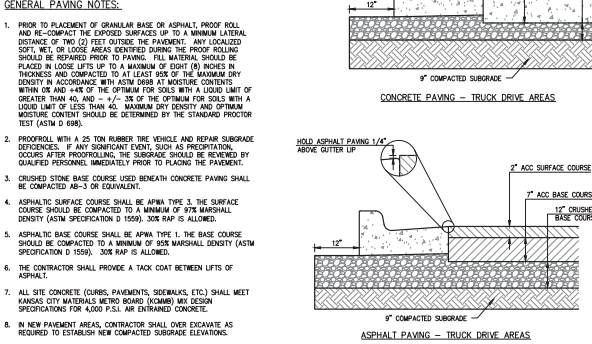
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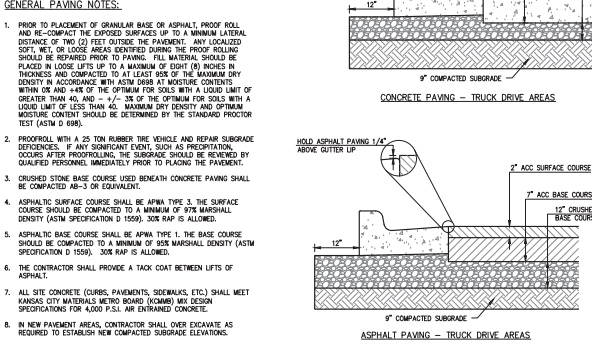
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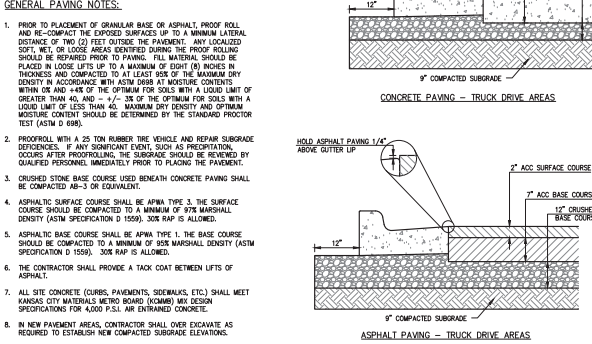
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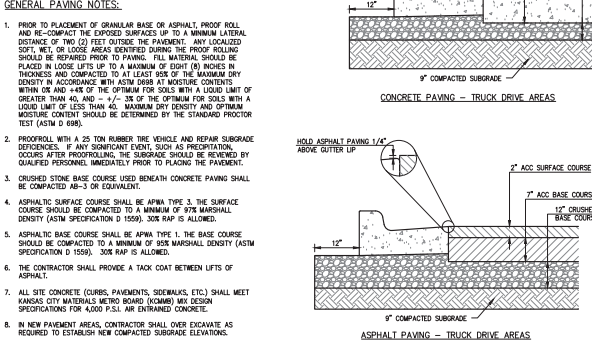
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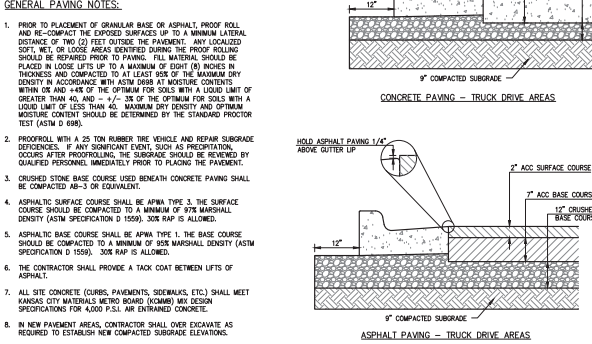
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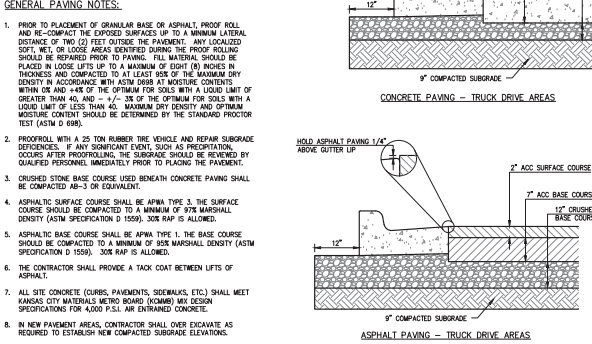
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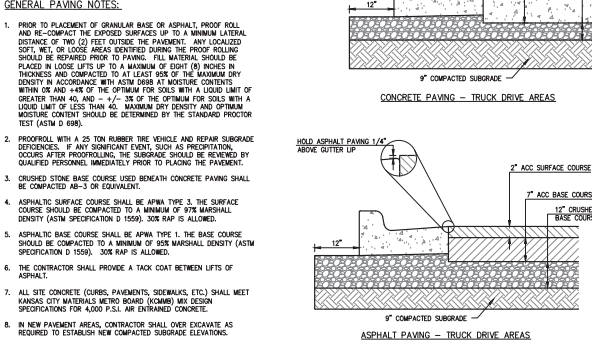
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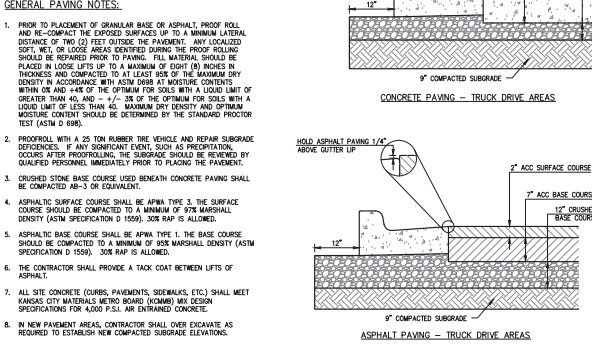
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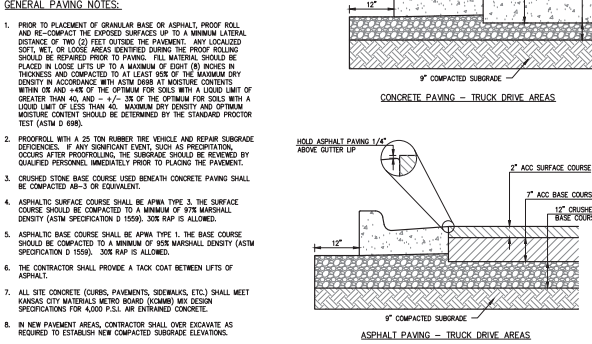
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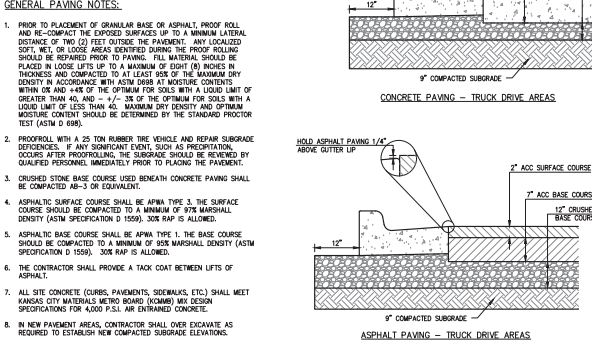
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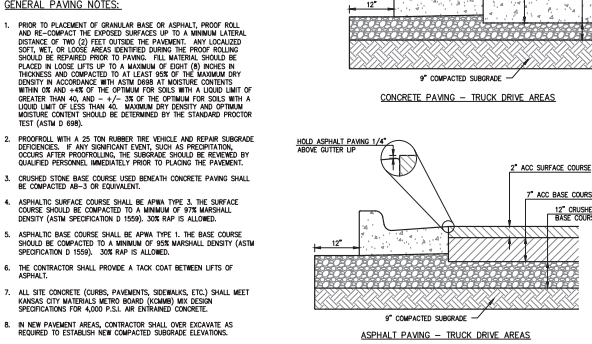
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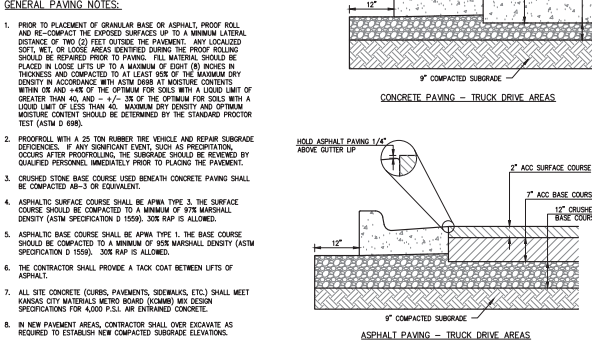
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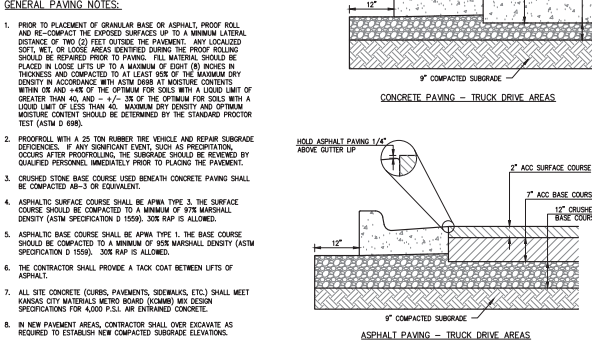
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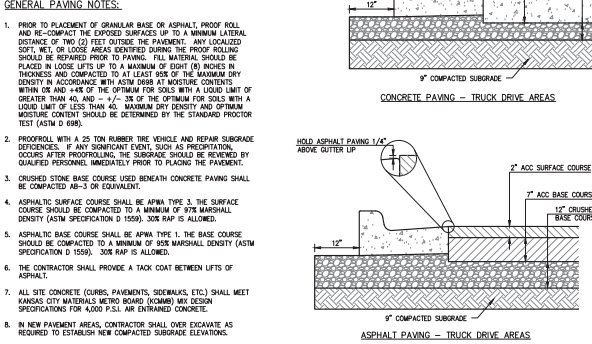
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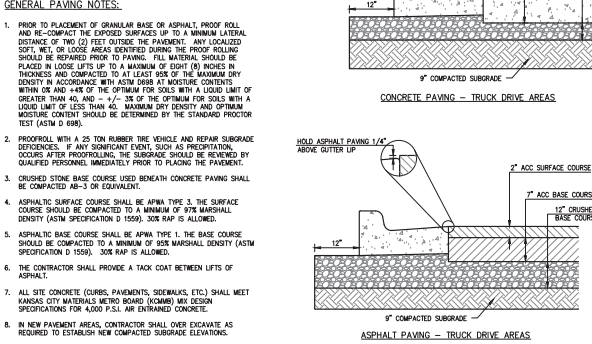
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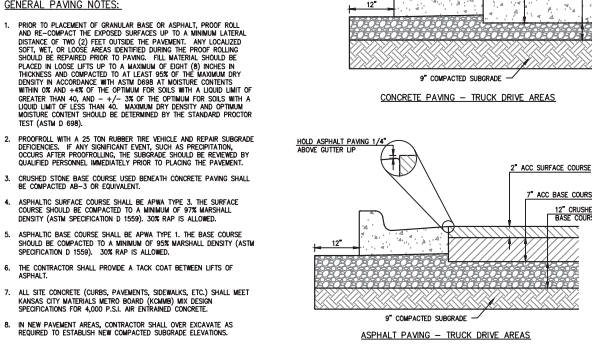
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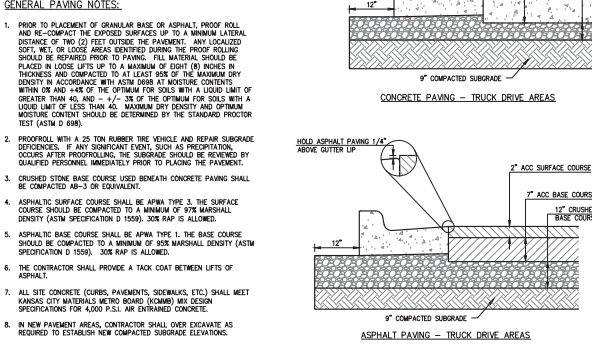
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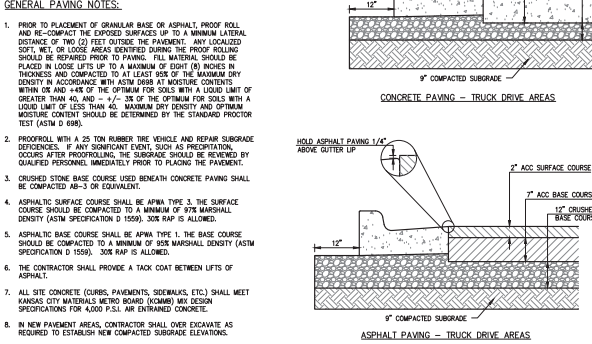
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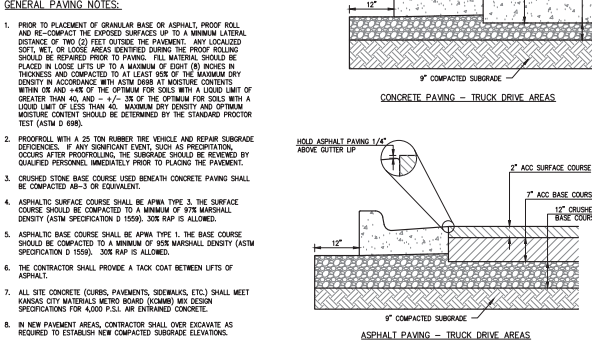
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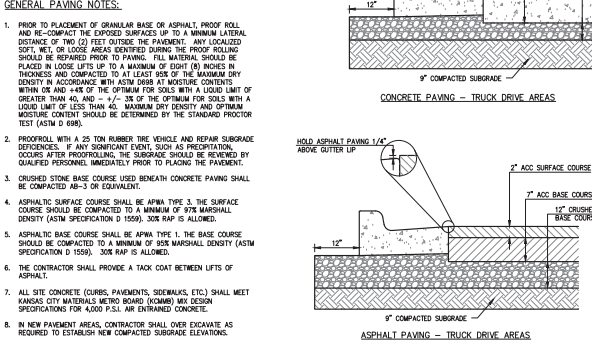
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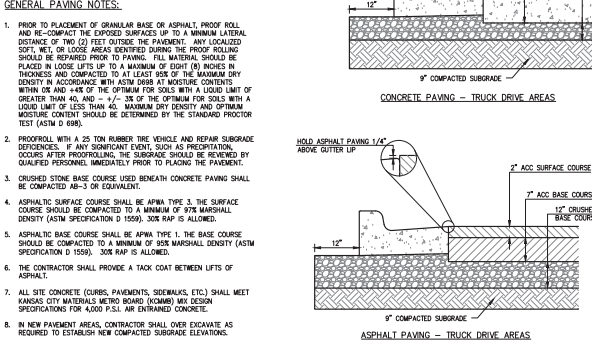
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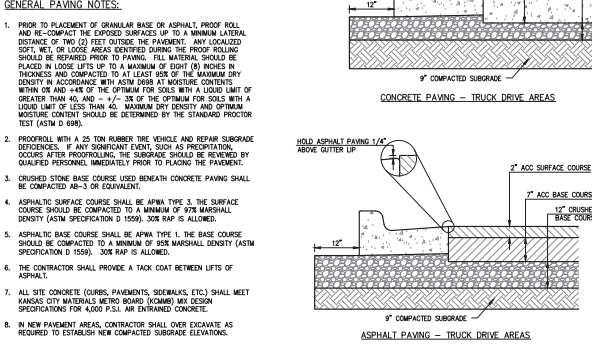
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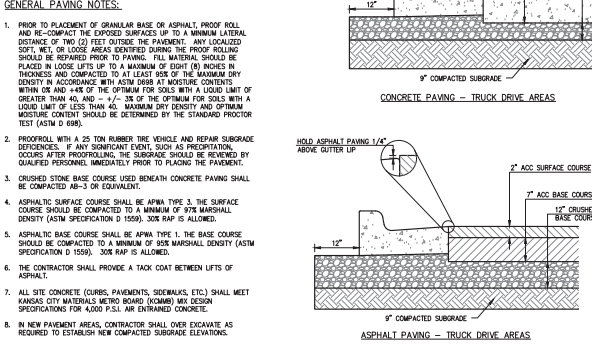
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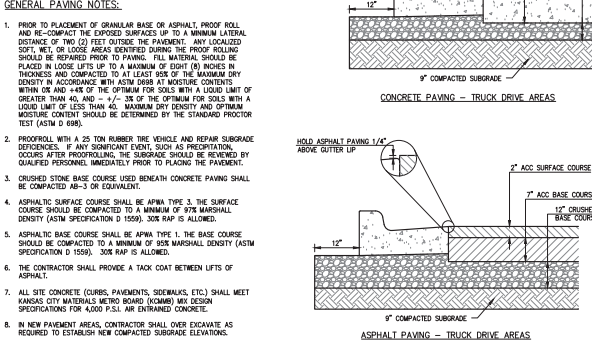
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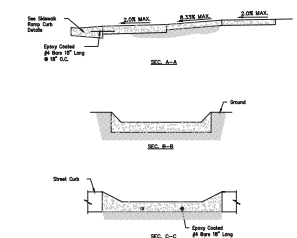
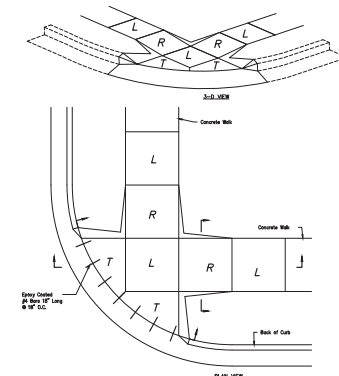
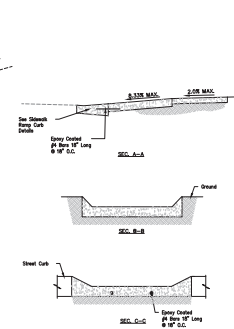
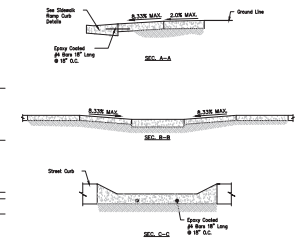
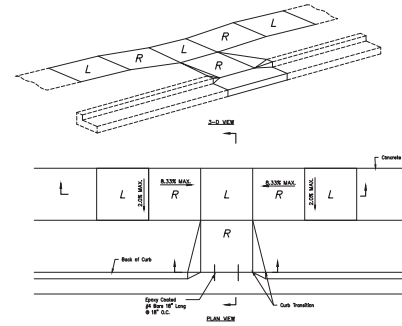
SCALE: N.T.S.



PAVING SECTIONS

SCALE: N.T.S.





RAMP (Required to transition elevation): Max. Longitudinal Slope = 8.33%  
Max. Cross Slope = 2.00%  
Min. Width = 0'  
Min. Length = 5'

LANDING (Required to change direction of travel): Max. Longitudinal Slope = 2.00%  
Max. Cross Slope = 2.00%  
Min. Width = 5'



1. ALL PAVEMENT MARKINGS SHALL BE APPLIED BY A QUALIFIED CONTRACTOR HAVING A MINIMUM 3 YEARS EXPERIENCE IN TRAFFIC GRADE PAVEMENT MARKING APPLICATIONS.
2. PAINT SHALL BE A NON-FLUORIZING, GLOW-DURING, ALKYL PETROLEUM BASE PAINT SUITABLE FOR TRAFFIC-BEARING SURFACE AND SHALL MEET FS TYPICAL SPECIFICATIONS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION.
3. SWEED AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL & DUST.
4. APPLY TWO (2) COATS OF PAINT AT MANUFACTURER'S RECOMMENDED RATE WITHOUT REDUCTION OF THICKNESS, WITH A WORKING OF 100 SQUARE FEET PER GALLON. APPLY WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES, AT SIDEWALK, CURBS, AND CROSSWALKS USE A STRAIGHT EDGE TO ENSURE STRAIGHTNESS OF STRAIGHT STRIPS.
5. THE FOLLOWING ITEMS SHALL BE PAINTED WITH THE COLORS NOTED BELOW:
  - A. HANDICAP SYMBOLS: SEE DETAIL SHEET.
  - B. PARKING SALT STRIPING: DETAIL.

## SCALE: N.T.S.

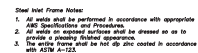
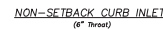
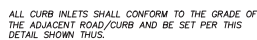


PFI  
PAPER  
FACILITIES  
INTERNATIONAL

**PAVEMENT DETAILS**  
ON THE GO-TRAVEL CENTER  
32501 & 32511 W. 200TH STREET  
EDGERTON, JOHNSON COUNTY, KANSAS

PROJECT NO.	No.	Date	Residence	By
DATE 8-22-19 [NAME] CHL	1.	9-12-19	Revised Per City Staff Comments	OHL JDC
CHECKED DATE APPROVED JDC	2.	1-29-20	FSP Resubmitted to City	OHL JDC
CERTIFICATE OF AUTHORIZATION	3.	1-31-20	Out to Permit	OHL JDC
[NAME] CHL 6-17-20 [NAME] CHL 6-18-20 CHECKING - LC#	3.	2-23-20	FSP Resubmitted to City	OHL JDC
SIGNATURE OF AUTHORIZOR				
(PRINT NAME AND TITLE)				
DATE SIGNED				
DATE REVIEWED				

SHEET  
C12

TRENCH BEDDING

1. GRANULAR EMBEDMENT SHALL BE KDOT STD. SPEC. SECT. 1100, PB-2 COURSE AGGREGATE FOR CONCRETE, WASHED STONE OR GRAVEL, MEETING THE FOLLOWING CONDITIONS:
- | <u>SIEVE SIZE</u> | <u>PERCENT RETAINED</u> |
|-------------------|-------------------------|
| 1-INCH            | 0                       |
| 3/4-INCH          | 0-20                    |
| 3-INCH            | 40-70                   |

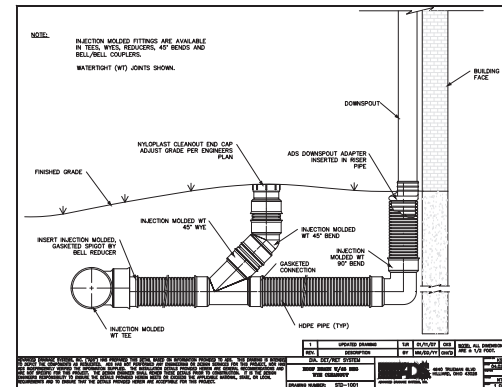
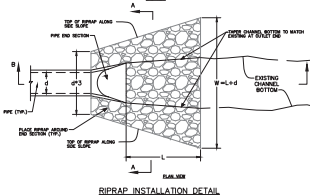
GRANULAR EMBEDMENT FROM THE TOP OF  
PIPE DOWN SHALL BE COMPACTED TO 85%  
MAXIMUM DENSITY AS DETERMINED BY ASTM  
D 698.

GRANULAR EMBEDMENT ABOVE TOP OF PIPE SHALL BE AN UN-COMPACTED LAYER FOR ALL INSTALLATIONS.

2. TRENCH OUTLINES DO NOT INDICATE ACTUAL TRENCH EXCAVATION SHAPE, SOIL CONDITIONS, OR PRESENCE OF SHEETING LEFT IN PLACE. EMBEDMENT MATERIAL SHALL EXTEND THE FULL WIDTH OF THE ACTUAL TRENCH EXCAVATION.

3. TRENCH WIDTHS SHALL BE LIMITED BELOW AN ELEVATION OF ONE (1) FOOT ABOVE THE TOP OF THE INSTALLED PIPE AS FOLLOWS: NOT LESS THAN FIFTEEN (15) INCHES NOR MORE THAN TWENTY-FOUR (24) INCHES GREATER THAN THE NOMINAL OUTSIDE DIAMETER OF THE PIPE

### EMBEDMENTS FOR STORM SEWER PIPE



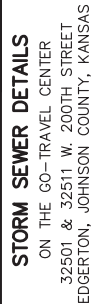
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C13



GENERAL NOTES

SANITARY SEWER

SCALE: NOT TO SCALE

[illegible]

Apn	No.	Date	Revisions	By
150548	1.	9-12-19	Revised Per City Staff Comments	CHL JDC
JUNE JDC	2.	1-29-20	FDP Resubmittal to City	CHL JDC
PROJECTED	3.	1-31-20	Out to Permit	CHL JDC
HOVORAZION	3.	2-23-20	FDP Resubmittal to City	CHL JDC
HOVORAZION				
20201128				
2020				

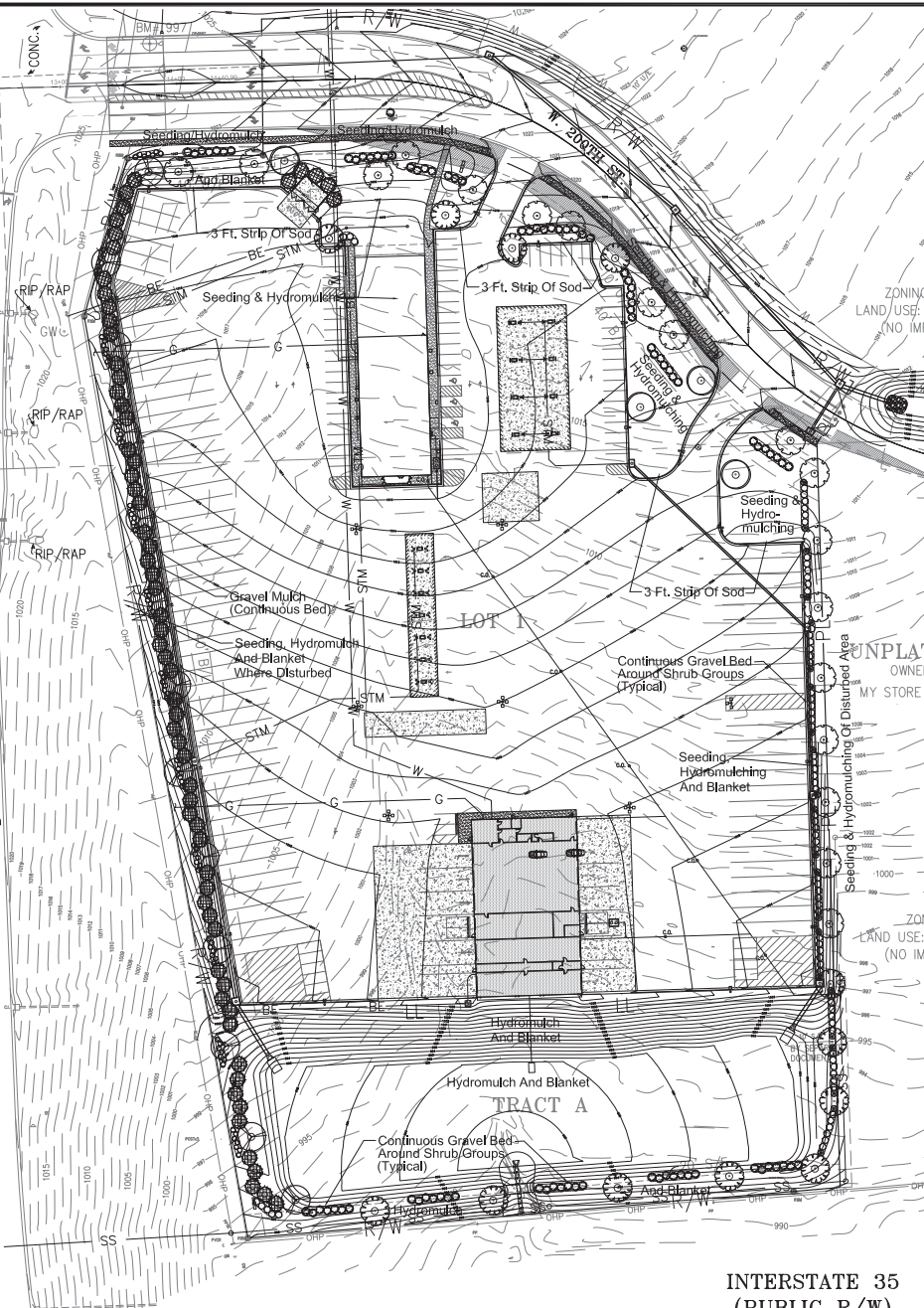
SHEET

C14



HOMESTEAD LANE  
(PUBLIC R/W)

2' CONC. CURB / GUTTER (TYP.)



#### PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	4	Acer platanoides 'Superform' / Superform Maple	B & B		2" cal.
	18	Acer rubrum 'Red Pointe' / Red Pointe Red Maple	B & B		2" Cal
	66	Juniperus virginiana 'Hillspire' / Hillspire Juniper	B & B		6' hgt.
	13	Quercus bicolor / Swamp White Oak	B & B		2" Cal
	12	Ulmus americana 'Valley Forge' / American Elm	B & B		2" cal.
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT		
	84	Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry/Red Chokeberry	3 gal		24"-30" hgt.
	88	Forsythia x Intermedia 'Beatrix Farrand' / Golden-bells	3 gal		24"-30" hgt. & sp.
	22	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal		24"-30" hgt. & sp.
	75	Rhus aromatica / Fragrant Sumac	3 gal		24" hgt. & sp.

See Sheet LS-2 for General Landscape Notes, Details and Specifications.

Construction Schedule:  
Landscape should be complete by November of 2020.



**Landscape Plan  
On The Go  
Travel Center**  
Edgerton, Kansas

LS-1

INTERSTATE 35  
(PUBLIC R/W)

#### Utility Note:

Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Kansas call 1-800-DIG-SAFE (344-7233) to have utilities located.



02/21/2020

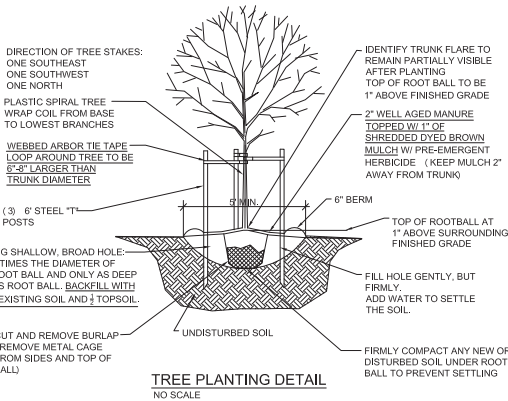
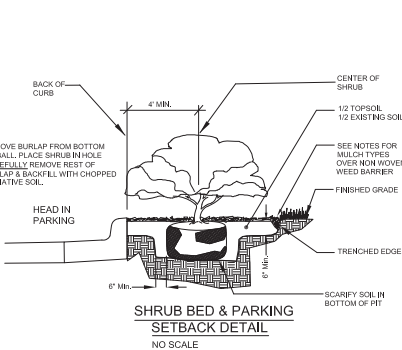
**Oppermann LandDesign, LLC**  
Land Planning • Landscape Architecture  
18990 West 117th Street  
Clerhe, Kansas 66011  
opperrmannlanddesign.com  
paul@opperrmannland.com  
913.894.9407

General Landscape Notes:

1. Contractor shall verify the existence and location of all utilities before starting any work.
2. Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.
3. Contractor shall make no substitutions without the approval of the Landscape Architect.
4. Contractor shall stake layout plan in the field and shall have the layout approved by the Landscape Architect before proceeding with the installation.
5. All shrub beds within lawn areas shall receive a trenched edge.
6. Shrub beds shall be mulched with 3" Sturgis Kansas Large 2" (OAE) rock mulch over a felt type soil separator fabric. See Tree Detail for tree mulch.
7. All shrub beds shall be treated with the pre-emergent herbicide Pre M 60 DG (granular) or an approved equal in accordance with the manufacturer's instructions.
8. All lawn areas as noted shall be fertilized, and drill seeded with a Turf-Type Tall Fescue grass seed blend at a rate of 9#/1000 s.f. including public ROW. See notes #21 & 22 for erosion control. See note #23 for sod areas.
9. Fertilizer for lawns, trees and container stock areas shall be a balanced fertilizer applied at rates per manufacturers recommendations and soil test results.
10. Contractor shall warranty all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner.
11. Any plant material which dies during the one year warranty period shall be replaced by the Contractor during normal planting seasons.
12. Contractor shall be responsible for maintenance of the plants until Initial completion of the job and acceptance by the Owner. After Initial acceptance, maintenance shall be by the owner.
13. All plant names on the plant list conform to the Standardized Plant Names prepared by the American Joint Committee on Horticultural Nomenclature or to names generally accepted in the nursery trade.
14. All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurserymen, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.
15. Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than the specified sizes be accepted.
16. Plants shall not be pruned prior to delivery to the site or after installation except for those branches that have been damaged in some way.
17. Plants shall not have name tags removed prior to final inspection.
18. Contractor shall be responsible for weed control on the project during and after construction until the project is turned over to the owner.
19. All plantings shall receive a commercial transplant additive per manufacturers recommended rates and instructions for application.
20. Successful landscape bidder shall be responsible for the design and construction of an irrigation system if the Owner desires one. If irrigation is to be installed it shall be and coordinated and approved by the Owner prior to construction.
21. Erosion control blanket shall be S150 by North American Green or approved equal. Blanket shall be installed per manufacturers specifications. Blanket staples shall be bto degradable. Blanketed area shall be seeded areas and any slopes of 4:1 or greater and any swales.
22. All blanketed & non blanketed seed areas shall be hydro mulched at a rate of 2500 lbs./acre including a dyed blue tackifier.
23. A 3 ft. band of sod shall be placed uphill from any sidewalk or back of curb.

Transplant Additives:

1. Apply a commercial transplant additive (approved by the Landscape Architect) to all trees, shrubs and groundcover at rates recommended by the manufacturer during the planting. This item shall be substituted to other planting items.
2. Transplant additive shall be Horticulture Alliance "Delaard Transplant" or approved equal mycorrhizal fungal transplant inoculant or equivalent equal containing the appropriate species of mycorrhizal fungi and bacteria, fungi stimulant, water retaining agents, mineral & organic nutrients and inert ingredients.
3. Demonstrate installation of all transplant additives for this project to the Landscape Architect. Provide actual additive product as evidence of sufficient quantity of product. Empty product bags to be stockpiled for inspection by the Landscape Architect prior to disposal).
4. Number of transplant additive packets per tree, shrub or groundcover shall be applied according to the manufacturer's recommended rates and instructions. For all plants the packet mix shall be evenly distributed into the upper approximately 8" of backfill soil next to the rootball. Do not place mix in the bottom of the planting pit.
5. Furnishing and application of transplant additive shall be substituted to the planting operations.



Utility Note:

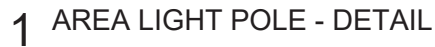
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Landscape Plan  
On The Go  
Travel Center  
Edgerton, Kansas



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Clothie, Kansas 66061  
opperrmannlanddesign.com  
phillip@opperrmannlanddesign.com  
913.894.9407

02/21/2020



GENERAL CONTRACTOR HAS SELECTION AUTHORITY OF FIXTURES THAT MEET DESIRED OPERATIONAL AND CONSTRUCTION CHARACTERISTICS. PHOTOMETRIC CALCULATIONS AT 85% LIGHT LUMEN DEPRECIATION AND DIRTY LENS FACTOR.



- ES1



## ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	LAM.	LAMINATE
ACoust.	ACOUSTICAL	LT.	LIGHT
ADJ.	ADJACENT, ADJUSTABLE	LT. WT.	LIGHTWEIGHT
AIRU.	AIR HANDLING UNIT	LWCMU	LIGHTWEIGHT C.M.U.
ALT.	ALTERNATE		
ALUM.	ALUMINUM		
ANGLE	ANGLE		
ARCH.	ARCHITECTURAL	MANUF.	MANUFACTURER
@	AT	MAT.	MATERIAL
		MAX.	MAXIMUM
		MECH.	MECHANICAL
BD.	BOARD	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BLKG.	BLOCKING	M.O.	MASONRY OPENING
BOT.	BOTTOM	MTL.	METAL
B.O.	BOTTOM OF		
BRG.	BEARING		
		N.	NORTH
CAB.	CABINET	N.I.C.	NOT IN CONTRACT
CB.	CHALKBOARD	N.T.S.	NOT TO SCALE
C.J.	CONTROL JOINT	NOM.	NOMINAL
C.	CENTER LINE		
CLG.	CEILING		
CLR.	CLEAR		
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
COL.	COLUMN	O.D.	OVERFLOW DRAIN
CONC.	CONCRETE	OPNG.	OUTSIDE DIAMETER
CONST.	CONSTRUCTION		
CONT.	CONTINUOUS		
C.S.	CUP SINK		
CW	COLD WATER	PARTN.	PARTITION
		P.B.D.	PARTICLE BOARD
DHL.	DOUBLE	PL.	PLATE, PROPERTY LINE
DEMO.	DEMOLISH/DEMOLITION	PLAM	PLASTIC LAMINATE
D.F.	DRINKING FOUNTAIN	PNL.	PANEL
D.I.	DI-SIONIZED WATER	P.S.F.	POUNDS PER SQUARE FOOT
DIA.	DIAMETER	P.S.I.	POUNDS PER SQUARE INCH
DM.	DIMENSION	PWD.	PLYWOOD
DN.	DOWN	QTY.	QUANTITY
DR.	DOOR		
D.S.	DOWNSPOUT		
DET.	DETAIL		
DWG.	DRAWING	R.	RADIUS, RISER
		R.A.	RETURN AIR
E.A.	EACH	R.D.	ROOF DRAIN
E.J.	EXPANSION JOINT	RE.	REFER TO, REFERENCE
ELEC.	ELECTRICAL	REF.	REFRIGERATOR
EL.	ELEVATION	REINF.	REINFORCING, REINFORCED
ELEV.	ELEVATOR	REQD.	REQUIRED
EQUIP.	EQUIPMENT	R.J.	RUSTICATION JOINT
EXIST.	EXISTING	RM.RMS.	ROOM, ROOMS
EXP.	EXPANSION	R.O.	ROUGH OPENING
EXT.	EXTERIOR	R.T.U.	ROOF TOP UNIT
		S.A.	SUPPLY AIR
F.D.	FLOOR DRAIN	SCHED.	SCHEDULE
F.E.	FIRE EXTINGUISHER	S.F.	SQUARE FOOT
F.E.C.	FIRE EXTINGUISHER CABINET	SHT.	SHEET
FIN.	FINISH	SIM.	SIMILAR
F.L.R.	FLOOR	SPEC.	SPECIFICATION
FLUOR.	FLUORESCENT	SQ.	SQUARE
FND.	FOUNDATION	S.S.	STAINLESS STEEL
F.R.	FIRE-RATED	STD.	STANDARD
FT.	FOOT OR FEET	STL.	STEEL
FTG.	FOOTING	STOR.	STORAGE
GA.	GAUGE	STRUCT.	STRUCTURAL
GALV.	GALVANIZED		
G.C.	GENERAL CONTRACTOR	T.B.	TACKBOARD
GYP.	GYPSEUM	TEL.	TELEPHONE
		TEMP.	TEMPERED/TEMPERATURE
H.B.	HOSE BIBB	TLT.	TOILET
H.C.	HAND-CAPPED	T.O.	TOP OF
HDWR.	Hardware	TYP.	TYPICAL
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL/HORIZONTALLY	V.C.T.	VINYL COMPOSITION TILE
HR.	HOUR	VERT.	VERTICAL
HVAC	HEATING, VENTILATING & AIR CONDITIONING	VEST.	VESTIBULE
		W.	WIDTH
I.D.	INSIDE DIAMETER	W/	WITH
INSUL.	INSULATION	WO.	WITHOUT
INT.	INTERIOR	WD.	WOOD
		WIN.	WINDOW
JAN.	JANITOR	WT.	WEIGHT
J.B.	JUNCTION BOX	W.W.F.	WELDED WIRE FABRIC
JST.	JOIST		
JT.	JOINT		

## GRAPHIC SYMBOLS

	EXPANSION JOINT
	CONTROL JOINT
	SPOT ELEVATION (FEET/INCHES)
	PLAN NOTE
	DETAIL SECTION:
	SECTION NUM. (TOP)
	SHEET NUM. (BOTTOM)
	PARTITION TYPE:
	PARTITION TYPE NUMBER INSIDE
	WALL SECTION:
	SECTION NUM. (TOP)
	SHEET NUM. (BOTTOM)
	BUILDING SECTION:
	SECTION NUM. (TOP)
	SHEET NUM. (BOTTOM)
	ENLARGED PLAN/
	ENLARGED DETAIL:
	SECTION NUM. (TOP)
	SHEET NUM. (BOTTOM)
	DOOR DESIGNATION:
	REF. DOOR SCHEDULE
	WINDOW / LOUVER DESIGNATION:
	REF. WINDOW / LOUVER SCHEDULE(S)
	ELEVATION MARKER:
	ELEVATION NUMBER (OUTSIDE)
	SHEET NUMBER (INSIDE)
	CONTROL JOINT IN PLAN
	(MASONRY & GYP. BD.)

## MATERIALS PLAN/SECTION

	CONCRETE MASONRY UNIT
	METAL / STEEL STUD
	WOOD / FINISH MAT'L
	WOOD STUD - PLAN
	RIGID INSULATION
	BATT INSULATION
	PARTICLE BOARD
	GYPSEUM BOARD
	GRANULAR FILL
	WOOD FRAMING
	GROUT / STONE
	CONCRETE
	PLYWOOD
	EARTH
	STEEL
	METAL STUD TO DECK
	SAND

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## CODES UTILIZED

2006 INTERNATIONAL BUILDING CODE
2006 INTERNATIONAL RESIDENTIAL CODE
2006 INTERNATIONAL PLUMBING CODE
2006 INTERNATIONAL FUEL GAS CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL PROPERTY MAINTENANCE CODE
2006 INTERNATIONAL FIRE CODE
2005 NATIONAL ELECTRICAL CODE
ACCESSIBILITY CODES: 2006 IBC, ANSI 117.1, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES

## PROJECT INFORMATION

PROJECT:	On The Go Convenient Store
OWNER:	My Store III Moussa Sobehi 9134 Woodend Road Edwardville, Kansas 66111 831-905-1377

PROJECT LOCATION: 32501 W 200th Terrace  
Edgerton, Kansas

PROPOSED OCCUPANCY TYPE: EXISTING CONSTRUCTION TYPE

OCCUPANCY SEPARATION: M (mercantile)

PROPOSED AREA: 7,348 square feet

ALLOWABLE AREA INCREASE: N/A

ALLOWABLE HEIGHT/STORIES: 4 STORIES

ACTUAL HEIGHT/STORIES: 1 STORY +/- 22'-0"

# OF OCCUPANTS: 182 OCCUPANTS sales floor 147; Kitchen 35; Office 18; Lounge 23; Storage and stock 100 = 7

EXITS PROVIDED: 2

EXITS REQUIRED PER CHAPTER 29: 1 WC Each for M occupancy; 1 LAV REQUIRED

FIXTURES PROVIDED: 2 WATER CLOSETS/2 URINALS/2 LAVS MEN, 4 WATER CLOSETS/2 LAVS WOMEN; 1 SERVICES SINK

FIRE SPRINKLER REQUIREMENTS: FIRE SPRINKLER PROVIDED BUT NOT REQUIRED PER Section 903 of the 2006 IBC

## STRUCTURAL

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MECHANICAL AND PLUMBING SPECS	MP1

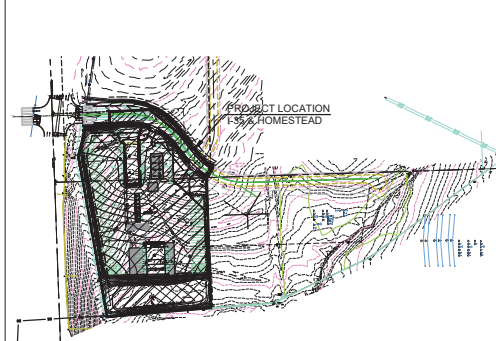
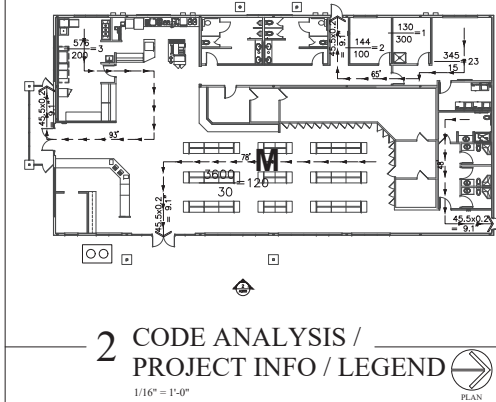
## ELECTRICAL

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WASTE & VENT RISER	P5

# Permit Set for On The Go Travel Center 32501 W 200th Street Edgerton, Kansas Johnson County



## GENERAL NOTES

- ALL DIMENSIONS ARE TO OUTSIDE FACE OF STEEL STRUCTURE, FACE OF CONCRETE MASONRY OR CONCRETE AND TO FACE OF STEEL/WOOD STUD, UNLESS NOTED OTHERWISE.
- UNLESS DIMENSIONED OR SHOWN OTHERWISE, INSTALL INSIDE EDGE OF DOOR FRAME ON HINGE SIDE 6" FROM PERPENDICULAR WALLS.
- ALL GYPSUM BOARD ABUTTING PERPENDICULAR C.M.U. OR CONCRETE SHALL BE CONSTRUCTED WITH CONCEALED METAL EDGE MOLDING, FORMING A 1/4" REVEAL FILLED WITH HEAD OF SEALANT.
- DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY. IF DIMENSION IS NOT CALLED OUT, VERIFY W/ARCHITECT.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL ASSOCIATED CODES AND ORDINANCES AS DICTATED BY THE CITY OF EDGERTON, KANSAS.
- GENERAL CONTRACTOR SHALL PROVIDE 4" HIGH HOUSEKEEPING PAIDS UNDER ALL MECHANICAL EQUIPMENT AS REQUIRED PER MECHANICAL.
- GENERAL CONTRACTOR TO CONSULT AND COORDINATE WITH OWNER CONCERNING REQUIREMENTS FOR SECURITY SYSTEMS, PHONE, DATA AND ANY AUDIO OR TELEVISION, (INCLUDING SATELLITE) SYSTEMS.
- ALL GYPSUM BOARD SHALL BE 5/8" TYPE "X" FIRE RESISTANT GYPSUM BOARD UNLESS NOTED OTHERWISE.

- ALL INTERIOR PARTITIONS SHALL BE CONSTRUCTED TO THE UNDERSIDE OF THE STRUCTURE ABOVE AND PROVIDED WITH A DEFLECTION TRACK UNLESS DETAILED OTHERWISE. AT 1-HR. RATED WALLS, REFER TO U.L. #1465 FOR TYPICAL ASSEMBLIES.
- PROVIDE WOOD BLOCKING OR OTHER SUITABLE REINFORCEMENT AND BETWEEN STUDS FOR ALL WALL-MOUNTED ACCESSORIES IN METAL STUD CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: BASE AND WALL-MOUNTED CASEWORK, SHELVING, MARKER BOARDS, PROJECTOR SCREENS, AUDIO-VISUAL EQUIPMENT, OR AS OTHERWISE REQUIRED BY THE MANUFACTURER. COORDINATE FINAL LOCATION(S) WITH OWNER.
- PAINT ALL EXPOSED INTERIOR AND EXTERIOR STRUCTURAL / NON-STRUCTURAL STEEL IN ALL AREAS SCHEDULED FOR PAINT.
- TOP ELEVATION OF FLOOR DRAINS SHOWN ON PLANS, WITHOUT SLOPED FLOORS, SHALL BE SET 1/4" BELOW SLAB AND HAVE A 5'-0" DIAMETER "SWEEP" AROUND DRAIN.



BCS Design, Inc.

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19920 West 161st Street  
Olathe, Kansas 66062  
Phone: (913) 780-4820  
Fax: (913) 780-5088

KBS Constructors, Inc.  
14955 W 117th Street  
Olathe, Kansas 66062  
(913) 422-5300  
www.kbsci.com

Permit Set for:  
**On The Go Travel Center**  
32501 w 200th Street  
Edgerton, Johnson County Kansas

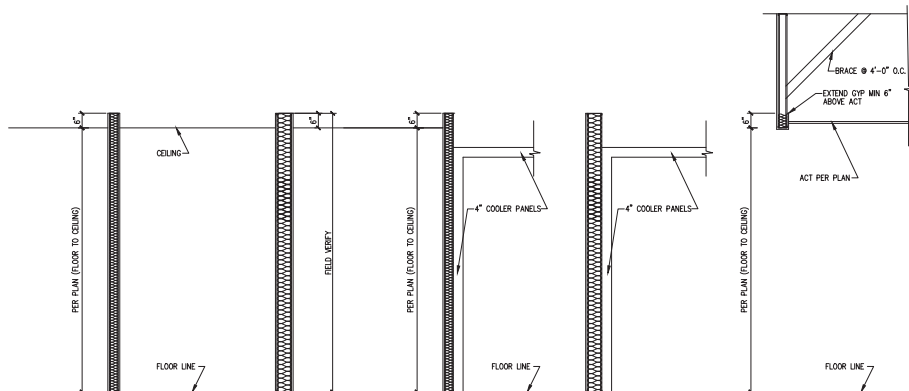


PROJECT NO.: 2019-12  
DATE: 01-31-2020  
DRAWN BY: BCS STAFF  
REVIEWED BY:  
REVISED:

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**A000**  
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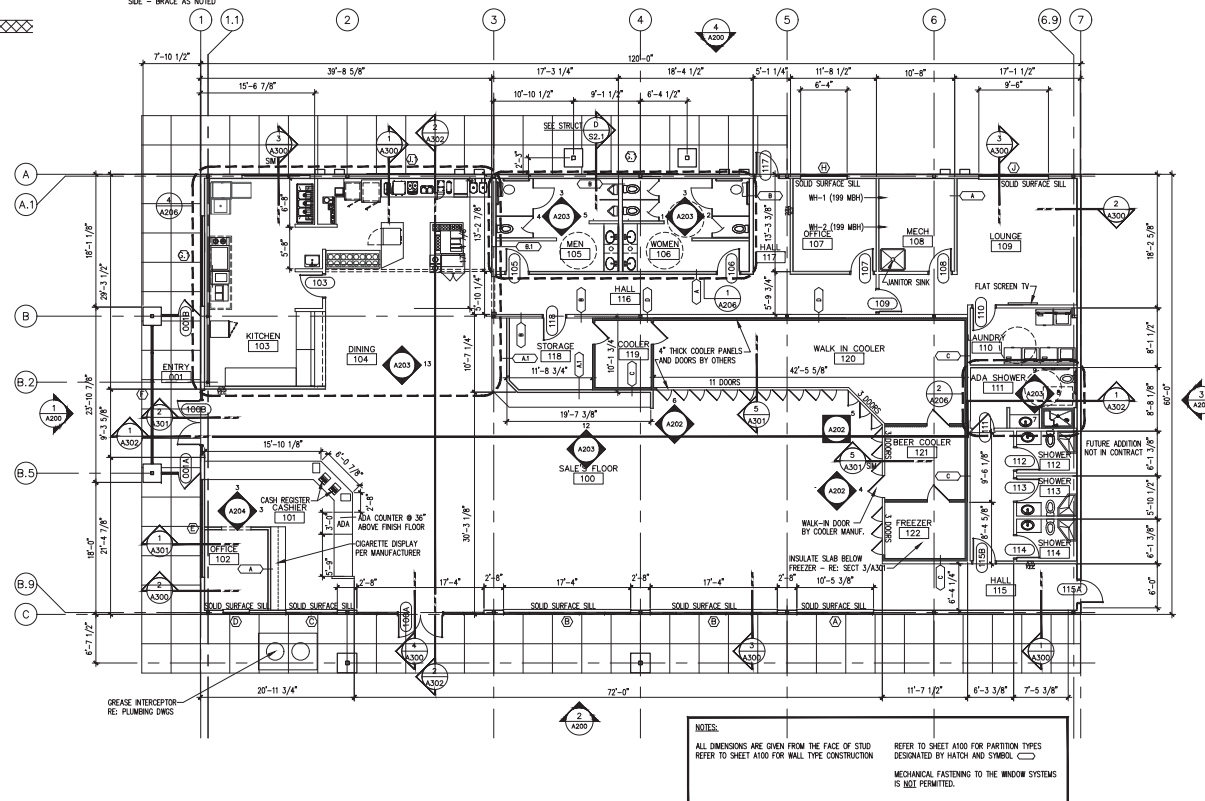




- A** 3 5/8" METAL STUDS @ 16" O.C. WITH SOUND ATTENUATION INSULATION & 1 LAYER 5/8" TYPE 'X' GYP. BOARD, EACH SIDE - 6" ABOVE CEILING NR. GYP. BOARD AT MET AREAS
- B** 6" METAL STUDS @ 16" O.C. W/ SOUND ATTENUATION INSULATION & 1 LAYER 5/8" GYP. BOARD, EACH SIDE WATER RESISTANT ON BATH SIDE AND OTHER MET AREAS
- C** 3 5/8" METAL STUDS @ 16" O.C. WITH SOUND ATTENUATION INSULATION & 1 LAYER 5/8" TYPE 'X' GYP. BOARD, EACH SIDE - 6" ABOVE CEILING
- D** 6" METAL STUDS @ 16" O.C. W/ SOUND ATTENUATION INSULATION & 1 LAYER 5/8" GYP. BOARD, EACH SIDE WATER RESISTANT ON BATH SIDE
- E** BULKHEAD 3 5/8" METAL STUDS @ 16" O.C. WITH SOUND ATTENUATION INSULATION & 1 LAYER 5/8" TYPE 'X' GYP. BOARD, EACH SIDE - BRACE AS NOTED

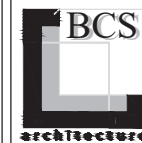
## 2 WALL TYPES

1/2" = 1'-0"



## 1 NEW WORK FLOOR PLAN

1/8" = 1'-0"



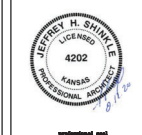
BCS Design, Inc.

WWW.BCSARCHITECTS.COM  
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**On The Go Travel Center**  
32501 w 200th Street  
Edgerton, Johnson County Kansas



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REVIEWED BY:

REVISED:

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**A100**

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1. IT IS THE RESPONSIBILITY OF THE ROOFING CONTRACTOR COORDINATE EXACT LOCATIONS OF MECHANICAL EQUIPMENT AND OTHER ROOF PENETRATIONS THAT MAY OCCUR.
2. COORDINATE ALL OTHER FLASHING w/ MANUFACTURER'S TYPICAL DETAILS.
3. ROOFING SHALL BE CLASS B OR BETTER
4. ALL FOAM PLASTIC INSULATION SHALL MEET OR EXCEED UL STANDARD 1256 PER IRC 1507.11

COORDINATE LOCATIONS OF MECHANICAL ROOFTOP UNITS  
PROVIDE CRICKETS AND FLASHING TO MAINTAIN  
POSITIVE DRAINAGE TOWARD SCUPPERS

# 1 ROOF PLAN



WWW.BCSARCHITECTS.COM  
19920 West 161st Street  
Olathe, Kansas 66062  
Phone: (913) 780-4820  
Fax: (913) 780-5088



Permit Set for:  
**On The Go Travel Center**  
 322501 w 200th Street  
 Edgerton, Johnson County Kansas

PROJECT NO. : 2019-12  
DATE : 01.31.2020  
DRAWN BY : BCS STAFF  
REVIEWED BY :

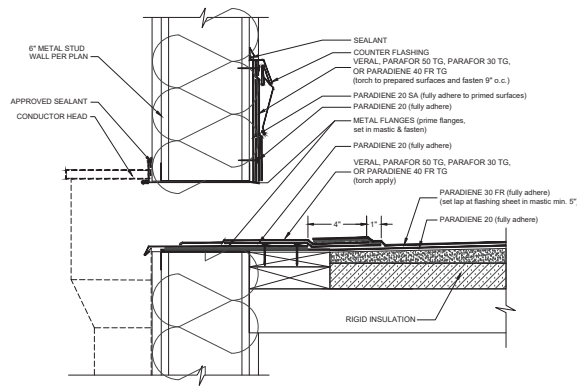
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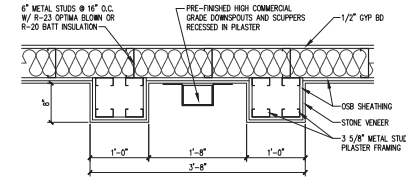
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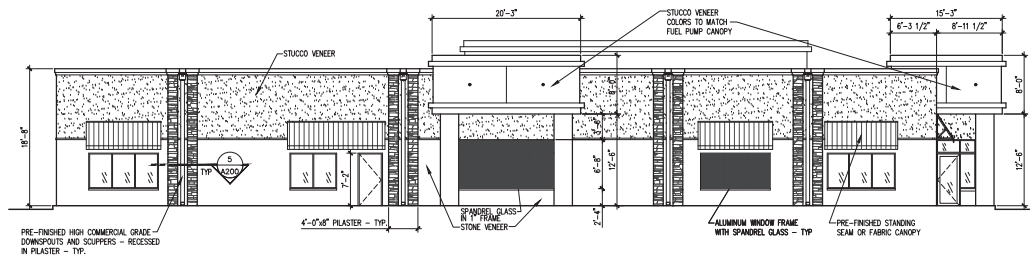
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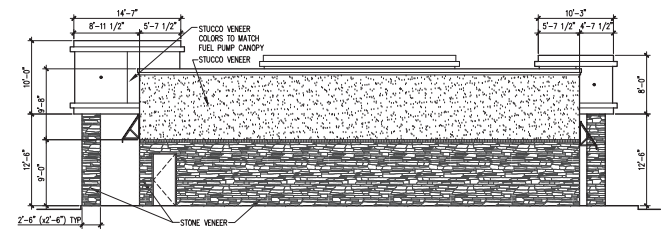
6 SCUPPER SECTION  
3\"/>



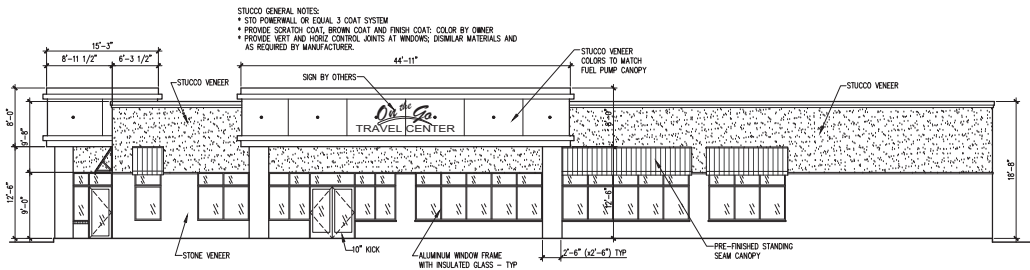
5 PILASTER DETAIL  
1\"/>



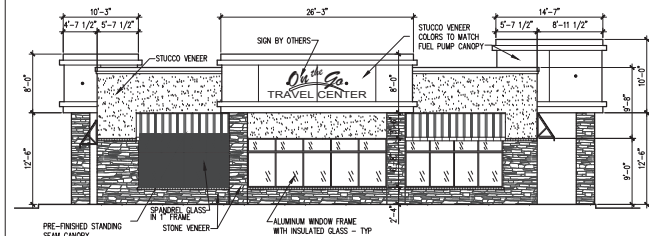
4 WEST ELEVATION  
1/8\"/>



3 NORTH ELEVATION  
1/8\"/>



2 EAST ELEVATION  
1/8\"/>



1 SOUTH ELEVATION  
1/8\"/>



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Edgerton, Johnson County Kansas



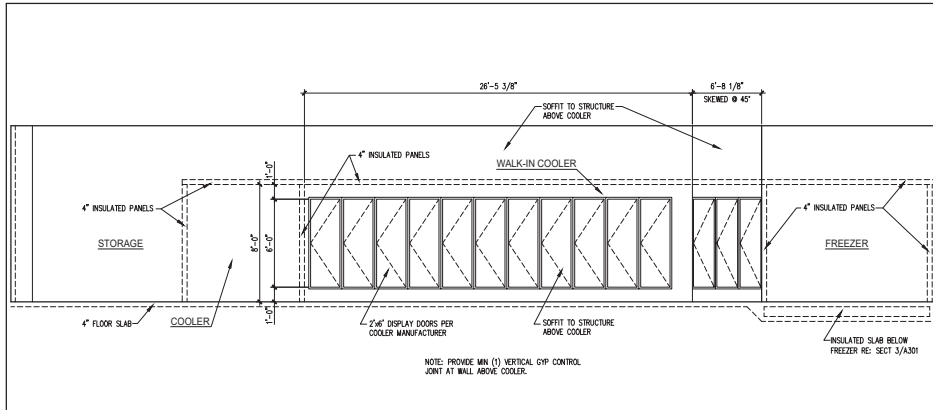
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DATE: 01.31.2020  
DRAWN BY: BCS STAFF  
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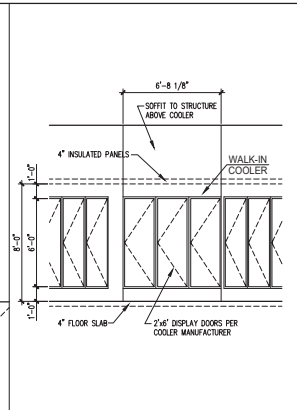
SHEET NO.

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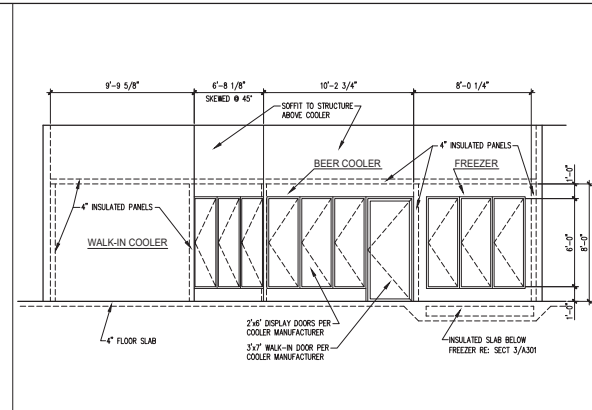
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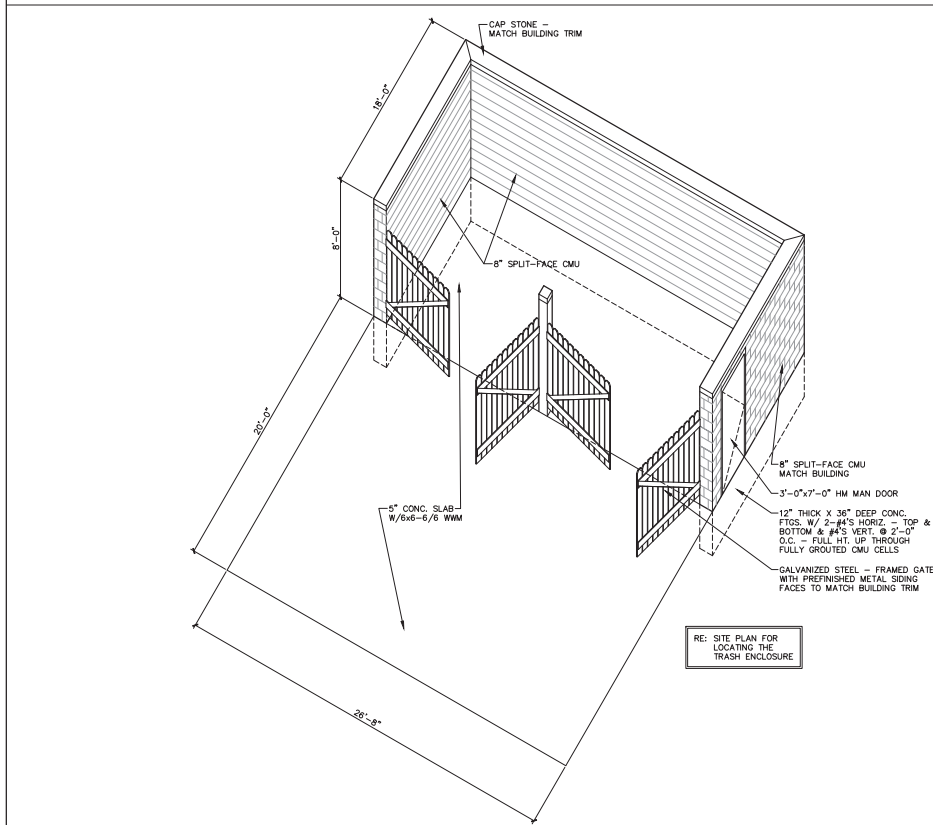
**6 ROOM ELEVATION**  
1/4" = 1'-0"



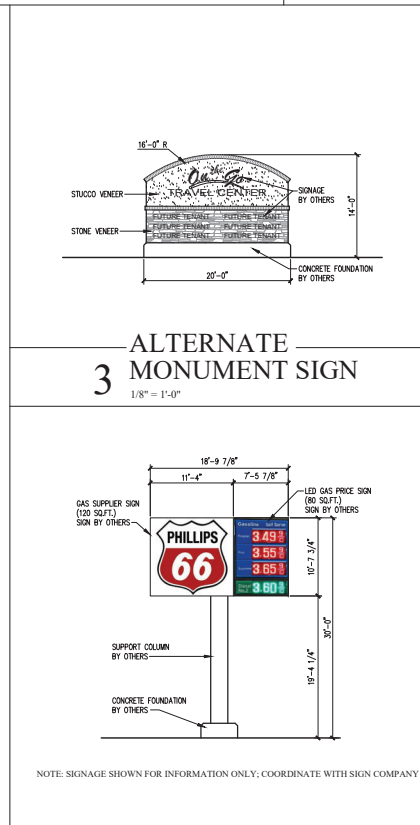
**5 ROOM ELEVATION**  
1/4" = 1'-0"



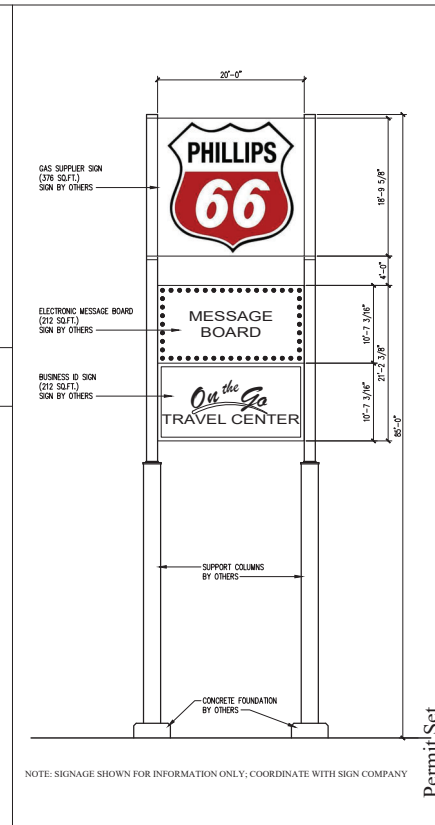
**4 ROOM ELEVATION**  
1/4" = 1'-0"



**2A TRASH ENCLOSURE**  
NOT TO SCALE



**2 POLE SIGN**  
1/8" = 1'-0"



**1 HI-RISE SIGN**  
1/8" = 1'-0"



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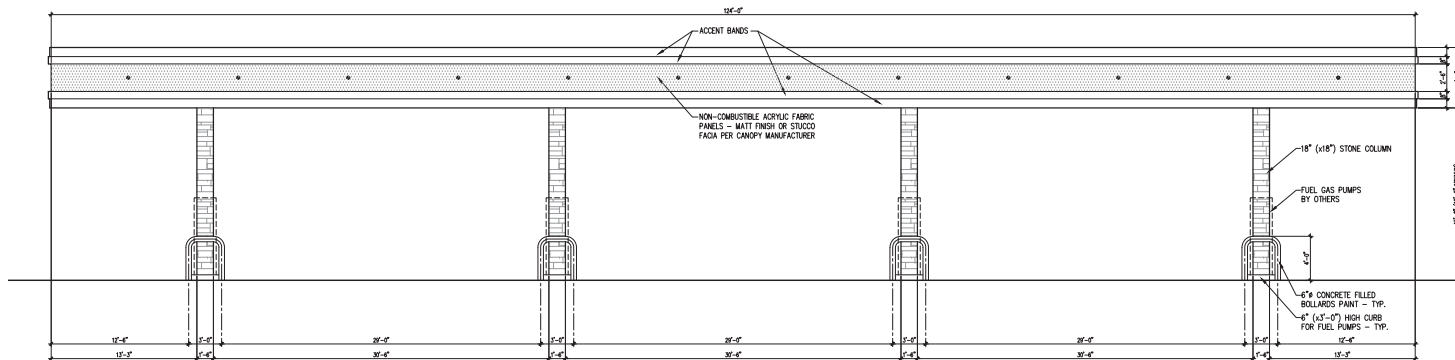
PROJECT NO. : 2019-12  
DATE : 01.31.2020  
DRAWN BY : BCS STAFF  
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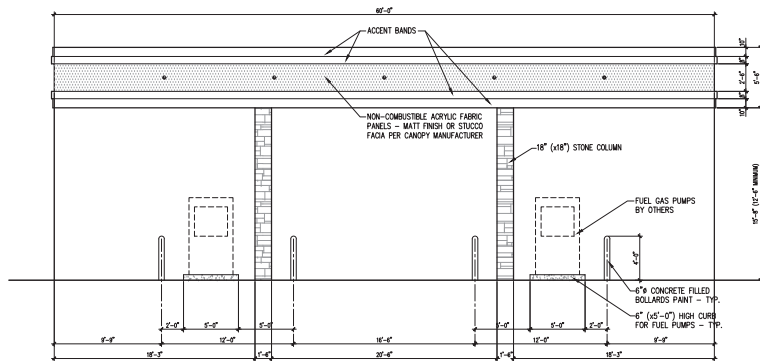
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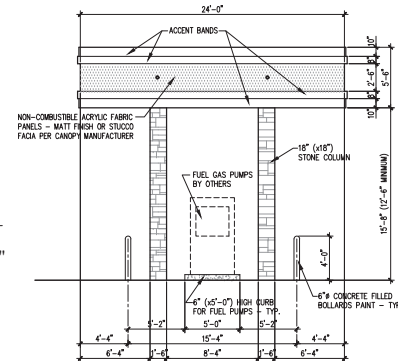


4 VEHICLE CANOPY - FRONT VIEW  
3/16" = 1'-0"

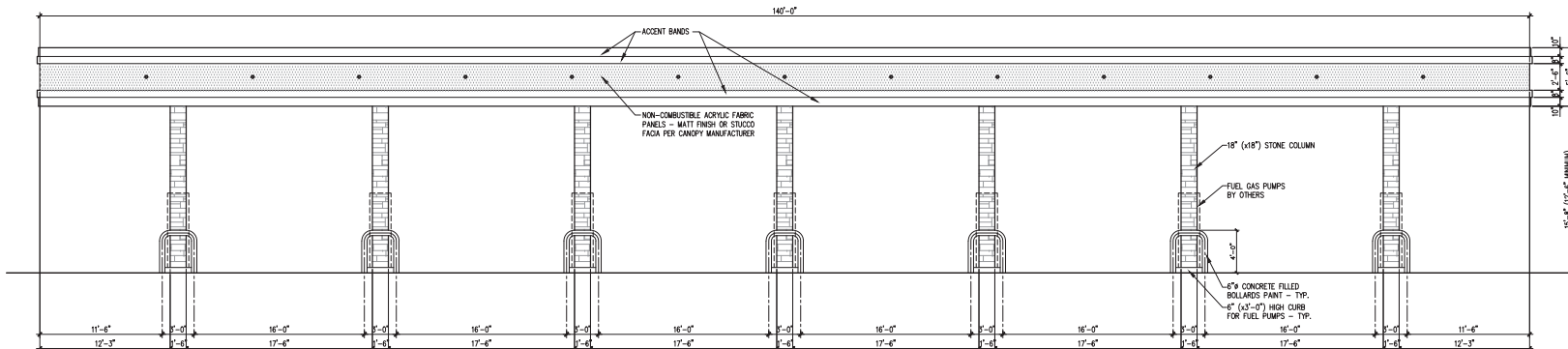


3 VEHICLE CANOPY - END VIEW  
3/16" = 1'-0"

NOTE:  
Clearance dimension will vary from 14'-0" to 16'-0", but not more than 17'-0" per canopy manufacturer. 15'-8" clear shown on canopy.



2 TRUCK CANOPY - END VIEW  
3/16" = 1'-0"



1 TRUCK CANOPY - FRONT VIEW  
3/16" = 1'-0"



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Permit Set for:  
On The Go Travel Center  
32501 w 200th Terrace  
Edgerton, Johnson County Kansas



PROJECT NO.: 2019-12  
DATE: 01.31.2020  
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## ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	LAM.	LAMINATE
ACoust.	ACOUSTICAL	LT.	LIGHT
ADJ.	ADJACENT, ADJUSTABLE	LT. WT.	LIGHTWEIGHT
A.H.U.	AIR HANDLING UNIT	L.WCMU	LIGHTWEIGHT C.M.U.
ALT.	ALTERNATE		
ALUM.	ALUMINUM		
ARCH.	ARCHITECTURAL	MANUF.	MANUFACTURER
@	AT	MAT.	MATERIAL
		MAX.	MAXIMUM
		MECH.	MECHANICAL
BD.	BOARD	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BLKG.	BLOCKING	M.O.	MASONRY OPENING
BOT.	BOTTOM	MTL.	METAL
B.O.	BOTTOM OF		
BRG.	BEARING		
		N.	NORTH
CAB.	CABINET	N.I.C.	NOT IN CONTRACT
CB.	CONTROL BOARD	N.T.S.	NOT TO SCALE
C.J.	CONTROL JOINT	NOM.	NOMINAL
CLG.	CENTER LINE		
CLR.	CEILING		
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
COL.	COLUMN	R.D.	OVERFLOW DRAIN
CONC.	CONCRETE	OPNG.	OUTSIDE DIAMETER
CONST.	CONSTRUCTION		OPENING
CUNT.	CONTINUOUS		
C.S.	CUP SINK	PARTN.	PARTITION
CW.	COLD WATER	P.I.BD.	PARTICLE BOARD
		PL.	PLATE, PROPERTY LINE
DBL.	DOUBLE	PLAM.	PLASTIC LAMINATE
DEMO.	DEMOLISH/DEMOLITION	PNL.	PANEL
D.F.	DRINKING FOUNTAIN	P.S.F.	POUNDS PER SQUARE FOOT
D.I.	DEIONIZED WATER	P.S.I.	POUNDS PER SQUARE INCH
DIA.	DIAMETER	PWD.	PLYWOOD
DM.	DIMENSION		
DN.	DOWN	QTY.	QUANTITY
DR.	DOOR		
D.S.	DOWNSPOUT	R.	RADIUS, RISER
DET.	DETAIL	R.A.	RETURN AIR
DWG.	DRAWING	R.D.	ROOF DRAIN
		RE.	REFER TO, REFERENCE
EA.	EACH	REF.	REFRIGERATOR
E.J.	EXPANSION JOINT	REINF.	REINFORCING, REINFORCED
ELEC.	ELECTRICAL	RIGD.	REQUIRED
EL.	ELEVATION	R.J.	RUSTICATION JOINT
ELEV.	ELEVATOR	RM.RMS.	ROOM, ROOMS
EQUIP.	EQUIPMENT	R.O.	ROUGH OPENING
EXIST.	EXISTING	R.T.U.	ROOF TOP UNIT
EXP.	EXPANSION		
EXT.	EXTERIOR		
		S.A.	SUPPLY AIR
F.D.	FLOOR DRAIN	SCHED.	SCHEDULE
F.E.	FIRE EXTINGUISHER	S.F.	SQUARE FOOT
F.E.C.	FIRE EXTINGUISHER CABINET	SIT.	SHEET
FIN.	FINISH	SM.	SIMILAR
F.L.R.	FLOOR	SPEC.	SPECIFICATION
FLUOR.	FLUORESCENT	SQ.	SQUARE
FND.	FOUNDATION	S.S.	STAINLESS STEEL
F.R.	FIRE-RATED	STD.	STANDARD
FT.	FOOT OR FEET	STL.	STEEL
FTG.	FOOTING	STOR.	STORAGE
GALV.	GALVE	STRUCT.	STRUCTURAL
GALV.	GALVANIZED		
G.C.	GENERAL CONTRACTOR	T.B.	TACKBOARD
GYP.	GYPSON	TEL.	TELEPHONE
		TEMP.	TEMPERED/TEMPERATURE
H.B.	HOSE BIBB	T.L.T.	TOILET
H.C.	HANDI-CAPPED	T.O.	TOP OF
HDWR.	HARDWARE	TYP.	TYPICAL
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL/HORIZONTALLY	V.C.T.	VINYL COMPOSITION TILE
HR.	HOUR	VERT.	VERTICAL
HVAC	HEATING, VENTILATING & AIR CONDITIONING	VEST.	VESTIBULE
		W.	WIDTH
I.D.	INSIDE DIAMETER	W/	WITH
INSUL.	INSULATION	WO.	WITHOUT
INT.	INTERIOR	WD.	WOOD
		WN.	WINDOW
JAN.	JANITOR	WT.	WEIGHT
J.B.	JUNCTION BOX	W.W.F.	WELDED WIRE FABRIC
JST.	JOIST		
JT.	JOINT		

## GRAPHIC SYMBOLS

	EXPANSION JOINT
	CONTROL JOINT
	SPOT ELEVATION (FEET/INCHES)
	PLAN NOTE
	DETAIL SECTION:
	SECTION NUM. (TOP)
	SHEET NUM. (BOTTOM)
	PARTITION TYPE:
	PARTITION TYPE NUMBER INSIDE
	WALL SECTION:
	SECTION NUM. (TOP)
	SHEET NUM. (BOTTOM)
	BUILDING SECTION:
	SECTION NUM. (TOP)
	SHEET NUM. (BOTTOM)
	ENLARGED PLAN/ENLARGED DETAIL:
	SECTION NUM. (TOP)
	SHEET NUM. (BOTTOM)
	DOOR DESIGNATION:
	REF. DOOR SCHEDULE
	WINDOW / LOUVER DESIGNATION:
	REF. WINDOW / LOUVER SCHEDULE(S)
	ELEVATION MARKER:
	ELEVATION NUMBER (OUTSIDE)
	SHEET NUMBER (INSIDE)
	CONTROL JOINT IN PLAN
	(MASONRY & GYP. BD.)

## MATERIALS PLAN/SECTION

	CONCRETE MASONRY UNIT
	METAL / STEEL STUD
	WOOD / FINISH MAT'L
	WOOD STUD - PLAN
	RIGID INSULATION
	BATT INSULATION
	PARTICLE BOARD
	GYPSON BOARD
	GRANULAR FILL
	WOOD FRAMING
	GROUT / STONE
	CONCRETE
	PLYWOOD
	EARTH
	STEEL
	METAL STUD TO DECK
	SAND

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ELECTRICAL FIRE ALARM PLAN	E3
LIGHTING CALCS AND PANEL	E4
ELECTRICAL RISER AND DETAILS	E5
PHOTOMETRIC SITE PLAN ES1	ES1

## PLUMBING

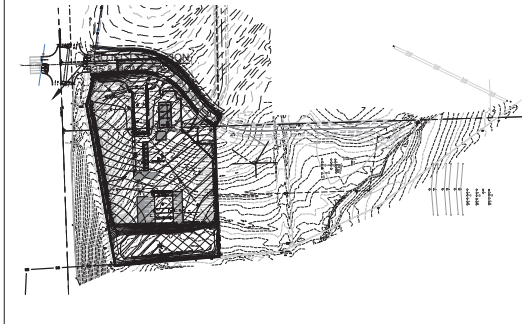
PLUMBING WASTE AND VENT PLAN	P1
PLUMBING DOMESTIC WATER PLAN	P2
PLUMBING SCHEDULES AND VENT RISER	P3
PLUMBING DETAILS	P4

## CODES UTILIZED

2006 INTERNATIONAL BUILDING CODE
2006 INTERNATIONAL RESIDENTIAL CODE
2006 INTERNATIONAL PLUMBING CODE
2006 INTERNATIONAL FUEL GAS CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL PROPERTY MAINTENANCE CODE
2006 INTERNATIONAL FIRE CODE
2005 NATIONAL ELECTRICAL CODE
ACCESSIBILITY CODES: 2006 IBC, ANSI 117.1, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES

## PROJECT INFORMATION

PROJECT:	On The Go Truck Wash/Truck Repair
OWNER:	My Store III Moussa Sobott 9134 Woodland Road Edwardsville, Kansas 66011 631-900-1377
PROJECT LOCATION:	32501 W 200th Terrace Edgerton, Kansas
PROPOSED OCCUPANCY TYPE:	B (car/truck wash) S-1 (Motor Vehicle Repair)
EXISTING CONSTRUCTION TYPE:	IB
OCCUPANCY SEPARATION:	N/A Per table 508.3.3
PROPOSED AREA:	13,700 Total square feet (5,500 (B) 8,200 (S-1))
ALLOWABLE AREA INCREASE:	N/A
ALLOWABLE AREA:	B=23,000 S.F.; S-1 = 17,500 S.F. TABLE 503 2006 IBC
ACTUAL HEIGHT/STORIES:	3 STORIES
# OF OCCUPANTS:	83 OCCUPANTS truck wash 100 = 45; Repair and Storage 100 = 28 Office 100 = 10
EXITS REQUIRED:	2
EXITS PROVIDED:	2 +
FIXTURES REQUIRED PER CHAPTER 29	1 W.C. Each for M. OCCUPANCY; 1 LAV REQUIRED
FIXTURES PROVIDED:	1 SERVICE SINK REQUIRED
FIRE SPRINKLER REQUIREMENTS	2 WATER CLOSETS/2 URINALS/2 LAVS MEN, 4 WATER CLOSETS/2 LAVS WOMEN; 1 SERVICES SINK FIRE SPRINKLER PROVIDED BUT NOT REQUIRED PER Section 903 of the 2006 IBC



## VICINITY MAP

NTS

## GENERAL NOTES

- ALL DIMENSIONS ARE TO OUTSIDE FACE OF STEEL STRUCTURE, FACE OF CONCRETE MASONRY OR CONCRETE AND TO FACE OF STEEL/WOOD STUD, UNLESS NOTED OTHERWISE.
- UNLESS DIMENSIONED OR SHOWN OTHERWISE, INSTALL INSIDE EDGE OF DOOR FRAME ON HINGE SIDE 6" FROM PERPENDICULAR WALLS.
- ALL GYPSON BOARD ABUTTING PERPENDICULAR C.M.U. OR CONCRETE SHALL BE CONSTRUCTED WITH CONCEALED METAL EDGE MOLDING, FORMING A 1/4" REVEAL FILLED WITH HEAD OF SEALANT.
- DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY. IF DIMENSION IS NOT CALLED OUT, VERIFY W/ARCHITECT.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL ASSOCIATED CODES AND ORDINANCES AS DICTATED BY THE CITY OF EDGERTON, KANSAS.
- GENERAL CONTRACTOR SHALL PROVIDE 4" HIGH HOUSEKEEPING PADS UNDER ALL MECHANICAL EQUIPMENT AS REQUIRED PER MECHANICAL.
- GENERAL CONTRACTOR TO CONSULT AND COORDINATE WITH OWNER CONCERNING REQUIREMENTS FOR SECURITY SYSTEMS, PHONE, DATA AND ANY AUDIO OR TELEVISION, (INCLUDING SATELLITE) SYSTEMS.
- ALL GYPSON BOARD SHALL BE 5/8" TYPE "X" FIRE RESISTANT GYPSON BOARD UNLESS NOTED OTHERWISE.
- ALL INTERIOR PARTITIONS SHALL BE CONSTRUCTED TO THE UNDERSIDE OF THE STRUCTURE ABOVE AND PROVIDED WITH A DEFLECTION TRACK UNLESS DETAILED OTHERWISE. AT 1-HR. RATED WALLS, REFER TO U.L. #U465 FOR TYPICAL ASSEMBLIES.
- PROVIDE WOOD BLOCKING OR OTHER SUITABLE REINFORCEMENT AND BETWEEN STUDS FOR ALL WALL-MOUNTED ACCESSORIES IN METAL STUD CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: BASE AND WALL-MOUNTED CASEWORK, SHELVING, MARKER BOARDS, PROJECTOR SCREENS, AUDIO-VISUAL EQUIPMENT, OR AS OTHERWISE REQUIRED BY THE MANUFACTURER. COORDINATE FINAL LOCATION(S) WITH OWNER.
- PAINT ALL EXPOSED INTERIOR AND EXTERIOR STRUCTURAL / NON-STRUCTURAL STEEL IN ALL AREAS SCHEDULED FOR PAINT.
- TOP ELEVATION OF FLOOR DRAINS SHOWN ON PLANS, WITHOUT SLOPED FLOORS, SHALL BE SET 1/4" BELOW SLAB AND HAVE A 5/4" DIAMETER "SWEEP" AROUND DRAIN.

## 2 CODE ANALYSIS / PROJECT INFO / LEGEND

1/16" = 1'-0"



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New Building for:  
**On The Go Truck Wash**  
1-35 and Homestead  
Edgerton, Kansas 66021



PROJECT NO.: 2019-12  
DATE: 02/04/2020  
DRAWN BY: BCS STAFF  
REVIEWED BY:

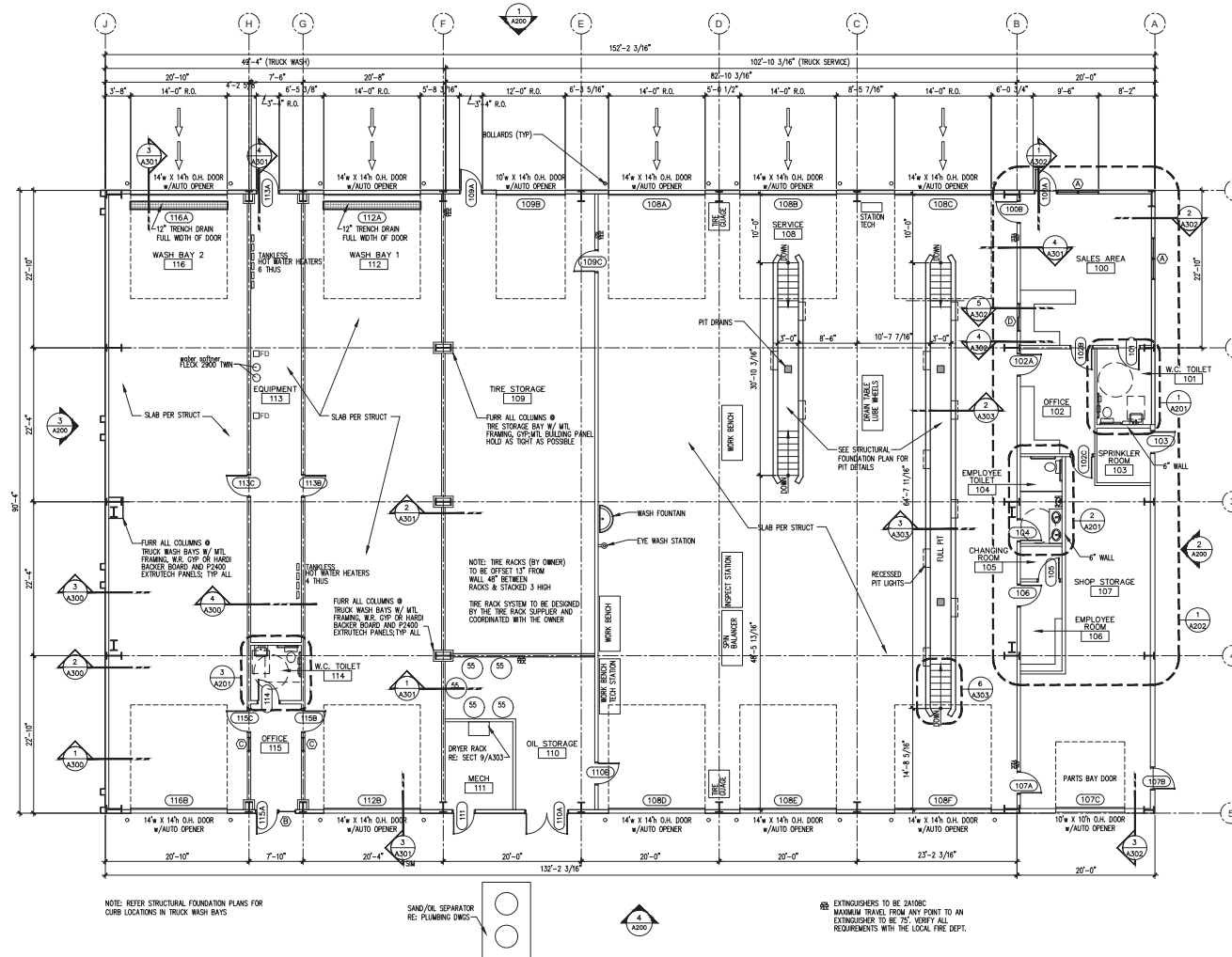
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**1 NEW WORK FLOOR PLAN**  
1/8" = 1'-0"

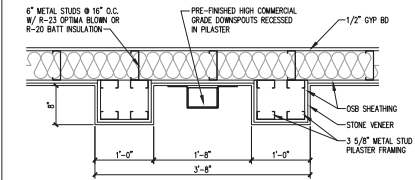
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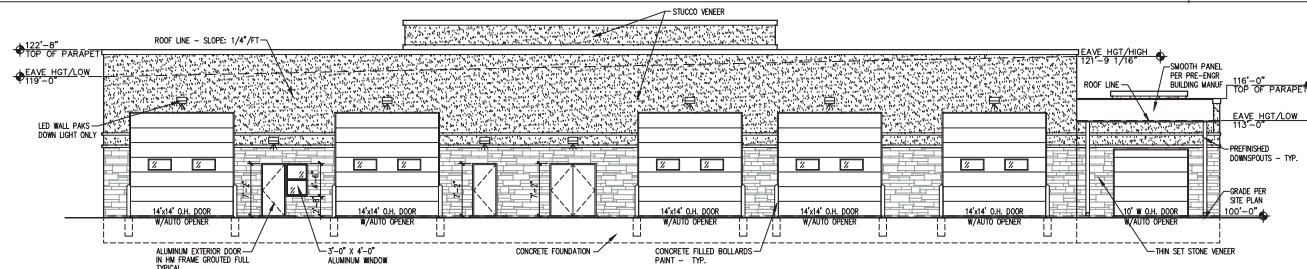
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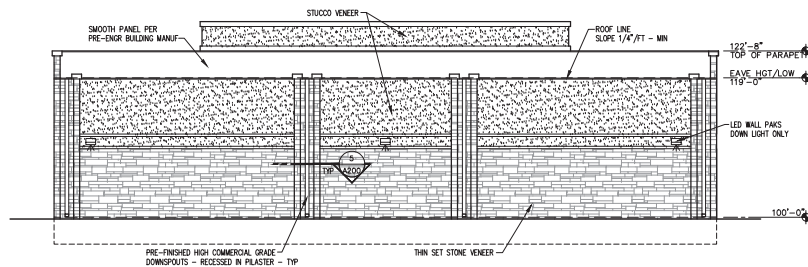
## 5 PILASTER DETAIL

1" = 1'-0"



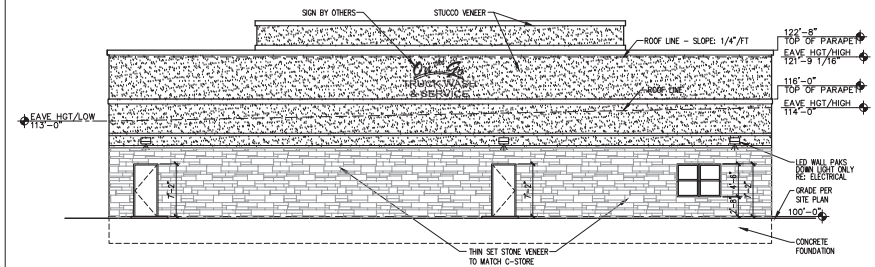
## 4 EAST CONCEPT ELEVATION for TA

1/8" = 1'-0"



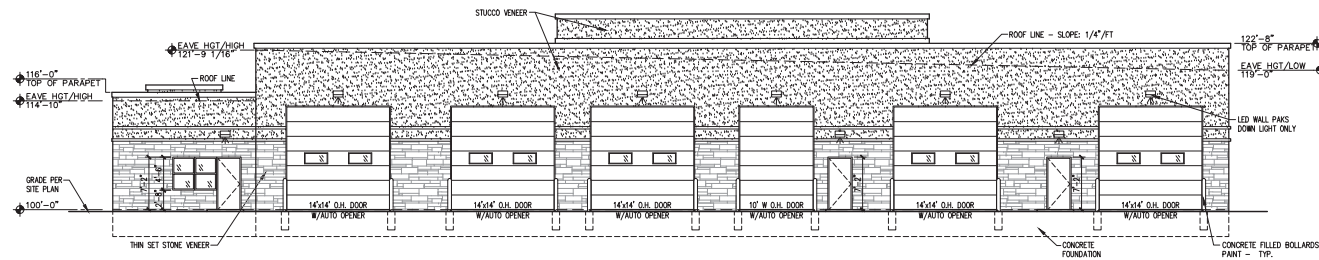
## 3 SOUTH CONCEPT ELEVATION for TA

1/8" = 1'-0"



## 2 NORTH CONCEPT ELEVATION for TA

1/8" = 1'-0"



## 1 WEST CONCEPT ELEVATION for TA

1/8" = 1'-0"

New Building for:  
**On The Go Truck Wash**  
1-35 and Homestead  
Edgerton, Kansas 66021



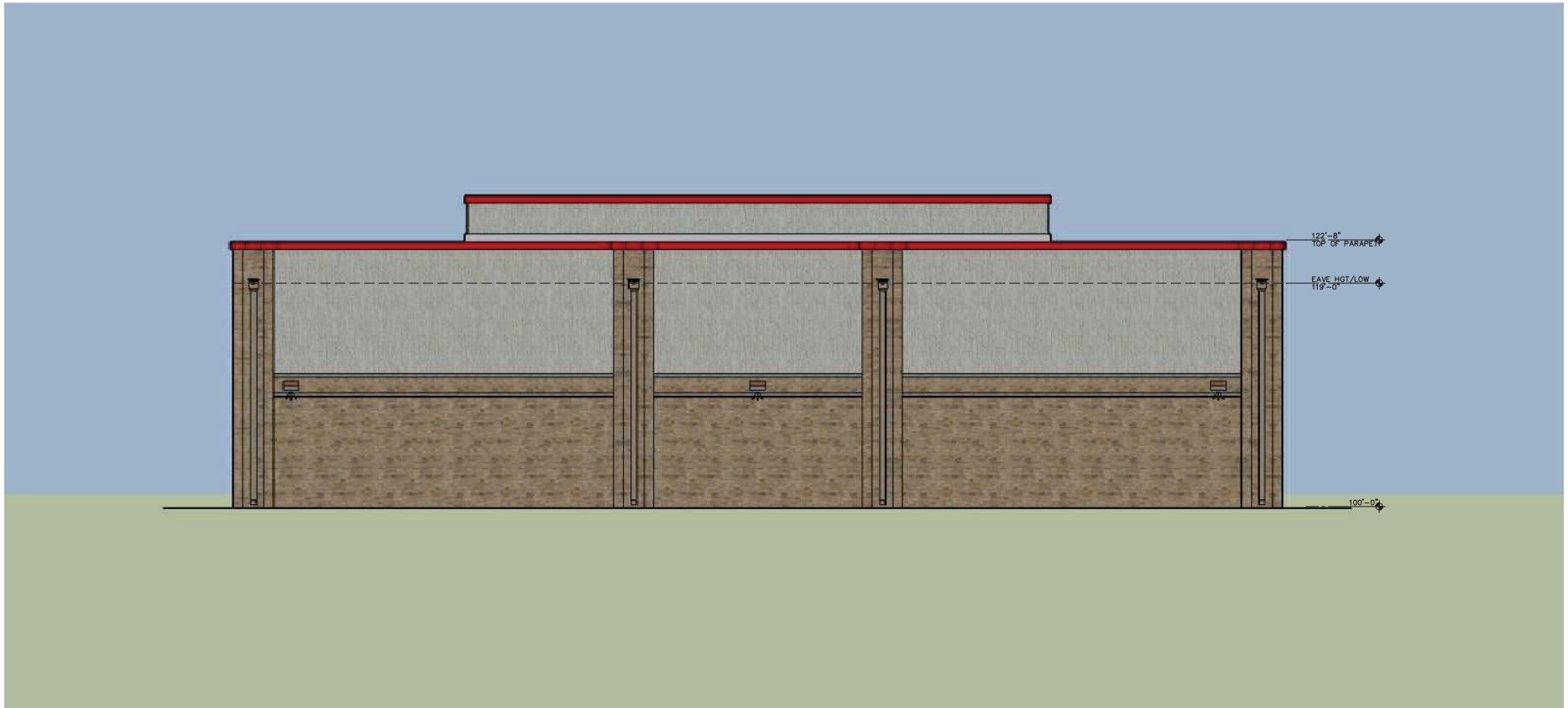
PROJECT NO. : 2019-12  
DATE : 02/04/2020  
DRAWN BY : BCS STAFF  
REVIEWED BY :  
REVISED:

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SOUTH ELEVATION

ON THE GO TRUCK  
WASH & SERVICE  
I-35 and Homestead  
Edgerton, Kansas 66021



WEST ELEVATION

ON THE GO TRUCK  
WASH & SERVICE  
I-35 and Homestead  
Edgerton, Kansas 66021



NORTH ELEVATION

ON THE GO TRUCK  
WASH & SERVICE  
I-35 and Homestead  
Edgerton, Kansas 66021



EAST ELEVATION

ON THE GO TRUCK  
WASH & SERVICE  
I-35 and Homestead  
Edgerton, Kansas 66021



## STAFF REPORT

August 13, 2019

To: Edgerton Planning Commission  
Fr: Chris Clinton, Planning and Zoning Coordinator  
Re: **FS2019-04** Final Site Plan for *On the Go Travel Center, First Plat* located at the northeast corner of Homestead Lane and Interstate 35 (I-35).

### **APPLICATION INFORMATION**

**Applicant:** David Anderson, Agent  
KBS Constructors, Inc.  
14955 W. 117<sup>th</sup> Street  
Olathe, KS 66062

**Property Owner:** Moussa Sobaiti  
My Store III Inc.  
14728 W. 93<sup>rd</sup> Street  
Lenexa, KS 66215

**Requested Action:** Final Site Plan approval for *On the Go Travel Center, First Plat*

**Legal Description:** W 1/4 of Section 10, Township 15, Range 22, in Johnson County, Kansas; see attached application for complete legal description.

**Site Address/Location:** Northeast corner of Homestead Lane and I-35.

**Existing Zoning and Land Uses:** Existing zoning – C-2 (Heavy Service Commercial) District.

**Existing Improvements:** None.

**Site Size:** Approximately 12.162 Acres

### **PROJECT DESCRIPTION**

Application FS2019-04 is a request for Final Site Plan approval for *On the Go Travel Center, First Plat*. The parcel is on the northeast corner of Homestead Lane and I-35. This project would service highway traffic along the I-35 corridor and traffic specific to Logistics Park Kansas City. The 7,200 square foot travel center proposes fuel pumps for both passenger vehicles and semi-trucks with a truck wash and truck service facility. The floor plan provided indicates a proposed quick service food provider inside the travel center building.

## Subject Property



## **INFRASTRUCTURE AND SERVICES**

1. Access to the property and development will be from a newly constructed public street, West 200<sup>th</sup> Terrace, which will turn east off Homestead Lane and run adjacent to the north side of the parcel. The applicant has proposed three (3) private drives from East Nelson Street into the project. There is also a proposed future road which would allow access from 199<sup>th</sup> Street to West 200<sup>th</sup> Terrace. This future road would also allow southbound traffic on Homestead Lane access to the development and provide an opportunity for traffic to access southbound Homestead Lane at the 199<sup>th</sup> Street intersection. Exact location of the future road is uncertain at this time.
2. Utilities and service providers.
  - a. Water - Johnson County Water District #7
  - b. Sanitary Sewer - City of Edgerton
  - c. Electrical Service - Kansas City Power & Light
  - d. Gas Service – Kansas Gas Service
  - e. Police service is provided by the city of Edgerton through the Johnson County Sheriff's Office.
  - f. Fire protection is provided by Johnson County Fire District #1.
3. Development proposal is located within the Bull Creek watershed.

## **FINAL SITE PLAN REVIEW**

Staff has reviewed the Final Site Plan submittal for compliance with the requirements of Article 10, *Site Plans and Design Standards*; Section 4.3, *Heavy Service Commercial (C-2) District*; Section 4.6, *Awning and Fencing*; Section 4.7, *Fuel Stations, Convenience Stores and/or Drive-Throughs* of Article 4; and Article 16, *Parking and Loading Regulations* of the Edgerton Unified Development Code (UDC). Review comments are listed below.

### **Article 10 - Section 10.1 – Site Plan**

1. Contents of Site Plan Drawings. All material shall be adequately labeled and should provide complete details which show compliance with District requirements.
  - a. Engineer's seal with original signature. *Sheets A100 to A304 reflecting the floor plans and building elevations have not been stamped by an architect or engineer. Update Final Site Plan.*
  - b. Planting timetable and seeding/sodding schedules. *A timetable of plantings has not been provided. Applicant acknowledges that a timetable has not been provided and states they are unable to do so at this time due to uncertainty of when plantings will actually take place. Applicant acknowledges necessity of planting and understands Building Permit will not be closed until landscaping is completed.*
  - c. Exterior lighting specifications including a preliminary photometric plan. The maximum height for luminaries shall not exceed 25 feet as measured between the bottom of the luminaire and grade. *Proposed luminaries are to be 35' from grade to the top of the luminaire. Update Final Site Plan.*
  - d. Site entrance and connections to streets. *Kansas Department of Transportation (KDOT) controls access to this property from Homestead Lane. KDOT recently completed a traffic study contemplating the conversion of this entrance to full access. The City is working with KDOT staff to review this project and its access to Homestead Lane. The City Engineer noted the entrance width for the east entrance exceeds the City standard and it should be lengthened as well. Update Final Site Plan.*

- e. Connection point for utilities and the location and size of all utility lines including but not limited to sewer lines and manholes; water lines and fire hydrants; telephone, cable, fiber, and electrical systems; and storm drainage systems including inlets, catch basins, lines and other appurtenances, existing and proposed. *The City Engineer recommends further discussion between the City and Developer's Engineer prior to proceeding with the design of the sanitary sewer. **Update Final Site Plan.***
- f. Vehicular and pedestrian circulation within the site, entrances and exits, loading and unloading area, and adjacent curb butts. *Per the City Engineer, the sidewalk ramps shown do not meet PROWAG requirements and revised ramps can be shown on the public infrastructure plans. **Update Final Site Plan.***
- g. Scale drawings of all proposed signage including location, height, size, area, materials and design to be used on the premises with construction drawings required when applying for a sign permit in accordance with Article 12, Sign Regulations, of the UDC. *A rendering of proposed signage has been submitted by the applicant. Proposed signage is not in compliance with the existing UDC. **Revisions to proposed signage are required along with Sign Permit Applications for each proposed sign. The Zoning Administrator will review for UDC compliance. Any signs not found to be in compliance will require revisions or a variance from the Board of Zoning Appeals. Applicant acknowledges.***
- h. Features to facilitate handicapped access. *The applicant has provided 3 ADA accessible parking stalls for the proposed Travel Center. While this does meet the standards set forth by the ADA (including proposed spaces for future retail space), City Staff recommends additional ADA accessible parking stalls be added once the future retail space is built in order to provide ADA access at all entrances.*
- i. Profile and details for roads, the location and width of sidewalks, and the location of trails. *Public improvement plans will be required for the proposed road. It appears that the storm sewer for the road has not been included on the plans. **Provide documentation to dedicate right-of-way, any necessary easements and private property construction. If the applicant is unable to provide documentation, the project will need to be revised to be located entirely on this property. Update Final Site Plan.***
- j. The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right-of-way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. Include type of screening that will be used around equipment. *There is rooftop equipment proposed and is screened from public view. **City Staff will continue to monitor the project development to ensure proper screening of all equipment is provided. Applicant acknowledges that if rooftop equipment can be seen from adjacent public streets, additional screening will be required and an elevation of such will be required before Building Permit issuance.***

#### **Article 4 – Section 4.6 – Awnings & Fencing**

- 1. Awning Appearance, Material & Maintenance
  - a. Awning shall be composed of noncombustible acrylic fabric, in a matte finish, suitable for outdoor use and U/V resistant. *Proposed awnings on the Travel Center*

*are metal. Proposed updates to the UDC will be brought forth to the Planning Commission at the same meeting at which this item is being heard which would allow prefinished standing seam metal awnings. Upon acceptance by the Governing Body, this material would be allowed per the UDC and thus approved for this project.*

#### **Article 4 – Section 4.7 – Fuel Stations, Convenience Stores and/or Drive-Throughs**

1. Canopy Design Standards. *When final product determination is made, Applicant will provide details to staff for final review and approval. Applicant acknowledges requirements of canopies. Update Final Site Plan.*

#### **OTHER COMMENTS**

1. A storm water management report has been submitted. The following comments should be addressed prior to approval:
  - a. The detention basin bottom has been shown with the bottom completely flat. APWA requires a minimum slope of 2% in the bottom draining to the outlet.
2. A SWPPP and Land Disturbance Permit have not been submitted at this time. ***LDP has to be approved before any work can begin on site.***
3. Diesel emission regulations set forth by KDHE must be complied with. ***Applicant acknowledges.***
4. Applicant has indicated an outdoor storage area on the north side of the truck wash building and it will be screened with an 8-foot-tall cut block fence. At no time shall the stored items be visible to the public or be stacked above the fence height. The gate for the storage area must be constructed of a sturdy and solid material and kept in good operating condition. Any damage must be repaired immediately.

#### **RECOMMENDATION**

City staff recommends **approval** of **FS2019-04** Final Site Plan for *On the Go Travel Center, First Plat*, subject to compliance with the following stipulations:

1. The staff recommendations and comments noted related to infrastructure, landscaping, the stormwater plan and all else discussed as included in this Staff Report are included as stipulations as part of approval of this Final Site Plan.
2. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City.
3. Any items added must comply with the Edgerton UDC and it is the building owner's ultimate responsibility to ensure code compliance.
4. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.
5. Any requirements on public or private property by the City of Edgerton or KDOT determined necessary for the improvement of the intersection shall be adhered to.



**ATTACHMENTS**

- Application FS2019-04
- Final Site Plan for *On the Go Travel Center, First Plat* including Architectural drawings and renderings.



**Site Plan Application**  
(Fee: \$200 Plus \$10 Per Acre)

☐ PRELIMINARY SITE PLAN

☒ FINAL SITE PLAN

\*Request is to hear preliminary and final site plans together.

NAME OF PROPOSED SUBDIVISION: ON THE GO TRAVEL CENTER, FIRST PLAT

LOCATION OR ADDRESS OF SUBJECT PROPERTY: 199th and Homestead Lane

LEGAL DESCRIPTION: Lengthy, See attached.

CURRENT ZONING ON SUBJECT PROPERTY: C-2 CURRENT LAND USE: N/A

TOTAL AREA: 12.16 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 405K Sq. Ft.

DEVELOPER'S NAME(S): David Anderson PHONE: 913-422-5300

COMPANY: KBS Constructors, Inc. FAX: davidanderson@kbsci.com

MAILING ADDRESS: 14955 W 117th Street, Olathe, KS 66062

Street City State Zip

PROPERTY OWNER'S NAME(S): Moussa Sobaiti PHONE: \_\_\_\_\_

COMPANY: My Store III, Inc. FAX: moussasobaiti@hotmail.com

MAILING ADDRESS: 14728 W 93rd Street, Lenexa, KS 66215

Street City State Zip

ENGINEER'S NAME(S): Judd D. Claussen, P.E. PHONE: 913-393-1155

COMPANY: Phelps Engineering, Inc. FAX: jclaussen@phelpsengineering.com

MAILING ADDRESS: 1270 N Winchester, Olathe, KS 66061

Street City State Zip

SIGNATURE OF OWNER OR AGENT: \_\_\_\_\_

*Moussa Sobaiti* 4-29-2019  
If not signed by owner, authorization of agent must accompany this application.

**NOTE:** Three (3) copies of the site plan must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

**FOR OFFICE USE ONLY**

Case No.: FS2019-04 Amount of Fee Paid: \$ 321.62 Date Fee Paid: \_\_\_\_\_ Receipt # \_\_\_\_\_

Received By: \_\_\_\_\_ Date of Hearing: 7-11-19

**SITE PLAN INSTRUCTIONS**

**SUBMITTAL DEADLINE:** The applicant shall submit an application at least thirty (30) working days prior to the public hearing.

**NOTICE REQUIREMENTS:** The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.



**DESIGN STANDARDS:** Applicants within the Logistics Park (L-P) District should abide by the district regulations and design standards set forth in Section 5.2 of the Edgerton Unified Development Code. These regulations and design standards include, but are not limited to, building placement, architectural design standards, parking and loading, access management, photometrics, landscaping, signage and diesel emissions.

**PLANNING COMMISSION REVIEW:** The Edgerton Planning Commission meets in the City Hall on the second Tuesday of every month. The Planning Commission shall review the site plan to determine conformity with the design guidelines and other requirements included within the Edgerton Uniform Development Code.

**APPROVAL LIMITATIONS:** If the Final Site Plan is in conformance with an Approved Preliminary Site Plan, notice and publication of Planning Commission or City Council meetings is not required.

## CHECKLIST

The following items shall be included on the site plan. All (FINAL) Site Plans must be submitted on superior quality paper in a 24 x 36 inches format (or a format specified by the Zoning Administrator). The scale shall be a professionally acceptable standard suitable to the area of the proposed project.

### Front or Cover Sheet

- ☐ A scale, vicinity map showing the relationship of the site to surrounding neighborhoods, roads and other physical features.
- ☐ A project title, zoning designation and project sponsor.
- ☐ A street, lot or tract address of the project.
- ☐ An index to contents and a data table which includes:
  - ☐ Acreage of the site and number of units per acre (if applicable)
  - ☐ Gross square feet of the building(s) area
  - ☐ Proposed use of each building
  - ☐ Number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load
  - ☐ Total number of parking places
- ☐ Name of the architect, engineer, surveyor or draftsman.
- ☐ Following certificates and signature blocks:

### CERTIFICATE:

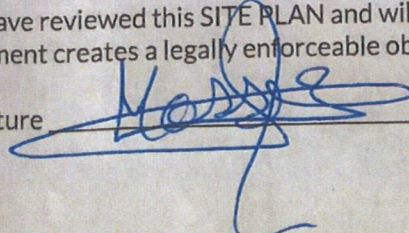
Received and placed on record this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by

\_\_\_\_\_ (Zoning Administrator).

Approved by the Edgerton City Planning Commission this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by

\_\_\_\_\_ (Chair of Planning Commission).

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant signature  Date 4-29-2019



Sheet #2

- A landscape plan drawn to scale, showing the site, building location, planting and seeding schedules, refuse and outdoor storage screening and boundary screening. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives.
- A table entitled "Planting Schedule" which lists the common name, size and condition of all planting materials, together with a timetable for planting.

Sheet #3

- A site map with the following features:
  - Topography at reasonable intervals
  - Exterior lot lines with any survey pins
  - Location of buildings
  - Parking areas, paths, walks with sizes and surfaces material specifications
  - Exterior lighting specifications
  - Site entrance and connections to streets
  - Location of easements
  - Connection point for utilities
- A sketch of the entry sign, and all other free-standing, façade, and building signs to be used on the premises
- Features to facilitate handicapped access
- Profile and detail for roads (if required)

Sheet #4

- Scale drawing of building floor plans
- Dimensions and use of rooms and areas
- Dimensions of entrances/exits and corridors
- Interior specifications for handicapped accessibility as required by ANSI 117.1 and this ordinance

Sheet #5 (if requested)

- Scale drawings of all building elevations
- Roof pitch and materials
- Siding type and materials, including facade

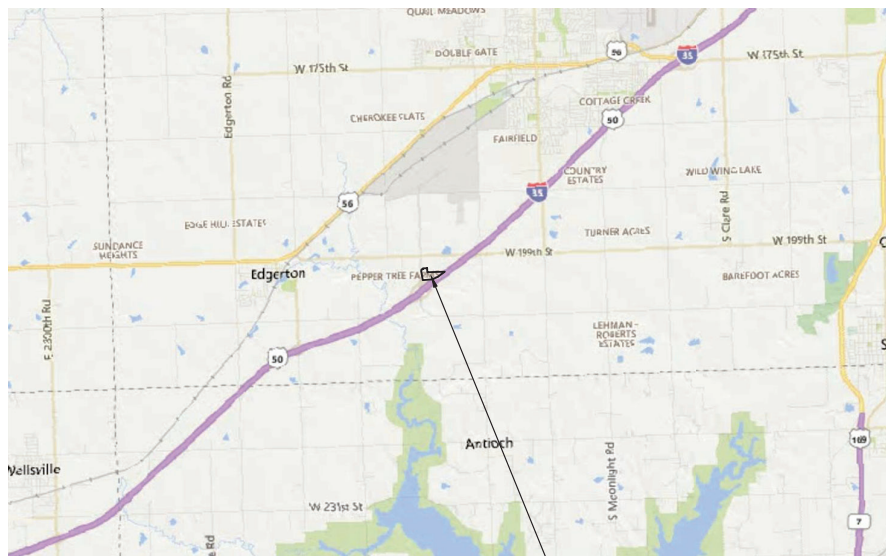
**ADDITIONAL REQUIREMENTS:** Depending upon circumstances (especially buildings used for assembly), the Planning Commission may require additional sheets for mechanical and electrical and building materials specifications. The Planning Commission may also require additional information for hazardous material or other environmental impacts.

**FINAL PLAT LEGAL DESCRIPTION:**

All that part of the NW1/4 of Section 10, Township 15, Range 22, in Johnson County, Kansas, more particularly described as follows: Commencing at the Northwest corner of the NW1/4 of said Section 10; thence S 2° 03' 46" E, along the West line of the NW1/4 of said Section 10, a distance of 991.99 feet; thence N 87° 35' 22" E, a distance of 280.86 feet, to a point on the North right-of-way line of Interstate Highway No. 35, as established in the Warranty Deed recorded in Book 201108 at Page 001191, in the Office of the Register of Deeds, Johnson County, Kansas, said point also being the true point of beginning; thence continuing N 87° 35' 22" E, a distance of 185.94 feet; thence Easterly and Southeasterly, along a curve to the right having a radius of 390.00 feet, a central angle of 32° 01' 48" and whose initial tangent bearing is S 69° 47' 26" E, an arc distance of 218.02 feet, to the point of tangency; thence S 37° 45' 38" E, a distance of 93.64 feet, to a point of curvature; thence Southeasterly and Easterly, along a curve to the left having a radius of 320.00 feet and a central angle of 21° 31' 36", an arc distance of 120.23 feet; thence S 30° 41' 48" W, a distance of 59.41 feet, to a point on the North line of the South Half of the NW1/4 of said Section 10; thence S 1° 47' 20" E, a distance of 638.10 feet, to a point on the North right-of-way line of said Interstate Highway No. 35; thence S 85° 06' 40" W, along the North right-of-way line of said Interstate Highway No. 35, a distance of 509.79 feet; thence N 10° 04' 47" W, along the North right-of-way line of said Interstate Highway No. 35, a distance of 802.50 feet; thence N 15° 12' 54" E, along the North right-of-way line of said Interstate Highway No. 35, a distance of 141.15 feet; thence N 88° 57' 08" E, along the North right-of-way line of said Interstate Highway No. 35, a distance of 116.36 feet; thence N 0° 38' 21" E, along the North right-of-way line of said Interstate Highway No. 35, a distance of 76.42 feet, to the true point of beginning, containing 12.162 acres, more or less.



FINAL SITE DEVELOPMENT PLANS  
FOR  
ON THE GO-TRAVEL CENTER  
PLAT NAME: ON THE GO-TRAVEL CENTER, FIRST PLAT  
CITY OF EDGERTON, JOHNSON COUNTY, KANSAS



CONTRACTOR TO REFER TO SEPARATE SET OF  
SANITARY SEWER PLANS FOR PUBLIC SANITARY  
SEWER INSTALLATION.



UTILITY COMPANIES:

KANSAS GAS SERVICE CO. (913) 344-8808  
MS. LYN LEE (LLEE@KGS.COM)  
7421 W. 129TH ST., #100  
OVERLAND PARK, KS. 66213

KANSAS CITY POWER AND LIGHT CO. (913) 681-7369  
MS. NANCY MARTIN (NANCY.MARTIN@KCP&L.COM)  
P.O. BOX 159  
STILWELL, KANSAS 66085

CITY OF EDGERTON - (SANITARY & STORM) (913) 893-6231-PHONE  
404 EAST NELSON,  
EDGERTON, KANSAS 66021

WATER DISTRICT NO. 7, JOHNSON COUNTY (913) 856-7375-PHONE  
534 W. MAIN STREET, (913) 856-7173-FAX  
P.O. BOX 7  
GARDNER, KANSAS 66030

FLOOD NOTES:

THE SUBJECT PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE  
OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE  
RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR COMMUNITY  
NO. 200508, JOHNSON COUNTY, KANSAS, MAP NO. 20080101340, AND DATED AUGUST 3,  
2008.

ZONING:

THIS PROPERTY IS ZONED C-2 (HEAVY SERVICE COMMERCIAL) PER JOHNSON COUNTY  
AND RESOLVE.  
NOTE: THIS SURVEYOR WAS NOT SUPPLIED A ZONING REPORT OR LETTER FOR THIS  
SURVEY.

REMARKS: VERTICAL DATUM = NAVD83 BASED ON JOHN BM 1303, SQUARE  
CUT ON TOP OF CURB EAST NOSE OF SOUTHEAST CONCRETE ISLAND AT  
INTERSECTION OF HOMESTEAD LANE AND 199TH STREET. ELEVATION= 1013.81

BM 997 = PLUS OUT TOP CURB ON NORTH SIDE OF CONCRETE ENTRANCE TO  
SUBJECT PROPERTY. ELEVATION=1025.80

LEGAL DESCRIPTION:

This is a survey and subdivision of all that part of the NW1/4 of Section 10, Township 15, Range 22, in Johnson County,  
Kansas, more particularly described as follows: Commencing at the Northwest corner of the NW1/4 of said Section 10; thence S  
2° 03' 48" E, along the West line of the NW1/4 of said Section 10, a distance of 89.04 feet; thence N 87° 30' 22" E, a  
distance of 280.88 feet, to a point on the North right-of-way line of Interstate Highway No. 35, as established in the Warranty  
Deed recorded in Book 20108 of Page 20191, in the Office of the Register of Deeds, Johnson County, Kansas, said point also  
being the true point of beginning; thence continuing N 87° 30' 22" E, a distance of 185.04 feet; thence Eastward and  
Southeasterly, along a curve to the right having a radius of 350.00 feet, a central angle of 32° 07' 48" and whose initial  
tangent bearing is S 89° 47' 20" E, on an arc distance of 218.02 feet, to the point of tangency; thence S 37° 45' 38" E, a  
distance of 153.84 feet, to a point of curvature; thence Southeasterly and Easterly, along a curve to the left having a radius of  
320.00 feet and a central angle of 21° 31' 36", on an arc distance of 120.23 feet; thence S 30° 41' 48" W, a distance of 58.41  
feet, to a point on the North line of the South half of the NW1/4 of said Section 10; thence S 11° 47' 20" E, a distance of  
638.10 feet, to a point on the North right-of-way line of said Interstate Highway No. 35, a distance of 508.79 feet; thence N 10° 54' 47" W, along the North  
right-of-way line of said Interstate Highway No. 35, a distance of 802.50 feet; thence N 15° 12' 54" E, along the North  
right-of-way line of said Interstate Highway No. 35, a distance of 141.15 feet; thence N 86° 57' 08" E, along the North  
right-of-way line of said Interstate Highway No. 35, a distance of 116.38 feet; thence N 0° 38' 21" E, along the North  
right-of-way line of said Interstate Highway No. 35, a distance of 78.42 feet, to the true point of beginning, containing 12.642  
acres, more or less.

INDEX

C0	COVER SHEET
C0.1	DEMOLITION PLAN
C1	OVERALL SITE PLAN-PRELIMINARY
C1.1	SITE PLAN
C1.2	TYPICAL STREET SECTIONS
C1.3	TRUCK TURN PLAN
C2	GRADING PLAN
C2.1-C2.2	GRADING PLAN-ENLARGEMENTS
C2.3	DETENTION PLAN
C3	OVERALL-UTILITY PLAN
C3.1	UTILITY PLAN
C4	DRAINAGE CALCULATIONS
C5-C7	STORM SEWER PLAN & PROFILES
C8	EROSION CONTROL PLAN
C9	EROSION CONTROL DETAILS
C10-C11	PAVEMENT DETAILS
C12	STORM SEWER DETAILS
C13	WATER & WASTEWATER DETAILS
L1	LANDSCAPE PLANS

CERTIFICATE:

RECEIVED AND PLACED ON RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

ZONING ADMINISTRATOR  
KATY CROW

APPROVED BY THE EDGERTON CITY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CHAIR OF THE PLANNING COMMISSION:  
JOHN DALEY

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes,  
conditions required during Site Plan approval and amendments herein, and that this instrument  
creates a legally enforceable obligation to build and develop in accordance with all  
final agreements.

APPLICANT SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
TITLE \_\_\_\_\_ ORGANIZATION \_\_\_\_\_

OWNER:

MY STORE II INC.  
14728 W. 93RD STREET  
LENEXA, KANSAS 66215  
MR. MOUSSA SOBAITI

ARCHITECT:

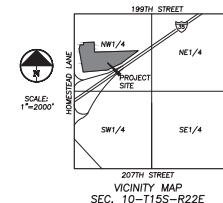
BCS DESIGN, INC.  
19920 WEST 161ST STREET  
OLATHE, KANSAS 66062  
(913) 780-4820

SURVEYOR:

PHELPS ENGINEERING, INC.  
1270 N. WINCHESTER  
OLATHE, KANSAS 66061  
(913) 393-1155  
(913) 393-1166 (FAX)

ENGINEER:

PHELPS ENGINEERING, INC.  
1270 N. WINCHESTER  
OLATHE, KANSAS 66061  
(913) 393-1155  
(913) 393-1166 (FAX)



Professional Engineer  
Kelly A. Winchell  
State of Kansas  
No. 14457  
Exp. 7-22-19  
www.kaweb.org

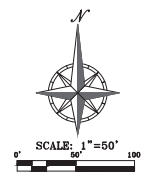
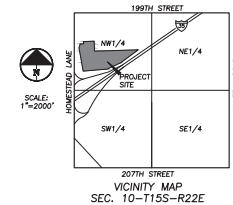
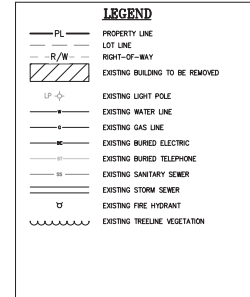
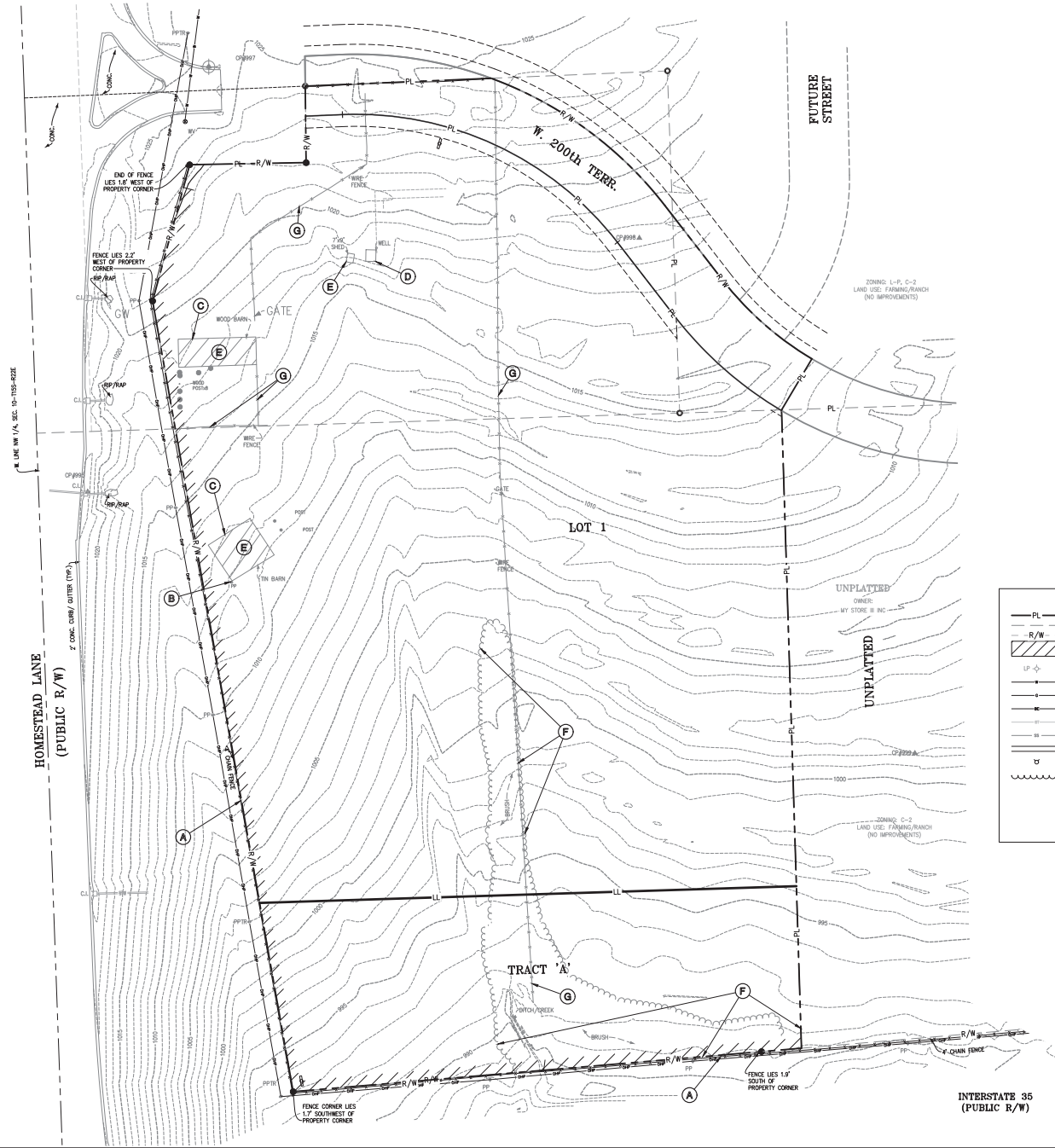


COVER SHEET  
ON THE GO-TRAVEL CENTER  
I-35 AND HOMESTEAD LANE  
EDGERTON, JOHNSON COUNTY, KANSAS

REVISION	DATE	BY	REASON
1	7-23-19	KL	REVISED PER STAFF COMMENTS

SHEET  
C0

HOMESTEAD LANE  
(PUBLIC R/W)



Know what's below.  
Call before you dig.

**DEMOLITION NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL COVERING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DERRIS FROM THE SITE AND DISPOSING THE DERRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
4. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.

**DEMOLITION KEY NOTES:**

- A. RIGHT-OF-WAY FENCE ALONG THE EAST & SOUTH PROPERTY LINE SHALL REMAIN IN PLACE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY DAMAGE TO RIGHT-OF-WAY FENCE. TYPICAL LOCATION.
- B. THE CONTRACTOR SHALL REMOVE ALL UNDERGROUND/OVERHEAD ELECTRICAL SERVICES, TELEPHONE AND CABLE SERVICE LINES AND THEIR APPURTENANCES WITHIN THE PROJECT BOUNDARY. THE UTILITY SERVICES SHALL BE DISCONNECTED ALONG THE PROJECT BOUNDARY. TYPICAL LOCATION.
- C. THE CONTRACTOR SHALL REMOVE ALL UNDERGROUND GAS LINES, WATER LINES, SANITARY AND STORM SEWER SERVICE LINES AND THEIR APPURTENANCES. APPURTENANCES INCLUDE, BUT NOT LIMITED TO, ALL PIPES, MANHOLES, JUNCTION BOXES, CATCH BASINS, YARD INLETS, FLUMES AND METER PITS. THE UTILITY SERVICES SHALL BE DISCONNECTED ALONG THE PROJECT BOUNDARY LINE TO THE EXISTING HOME TO BE DEMOLISHED.
- D. CONTRACTOR TO REMOVE EXISTING WELL PER KDHE REQUIREMENTS.
- E. THE CONTRACTOR SHALL REMOVE ALL PRE-EXISTING STRUCTURES, FOUNDATIONS, FOOTINGS, PIERS, WATER WELLS, SEPTIC TANKS, LATERAL LINES, BURIED DERRIS, MISCELLANEOUS CONCRETE, ETC. WHICH MAY BE ENCOUNTERED DURING DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL DISPOSE OF THESE MATERIALS IN A LOCATION APPROVED BY ALL COVERING AUTHORITIES.
- F. SHADDED AREAS INDICATE MAIN STRUCTURES AND OUTBUILDINGS TO BE DEMOLISHED. IN ADDITION TO SHADDED DEMOLITION AREAS, ALL MISCELLANEOUS CONCRETE, STONE STRUCTURES, OUTBUILDINGS, PRIVATE SIDEWALKS, RETAINING WALLS, SIGNS, PATIOS, FOUNDATION WALLS AND FOOTINGS ASSOCIATED WITH THE STRUCTURES SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THE PLANS. TYPICAL LOCATION.
- G. THE CONTRACTOR SHALL BE REQUIRED TO BACKFILL ALL EXCAVATIONS/DEPRESSIONS CREATED BY THE REMOVAL OF STRUCTURES, FOUNDATIONS, FOOTINGS, PAVING, SEPTIC TANKS, WELLS, PIPES, TREE ROOTS, DERRIS AND UTILITY STRUCTURES, ETC. ALL EXCAVATIONS SHALL BE BACKFILLED TO EXISTING GROUND ELEVATIONS ON ALL SIDES OF THE EXCAVATION.
- H. THE CONTRACTOR SHALL REMOVE ALL GROUND VEGETATION, TREES, SHRUBS, BRUSH AND DERRIS SPECIFICALLY SHOWN TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF CLEARED ITEMS.
- I. THE CONTRACTOR SHALL REMOVE EXISTING FENCE WITHIN PROPERTY BOUNDARY.



Professional Engineer  
J. L. P.  
No. 7-22-19  
Kansas  
www.jlp-engineering.com  
www.jlp-engineering.com



**DEMOLITION PLAN**  
ON THE GO-TRAVEL CENTER  
I-35 AND HOMESTEAD LANE  
EDGERTON, JOHNSON COUNTY, KANSAS

NO.	DATE	REVISION	BY	CHK
1	7-24-18	REVISED PER STAFF COMMENTS	JLP	MDJ

SHEET  
C0.1





**LEGAL**

All that part of the NW/4 of Section 10, Township 15, Range 22, in Johnson County, Kansas, more particularly described as follows: Commencing at the Northwest corner of the NW/4 of said Section 10; thence S 2° 02' 46" E, along the West line of the NW/4 of said Section 10, a distance of 581.86 feet; thence N 87° 35' 22" E, a distance of 280.86 feet; to a point on the North right-of-way line of Interstate Highway No. 35, as established in the Warranty Deed recorded in Book 201108 at Page 001191, in the Office of the Register of Deeds, Johnson County, Kansas, said point also being the true point of beginning; thence northerly N 87° 35' 22" E, a distance of 183.94 feet; thence Easterly and Southeasterly, along a curve to the right having a radius of 380.50 feet, a central angle of 127° 05' 48" and whose initial tangent bearing is S 49° 47' 20" E, an arc distance of 183.02 feet; to the point of tangency; thence S 37° 45' 38" E, a distance of 83.64 feet, to a point of curvature; thence Southeasterly and Easterly, along a curve to the left having a radius of 380.50 feet and a central angle of 58° 07' 37", an arc distance of 303.74 feet; to a point on the North line of the South Half of the NW/4 of said Section 10; thence N 88° 12' 46" E, a distance of 118.66 feet, to a point on the North right-of-way line of said Interstate Highway No. 35; thence S 53° 31' 58" W, along the North right-of-way line of said Interstate Highway No. 35, a distance of 78.85 feet; thence S 64° 55' 34" W, along the North right-of-way line of said Interstate Highway No. 35, a distance of 509.90 feet; thence S 80° 06' 40" W, along the North right-of-way line of said Interstate Highway No. 35, a distance of 821.52 feet; thence N 10° 04' 47" W, along the North right-of-way line of said Interstate Highway No. 35, a distance of 852.50 feet; thence N 10° 12' 54" E, along the North right-of-way line of said Interstate Highway No. 35, a distance of 141.15 feet; thence N 88° 57' 08" E, along the North right-of-way line of said Interstate Highway No. 35, a distance of 116.38 feet; thence N 07° 30' 27" E, along the North right-of-way line of said Interstate Highway No. 35, a distance of 76.42 feet, to the true point of beginning, containing 25,250 acres, more or less.

**APPLICANT:**  
MY STORE III INC.  
14728 W. 93RD STREET  
LENEXA, KANSAS 66215  
MR. MOUSSA SOBAITI

**ARCHITECT:**  
BCS DESIGN, INC.  
19920 WEST 161ST STREET  
OLATHE, KANSAS 66062  
(913) 780-4820

**SURVEYOR:**  
PHELPS ENGINEERING, INC.  
1270 N. WINCHESTER  
OLATHE, KANSAS 66061  
(913) 393-1155  
(913) 393-1166 (FAX)

**ENGINEER:**  
PHELPS ENGINEERING, INC.  
1270 N. WINCHESTER  
OLATHE, KANSAS 66061  
(913) 393-1155  
(913) 393-1166 (FAX)

**VICINITY MAP**  
SEC. 10-1155-R22E

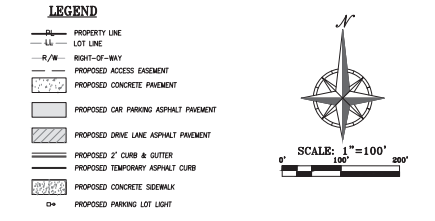
**FLOOD NOTE:**  
THE SUBJECT PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR COMMUNITY NO. 200155, JOHNSON COUNTY, KANSAS, MAP NO. 2009IC0340, AND DATED AUGUST 3, 2009.

**ZONING:**  
THIS PROPERTY IS ZONED C-2 (HEAVY SERVICE COMMERCIAL) PER JOHNSON COUNTY AIMS WEBSITE.

**NOTE:**  
THIS SURVEYOR WAS NOT SUPPLIED A ZONING REPORT OR LETTER FOR THIS SURVEY.

**BENCHMARK:**  
(VERTICAL DATUM = NAVD83 BASED ON JGD41 BM 1301) SQUARE CUT ON TOP OF CURB EAST NOSE OF SOUTHEAST CONCRETE ISLAND AT INTERSECTION OF HOMESTEAD LANE AND 199TH STREET. ELEVATION=1013.61

BM# 997 = PLUS CUT TOP CURB ON NORTH SIDE OF CONCRETE ENTRANCE TO SUBJECT PROPERTY. ELEVATION=1025.89



**UTILITY NOTES:**  
UTILITY INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES.

Overall Site Plan - Preliminary

ON THE GO - TRAVEL CENTER

I-35 AND HOMESTEAD LANE

EDGERTON, JOHNSON COUNTY, KANSAS

NO.	DATE	BY	REVISIONS PER STAFF COMMENTS
1	7-22-19	CH	

PROJECT NO. 192524

DATED 7-22-19

DESIGNED BY JPH/CH

CHECKED BY JPH/CH

DATE OF APPROVAL 7-22-19

SCALE OF 1"=100'

DATE OF APPROVAL 7-22-19

SHEET

C1







1-800-368-7777  
 1-800-368-7777  
 1-800-368-7777  
 1-800-368-7777  
 1-800-368-7777

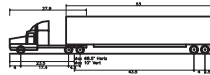
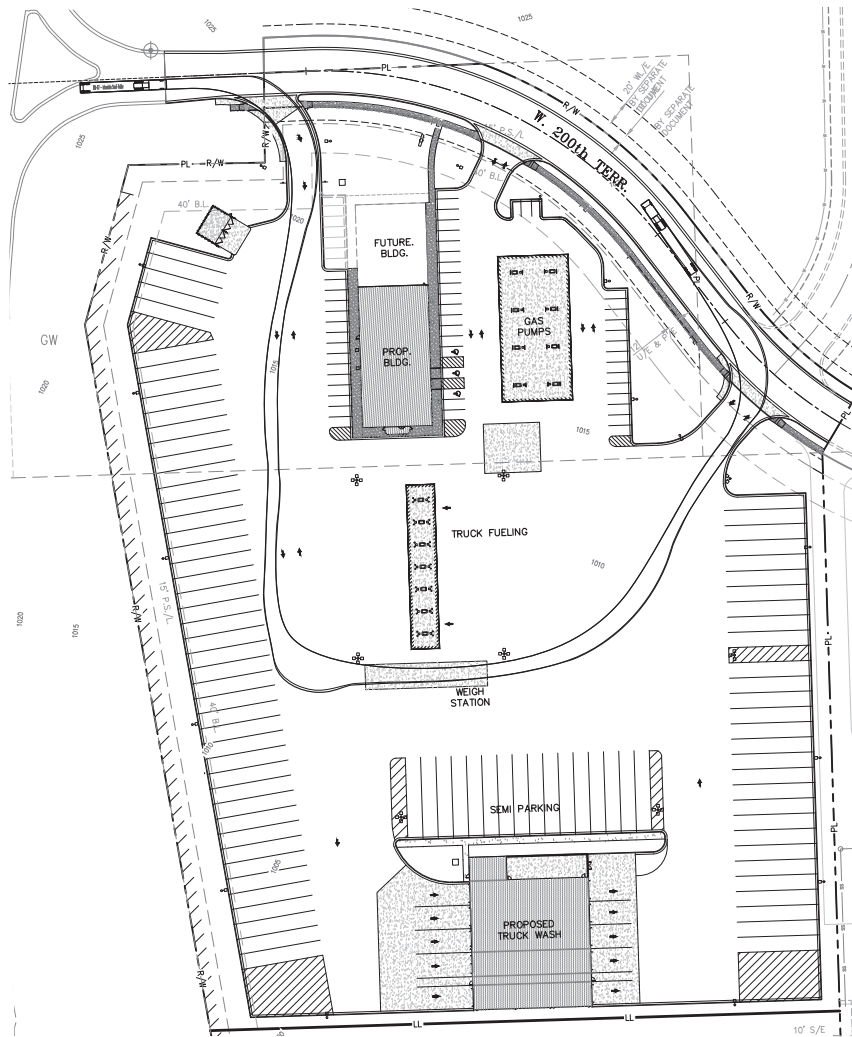


**TYPICAL PUBLIC STREET SECTION**  
ON THE GO-TRAVEL CENTER  
I-35 AND HOMESTEAD LANE  
EDGERTON, JOHNSON COUNTY, KANSAS

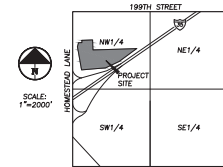
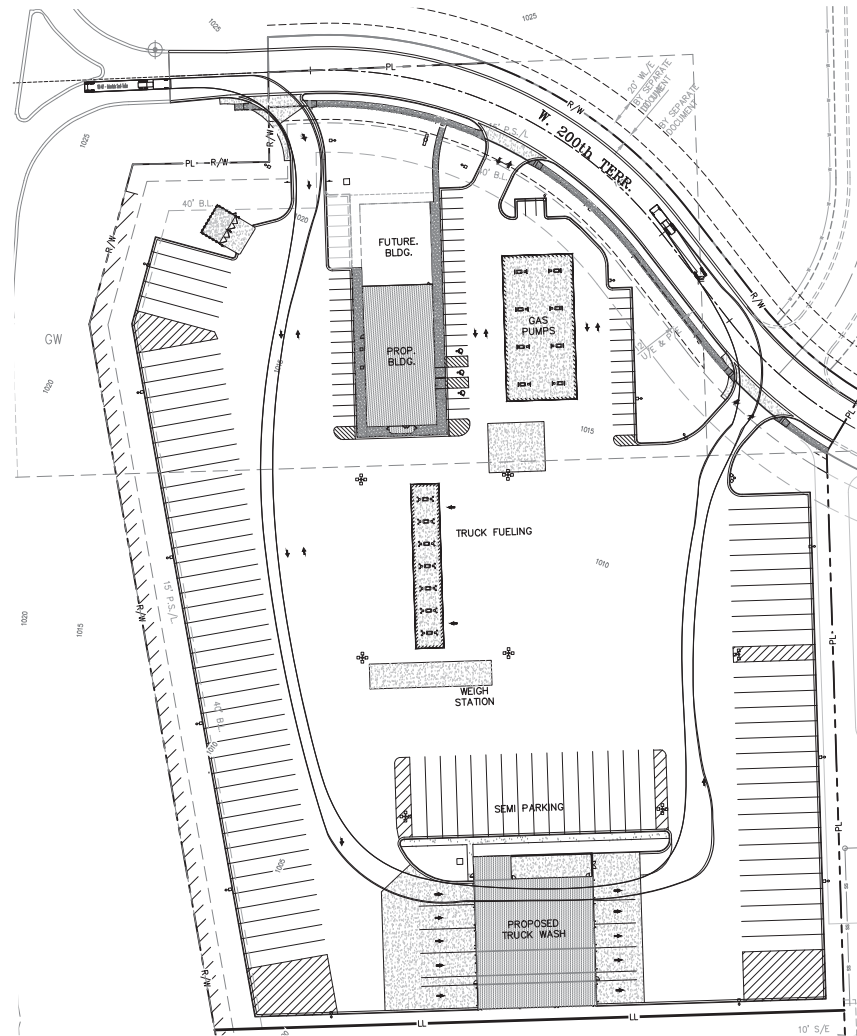
[illegible]

SHEET  
C1.2





WB-67 - Interstate Semi-Trailer  
 Overall Length: 100'-0"  
 Overall Width: 8'-6"  
 Overall Height: 8'-6"  
 Max. Gross Weight: 80,000 lbs  
 Max. Gross Weight per Axle: 20,000 lbs  
 Max. Gross Weight per Wheel: 10,000 lbs  
 Max. Gross Weight per Tire: 5,000 lbs  
 Max. Gross Weight per Hub: 2,500 lbs  
 Max. Gross Weight per Axle End: 1,250 lbs  
 Max. Gross Weight per Axle End: 1,250 lbs



SCALE: 1"=200'



SCALE: 1"=50'

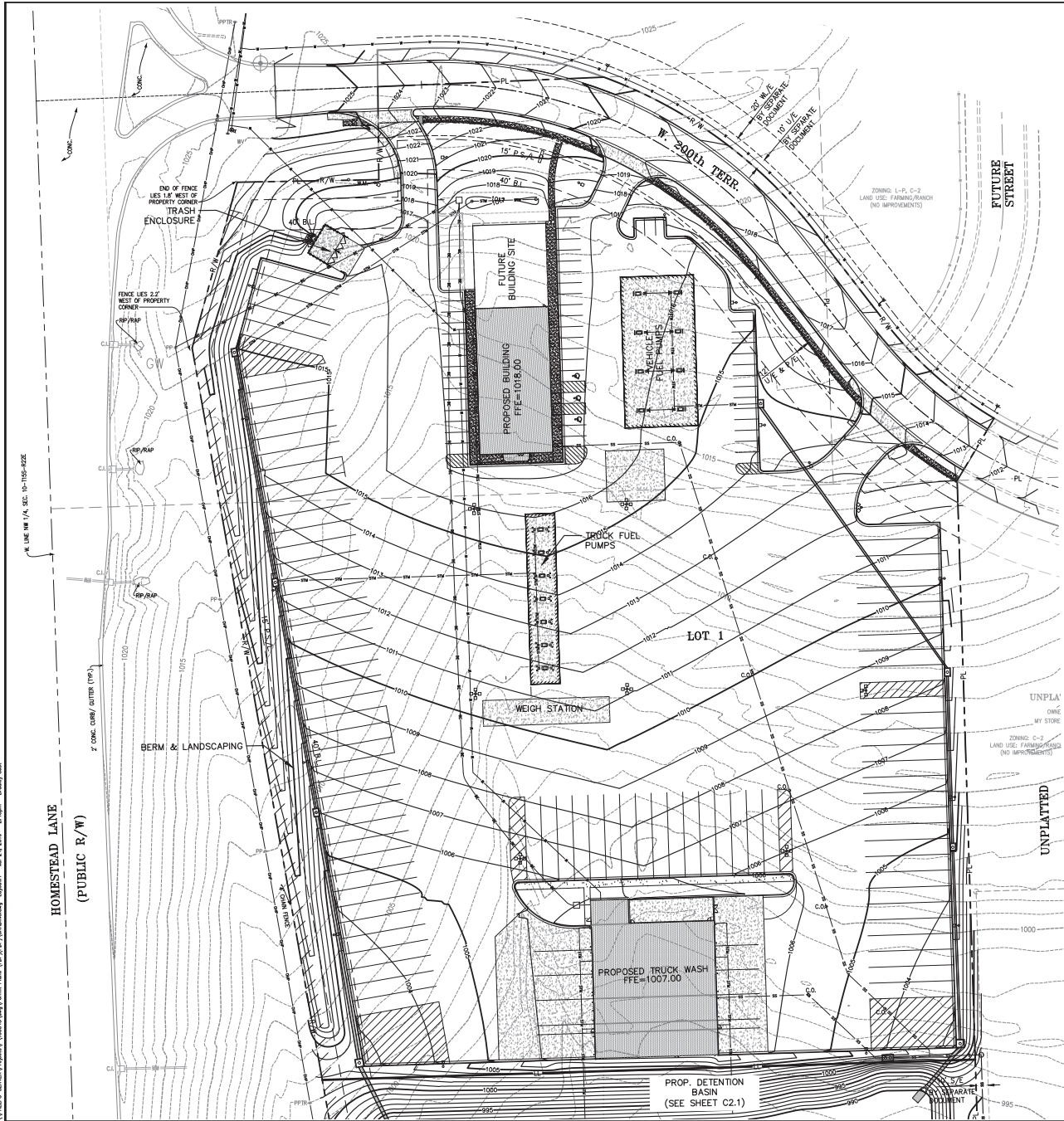
# **TRUCK TURN PLAN** ON THE GO-TRAVEL CENTER I-35 AND HOMESTEAD LANE EDGERTON, JOHNSON COUNTY, KANSAS

NO.	DATE	REVISIONS	BY	CHK
1	7-22-19	REVISED PER STAFF COMMENTS	BRG	DCS
2				
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10				

SHEET  
**C1.3**



Professional Engineering and  
 Construction Services  
 1000 W. 15th St., Suite 100  
 Edgerton, KS 66528  
 Phone: (913) 231-1111  
 Fax: (913) 231-1112  
 Website: www.pandhinc.com



**Earthwork Summary**  
On The Go Travel Center  
4/24/2019

Raw Excavation	16,978 Cu. Yds.
In Place Compaction (+15%)	-54,968 Cu. Yds.
Building Adjustment	1,143 Cu. Yds. (assume 24" of additional excavation)
Pavement Adjustment	10,962 Cu. Yds. (assume 12" of additional excavation)
On Site Net	-25,885 Cu. Yds.

\* EARTHWORK COMPUTATIONS BY PHELPS ENGINEERING, INC. ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND SHALL BE VERIFIED BY CONTRACTORS BY THEIR CHOSEN METHOD PRIOR TO PLACING BIL. ALL EARTHWORK SHALL BE CONSIDERED UNCLASSIFIED. 15% WAS ADDED INTO RAW BILL QUANTITY TO ACCOUNT FOR SHRINKAGE.

**FLOOD NOTE:**

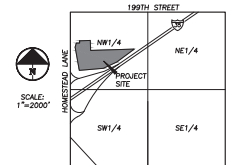
THE SUBJECT PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR COUNTY NO. 200159, JOHNSON COUNTY, KANSAS, MAP NO. 2009103146, AND DATED AUGUST 3, 2009.

**ZONING:**

THIS PROPERTY IS ZONED C-2 (HEAVY SERVICE COMMERCIAL) PER JOHNSON COUNTY AIMS WEBSITE. NOTE: THIS SURVEYOR WAS NOT SUPPLIED A ZONING REPORT OR LETTER FOR THIS SURVEY.

**BENCHMARK:** (VERTICAL DATUM = NAVD83 BASED ON JOHN BM# 130.) SQUARE CUT ON TOP OF CURB EAST NOSE OF SOUTHEAST CONCRETE ISLAND AT INTERSECTION OF HOMESTEAD LANE AND 199TH STREET. ELEVATION= 1013.81

BM# 997 = PLUS CUT TOP CURB ON NORTH SIDE OF CONCRETE ENTRANCE TO SUBJECT PROPERTY. ELEVATION=1025.89



VICINITY MAP  
SEC. 10-T155-R22E

**LEGEND**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- LG LIP OF GUTTER
- TC TOP OF CURB
- SW SIDEWALK
- ME MATCH EXISTING
- HP HIGH POINT
- LP LOW POINT
- P TOP OF PAVEMENT
- TE TOP OF STRUCTURE
- OR GROUND ELEVATION



**UTILITY NOTES:**  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES.

SHEET  
C2

**GRADING PLAN**  
ON THE GO-TRAVEL CENTER  
I-35 AND HOMESTEAD LANE  
EDGERTON, JOHNSON COUNTY, KANSAS

DATE	BY	CHKD	REVISED PER STAFF COMMENTS
7-23-19	BR	BR	

PROJECT NO. 10-1555-0222  
DATE: 7-23-19  
DRAWN BY: BR  
CHECKED BY: BR  
SCALE OF 1"=40'  
DATE: 7-23-19  
SCALE OF 1"=40'

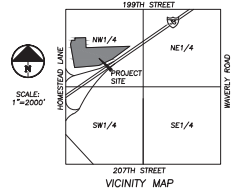
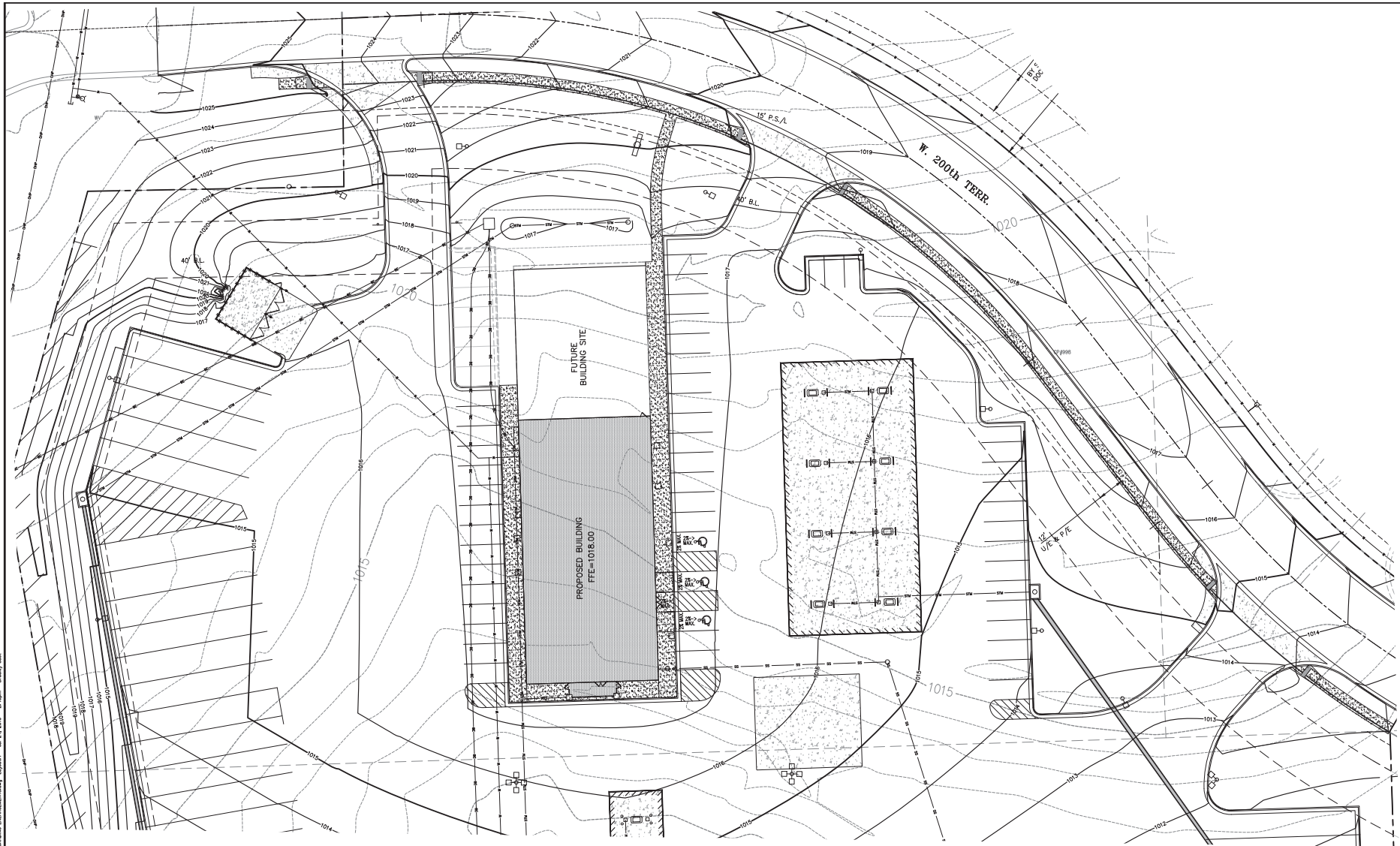


PHILIPS ENGINEERING, INC.  
1001 N. WILSON  
EDGERTON, MO 64425  
TEL: 816-241-1111  
WWW.PHELPSENGINEERING.COM





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- LEGEND**
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - PROPOSED SPOT ELEVATION
  - LG LIP OF GUTTER
  - TC TOP OF CURB
  - SW SIDEWALK
  - ME MATCH EXISTING
  - HP HIGH POINT
  - LP LOW POINT
  - P TOP OF PAVEMENT
  - TE TOP OF STRUCTURE
  - GR GROUND ELEVATION



UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR  
LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN  
THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL  
FIELD LOCATIONS OF UNDERGROUND UTILITIES.



Professional Engineering and  
Surveying Services  
Stanley Gail  
1000 W. 200th Terrace  
Edgerton, KS 66528  
781-235-0000  
www.stanleygail.com



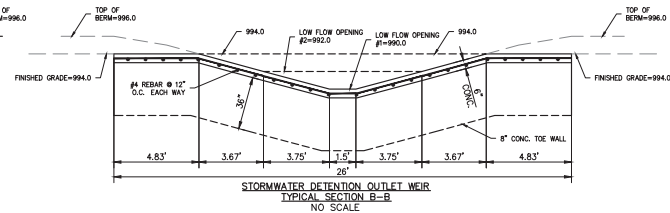
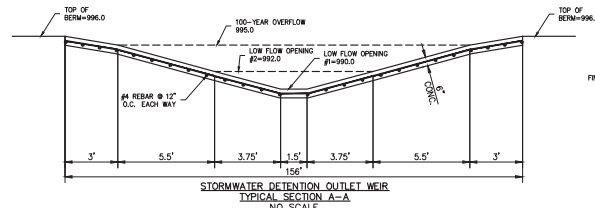
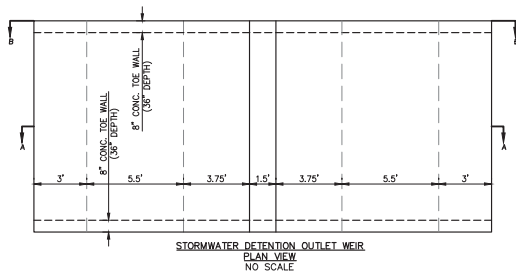
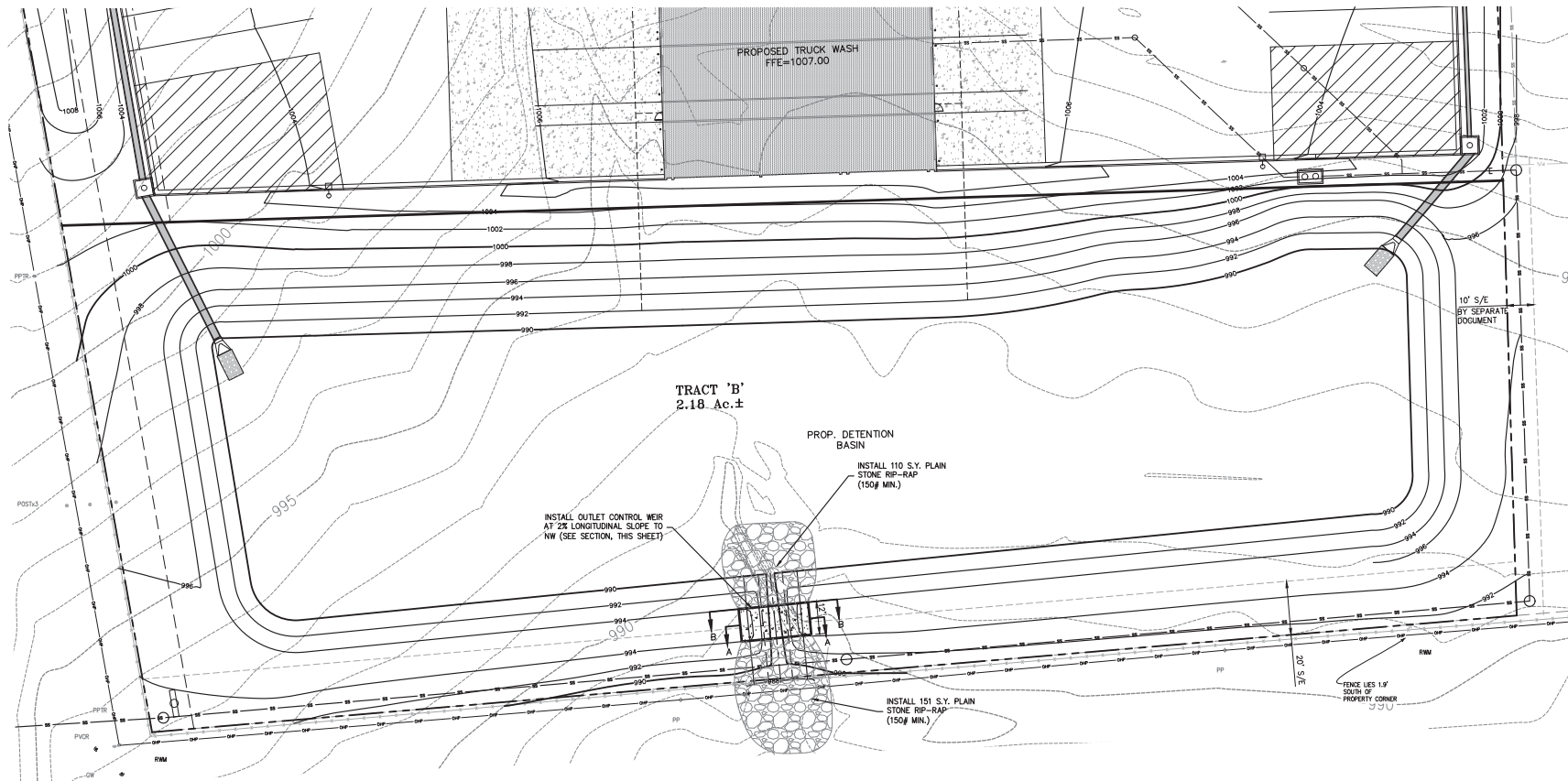
**GRADING PLAN-ENLARGEMENTS**  
ON THE GO-TRAVEL CENTER  
I-35 AND HOMESTEAD LANE  
EDGERTON, JOHNSON COUNTY, KANSAS

NO.	DATE	REVISIONS	BY	CHK
1	7-23-19	REVISED PER STAFF COMMENTS	STG	STG
2				
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SHEET  
**C2.1**



\\V:\GIS\GIS-SERVICES\Projects\10-T155-R222\10-T155-R222.dwg (Project) Plotted: 10/24/2019 2:42pm Plotter: HP-GL/PS2 PLOTTER (AutoCAD) User: jgallagher

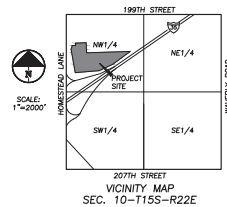


**FLOOD HAZARD:**  
THE SUBJECT PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR COMMUNITY NO. 200156, JOHNSON COUNTY, KANSAS, MAP NO. 20091001340, AND DATED AUGUST 3, 2009.

**ZONING:**  
THIS PROPERTY IS ZONED C-2 (HEAVY SERVICE COMMERCIAL) PER JOHNSON COUNTY AIMS WEBSITE.  
NOTE: THIS SURVEYOR WAS NOT SUPPLIED A ZONING REPORT OR LETTER FOR THIS SURVEY.

**BENCHMARK:** (VERTICAL DATUM = NAVD83 BASED ON JOHN BM# 130.) SQUARE CUT ON TOP OF CURB EAST NOSE OF SOUTHEAST CONCRETE ISLAND AT INTERSECTION OF HOMESTEAD LANE AND 199TH STREET. ELEVATION= 1213.81

BM# 997 = PLUS CUT TOP CURB ON NORTH SIDE OF CONCRETE ENTRANCE TO SUBJECT PROPERTY. ELEVATION=1025.89



#### LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- LG UP OF CUTTER
- TC TOP OF CURB
- SW SIDEWALK
- ME MATCH EXISTING
- HP HIGH POINT
- LP LOW POINT
- P TOP OF PAVEMENT
- TE TOP OF STRUCTURE
- OR GROUND ELEVATION



**UTILITY NOTES:**  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES.

SHEET  
C2.3



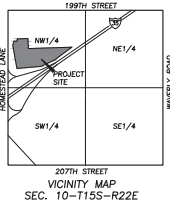
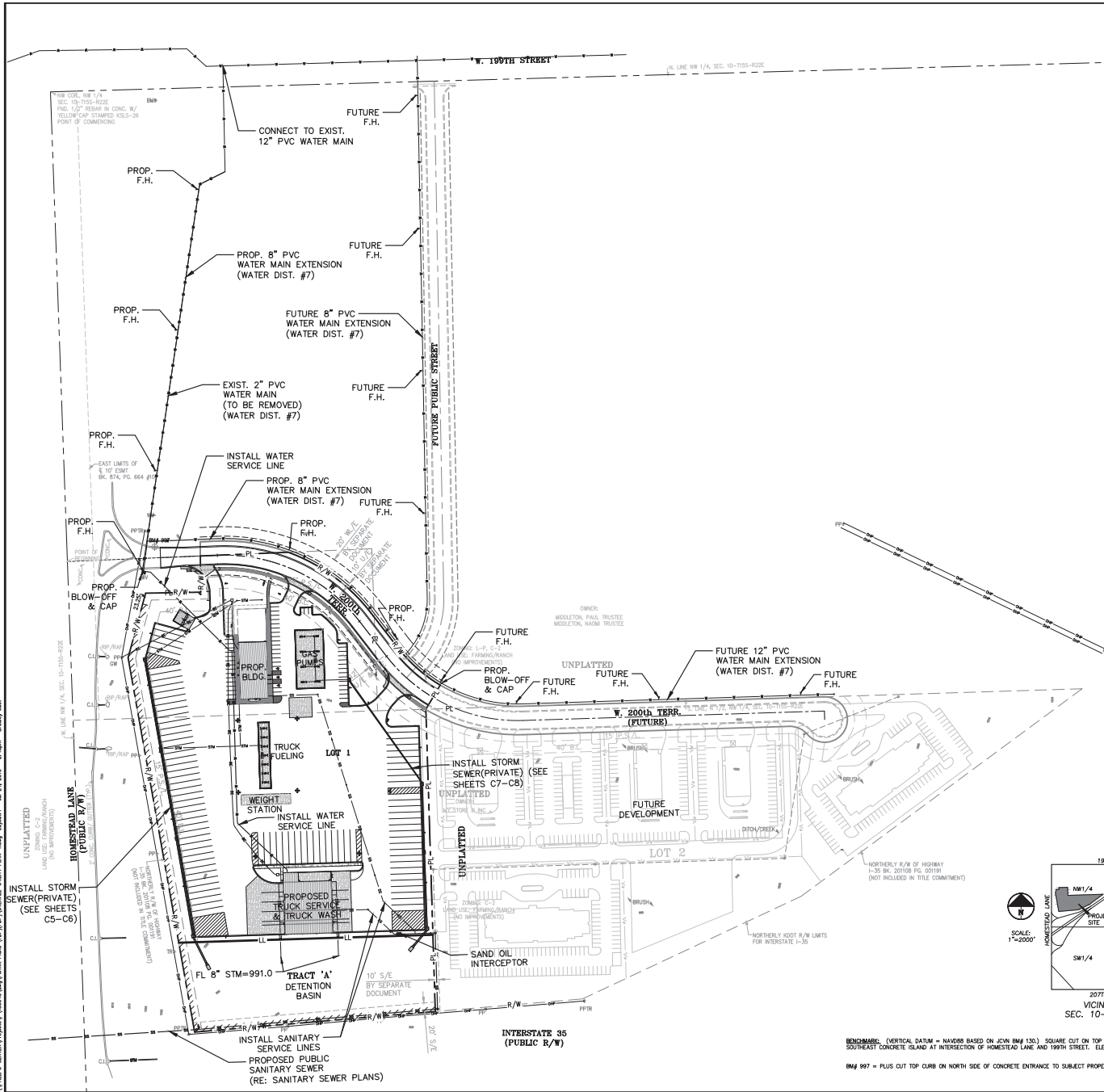
Professional Engineering and  
Surveying  
J. Gallagher  
State of Kansas  
No. 24132  
7-22-19



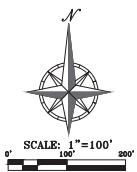
**DETENTION PLAN**  
ON THE GO-TRAVEL CENTER  
I-35 AND HOMESTEAD LANE  
EDGERTON, JOHNSON COUNTY, KANSAS



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- LEGEND**
- PL — PROPERTY LINE
  - LOT LINE
  - R/W — RIGHT-OF-WAY
  - EXISTING GAS LINE
  - EXISTING BURIED ELECTRIC LINE
  - EXISTING TELEPHONE LINE
  - EXISTING SANITARY SEWER LINE
  - EXISTING OVERHEAD POWER LINE
  - EXISTING WATER LINE
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
  - PROPOSED ROOF DRAIN / UNDERDRAIN
  - PROPOSED SANITARY SEWER LINE
  - PROPOSED WATER LINE
  - PROPOSED GAS LINE
  - PROPOSED BURIED ELECTRICAL LINE
  - PROPOSED BURIED TELEPHONE LINE
  - C/O — PROPOSED CLEAN OUT



**UTILITY COMPANIES:**

KANSAS GAS SERVICE CO. (913) 344-8808  
MS. LYN LEE (LLEE@KAS.COM)  
7421 W. 129TH ST. #100  
OVERLAND PARK, KS. 66213

KANSAS CITY POWER AND LIGHT CO. (913) 681-7369  
MS. NANCY MARTIN (NANCY.MARTIN@KCPL.COM) (913) 681-7365-FAX  
P.O. BOX 159  
STILWELL, KANSAS 66085

CITY OF EDGERTON - (SANITARY & STORM) (913) 893-6231-PHONE  
404 EAST NELSON, EDGERTON, KANSAS 66021

WATER DISTRICT NO. 7, JOHNSON COUNTY (913) 856-7375-PHONE  
534 W. MAIN STREET, (913) 856-7173-FAX  
P.O. BOX 7  
GARDNER, KANSAS 66030



**UTILITY NOTES:**  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES.

**BENCHMARK:** (VERTICAL DATUM = NAVD83 BASED ON JOHN BM# 135). SQUARE CUT ON TOP OF CURB EAST NOSE OF SOUTHEAST CONCRETE ISLAND AT INTERSECTION OF HOMESTEAD LANE AND 199TH STREET. ELEVATION=1025.89

BM# 997 = PLUS CUT TOP CURB ON NORTH SIDE OF CONCRETE ENTRANCE TO SUBJECT PROPERTY. ELEVATION=1025.89



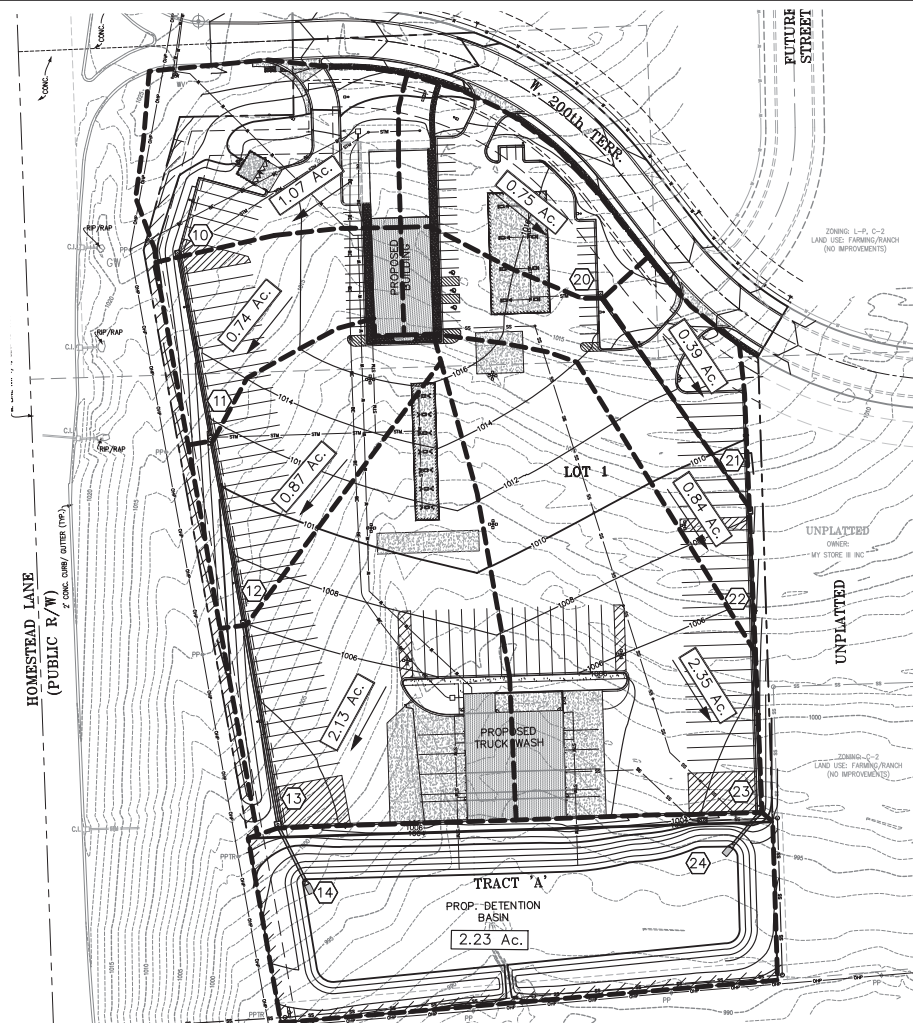
**OVERALL UTILITY PLAN**  
ON THE GO-TRAVEL CENTER  
I-35 AND HOMESTEAD LANE  
EDGERTON, JOHNSON COUNTY, KANSAS

NO.	DATE	REVISION
1	7-23-19	REVISED PER STAFF COMMENTS

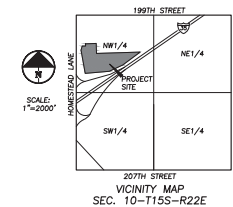
SHEET  
C3







- LEGEND**
- XXXX --- EXISTING CONTOURS
  - XXXX --- PROPOSED CONTOURS
  - XXXX --- DENOTES DRAINAGE AREA
  - XXXX --- DENOTES FLOW DIRECTION
  - X.XX Ac. DENOTES DRAINAGE AREA TO STRUCTURE
  - XX DENOTES STRUCTURE NUMBER



DESIGN CRITERIA: K <sub>0</sub> =1.01; K <sub>01</sub> =1.25; n=0.013 (PO); STORM FREQUENCY=25 YEAR; A1=AREA INLET; J.B=JUNCTION BOX; C.I.=CURB INLET; C.C.=CURB CUT; G.I.=GRATE INLET; HEIGHT OF STRUCTURE=RISE ELEV MINUS FLOWLINE OUT.																								REMARKS		
N U M B E R	S T R U C T U R E	I. RUNOFF								II. PIPE DESIGN																
		INCREMENTAL			CUMULATIVE		SYSTEM TIME OF CONCENTRATION "T" AT STRUCTURE (MIN)			RAINFALL INTENSITY "I" (IN/HR)	ANTECIPATED PRECIPITATION FACTOR "K <sub>01</sub> /K <sub>0</sub> "	RUNOFF "Q <sub>0</sub> " (CFS)	STRUCTURE		PIPE											
		RUNOFF COEFFICIENT "C"	AREA "A" (ACRES)	C=I	AREA "A" (ACRES)	C=I				Upstream Structure Number	Downstream Structure Number	Upstream Structure Rim Elevation	Height of Structure (FT)	Diameter "D" (IN)	Length "L" (FT)	Upstream Invert Elevation	Downstream Invert Elevation	Slope "S" (FT/FT)	Travel Time in Pipe "T" (min)	Velocity Fall V <sub>P</sub> (FPS)	Runoff "Q" (CFS)	Runoff "Q" (CFS)	Full Flow "Q" (CFS)			
1	10	0.90	1.07	0.96	1.07	0.96	5.00	8.53	1.10	9.0	10	11	1015.31	4.00	18	191.99	1011.31	1007.78	0.0184	0.39	8.1	9.0	12.4	14.2		
								10.32	1.25	12.4																
	11	0.90	0.74	0.67	1.81	1.63	5.00	8.53	1.10	15.3	11	12	1011.78	4.20	18	191.98	1007.58	1002.30	0.0275	0.32	9.9	15.3	21.0	17.4		
									10.32	1.25	21.0															
2	12	0.90	0.87	0.78	2.68	2.41	5.00	8.53	1.10	22.6	12	13	1006.37	4.57	24	208.83	1001.80	997.01	0.0229	0.32	11.0	22.6	0.0	34.3		
								12.93	1.25	0.0																
	13	0.90	2.13	1.92	4.81	4.33	5.00	8.53	1.10	40.6	13	14	1003.09	12.38	30	61.31	990.71	990.10	0.0099	0.12	8.4	40.6	8.8	40.9		
									12.93	1.25	0.0															
2	20	0.90	0.75	0.68	0.75	0.68	5.00	8.53	1.10	6.4	20	21	1014.74	4.00	15	268.91	1010.74	1004.57	0.0229	0.56	8.0	6.4	8.8	9.8		
								10.32	1.25	8.8																
	21	0.90	0.99	0.93	1.14	1.03	5.00	8.53	1.10	9.7	21	22	1008.57	4.50	18	144.00	1004.07	1001.06	0.0289	0.28	8.7	9.7	13.3	15.2		
									10.32	1.25	13.3															
2	22	0.90	0.84	0.76	1.98	1.79	5.00	8.53	1.10	16.8	22	23	1005.06	4.20	18	161.41	1000.86	996.82	0.0290	0.28	9.5	16.8	25.1	17.0		
								10.32	1.25	25.1																
2	23	0.90	2.55	2.12	4.33	3.91	5.00	8.53	1.10	36.7	23	24	1003.15	12.62	30	42.57	990.53	990.10	0.0101	0.08	8.4	36.7	50.5	42.2		
								10.32	1.25	50.5																



UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
UNDERGROUND LOCATIONS SHOWN AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES.



Professional Engineering and Surveying  
David L. Hester  
P.E.  
No. 20132  
Exp. 7-22-19

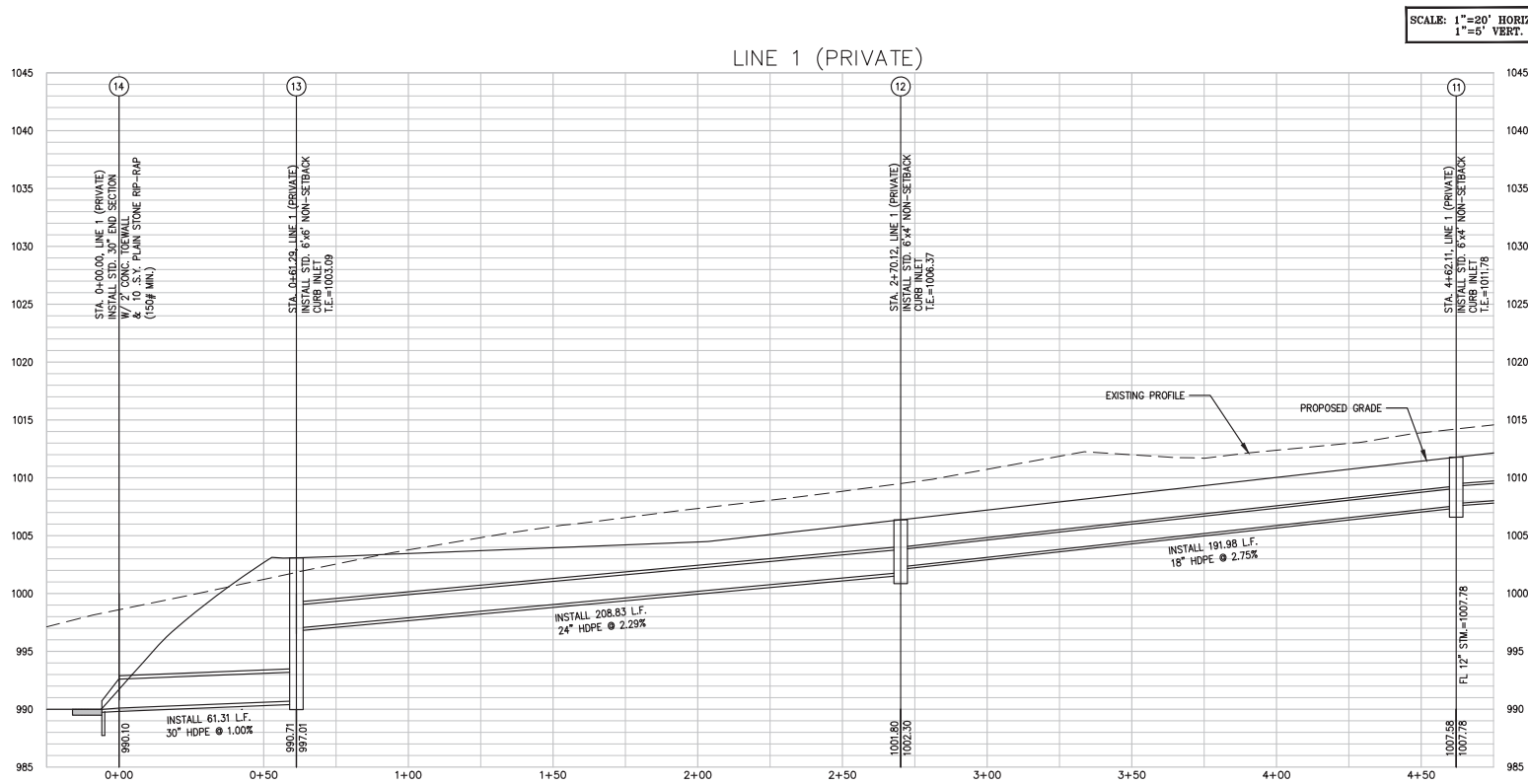
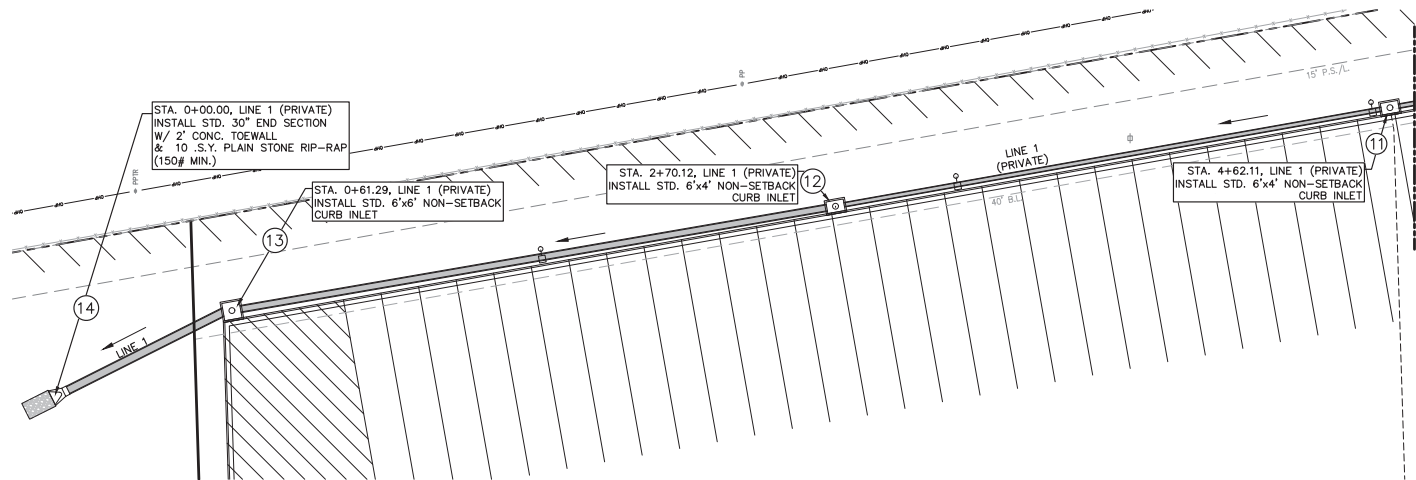


# DRAINAGE MAP

ON THE GO-TRAVEL CENTER  
I-35 AND HOMESTEAD LANE  
EDGERTON, JOHNSON COUNTY, KANSAS

NO.	DATE	REVISION	BY	CHK	APP
1	7-23-19	REVISED PER STAFF COMMENTS			

\\p01pc01-servers\project\p01\000000.dwg [print] Plotter: C:\Program Files\Autodesk\LTPlotter\LTPlotter.ctb User: jld Jul 24, 2019 - 2:46pm Sheet: 5 of 5



UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE SHOWN.  
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR  
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THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL  
FIELD LOCATIONS OF UNDERGROUND UTILITIES.



Professional Engineering and  
Surveying Services  
J. L. Dwyer  
P.E.  
Missouri  
No. 24132  
Exp. 7-22-19



**STORM SEWER PLAN & PROFILE**  
ON THE GO-TRAVEL CENTER  
I-35 AND HOMESTEAD LANE  
EDGERTON, JOHNSON COUNTY, KANSAS

NO.	DATE	REVISIONS
1	7-23-19	REVISED PER STAFF COMMENTS
2		
3		
4		
5		
6		
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8		
9		
10		

SHEET

C5





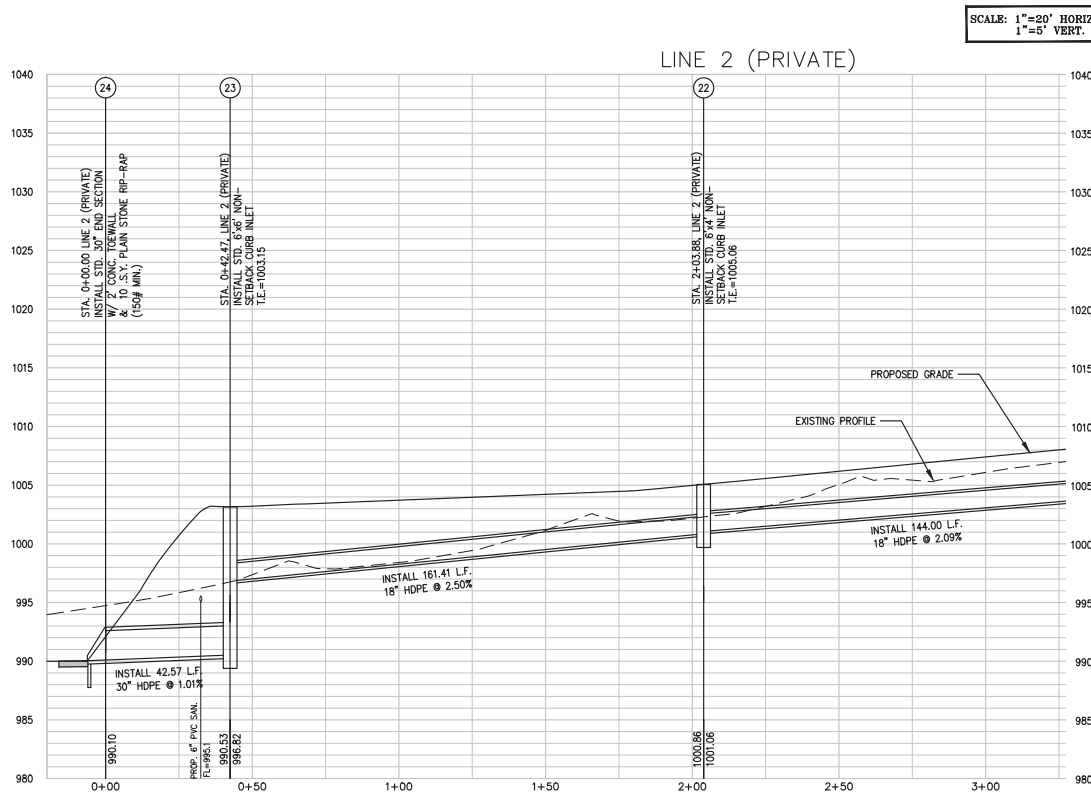
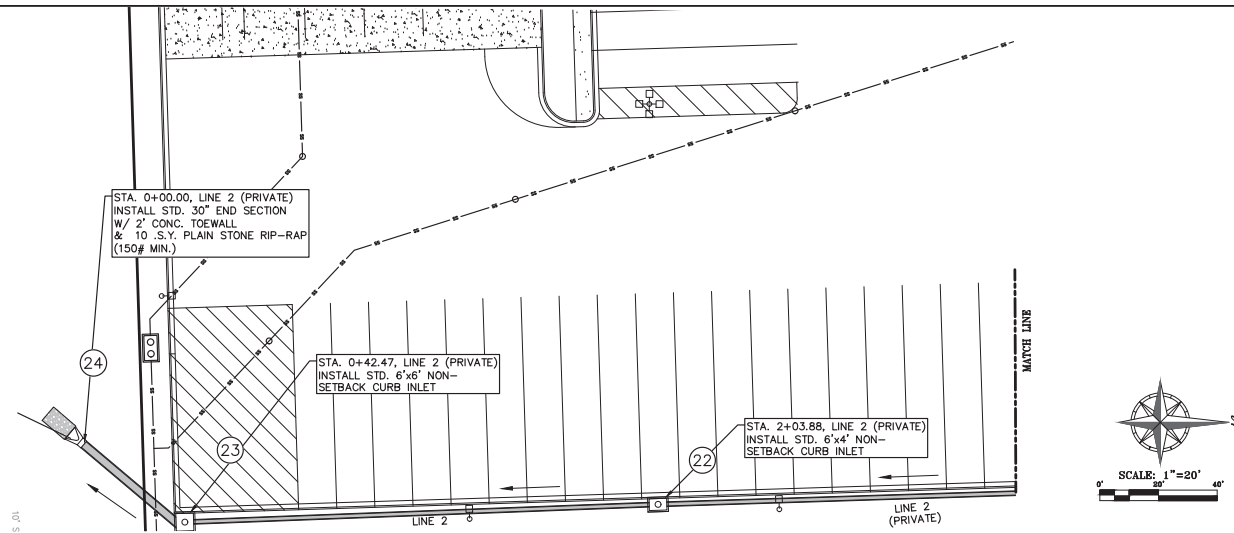
UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
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THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL  
FIELD LOCATIONS OF UNDERGROUND UTILITIES.

[illegible]

**STORM SEWER PLAN & PROFILE**  
ON THE GO-TRAVEL CENTER  
I-35 AND HOMESTEAD LANE  
EDGERTON, JOHNSON COUNTY, KANSAS

PROJECT NO.	180548	Date	Revision:	By
DESIGNED 7-22-19 [SEAL: CHL CHOCED: DAF APPROVED: JOC	1.	7-23-19	REVISED PER STAFF COMMENTS	BAQ JDC
CERTIFICATE OF AUTHORIZATION AND FILING - 1-3-22				
CERTIFICATE OF AUTHORIZATION AND FILING - 1-3-21				
CERTIFICATE OF AUTHORIZATION AND FILING - 202001028				
CONTRACTING - 202002028				

SHEET  
C6



UTILITY NOTES:  
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UNDERGROUND LOCATIONS SHOWN AS FURNISHED BY THEIR  
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THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL  
FIELD LOCATIONS OF UNDERGROUND UTILITIES.



Professional Engineering and  
Surveying  
David L. Hester  
No. 22432  
Exp. 7-22-19  
www.davidlherester.com



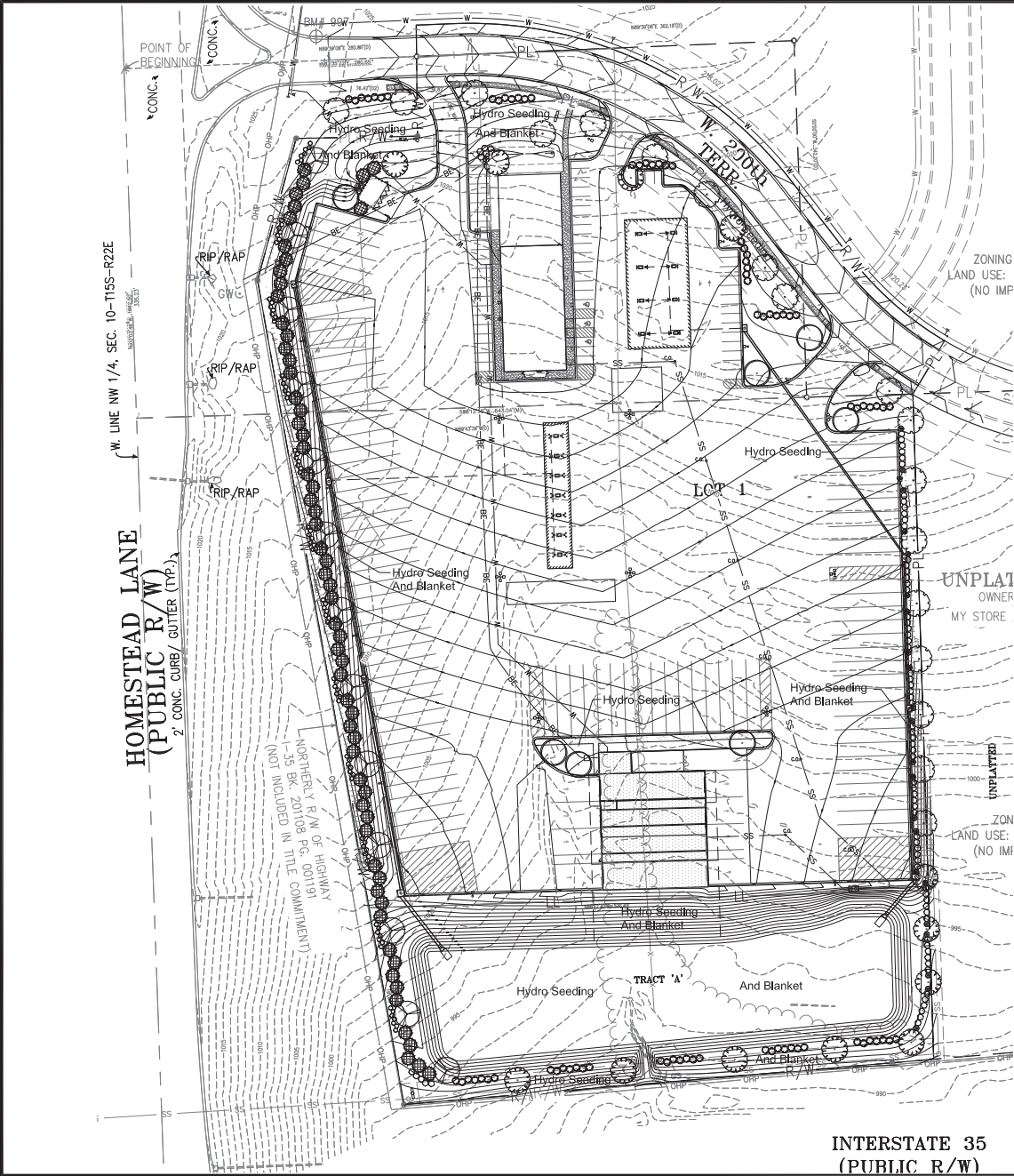
# **STORM SEWER PLAN & PROFILE** ON THE GO-TRAVEL CENTER I-35 AND HOMESTEAD LANE EDGERTON, JOHNSON COUNTY, KANSAS

NO.	DATE	REVISIONS	BY	CHK
1	7-23-19	REVISED PER STAFF COMMENTS	RAJ	DCS
2				
3				
4				
5				
6				
7				
8				
9				
10				









SHEET  
C7







PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	7	Acer platandides 'Superform' / Superform Maple	B & B	2"	cal.
	18	Acer rubrum 'Red Pointe' / Red Pointe Red Maple	B & B	2"	Cal
	63	Juniperus virginiana 'Hillsire' / Hillsire Juniper	B & B		6' hgt.
	13	Quercus bicolor / Swamp White Oak	B & B	2"	Cal
	12	Ulmus americana 'Valley Forge' / American Elm	B & B	2"	cal.
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT		
	84	Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry/Red Chokeberry	3 gal		
	77	Forsythia x Intermedia 'Beatrix Farrand' / Golden-bells	3 gal		
	22	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal		
	76	Rhus aromatica / Fragrant Sumac	3 gal		



**Landscape Plan  
On The Go  
Travel Center**  
Edgerton, Kansas



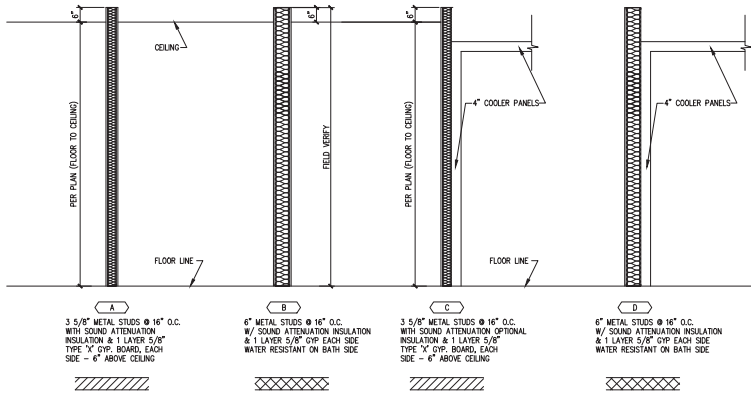
**Oppermann LandDesign, LLC**  
Land Planning & Landscape Architecture  
18000 West 117th Street  
Clerhe, Kansas 66061  
opperrmannlanddesign.com  
paul@opperrmannland.com  
913.894.9407

**INTERSTATE 35  
(PUBLIC R/W)**

Utility Note:  
Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Kansas call 1-800-DIG-SAFE (344-7233) to have utilities located.

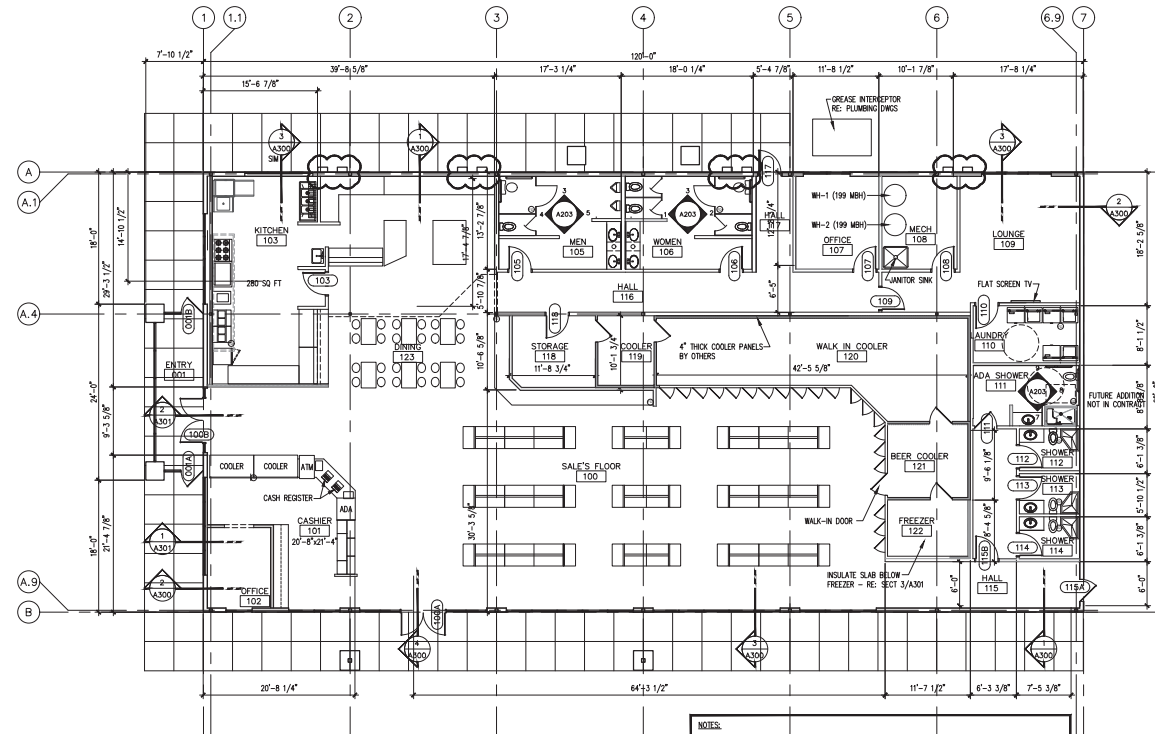
07/23/2019

LS-1



## 2 WALL TYPES

1/2" = 1'-0"



**NOTES:**

ALL DIMENSIONS ARE GIVEN FROM THE FACE OF STUD  
REFER TO SHEET A100 FOR WALL TYPE CONSTRUCTION

CONTRACTOR TO VERIFY ACTUAL FIELD CONDITIONS  
BEFORE PROCEEDING WITH ANY WORK

FURR OUT EXISTING WALLS AND ROCK AS REQUIRED  
DO NOT GO TO DECK DUE TO PLENUM

REFER TO SHEET A100 FOR PARTITION TYPES  
DESIGNATED BY HATCH AND SYMBOL

ALL STOREFRONT WINDOWS ARE TO BE TINTED -  
COLOR PER TENANT - WINDOW TINT IS TO BE  
APPROVED BY THE LANDLORD

MECHANICAL FASTENING TO THE WINDOW SYSTEMS  
IS NOT PERMITTED.

## 1 NEW WORK FLOOR PLAN

1/8" = 1'-0"



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Fax: (913) 780-5088

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Olathe, Kansas 66062  
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1-35 and Homestead  
Edgerton, Kansas 66021

professional seal

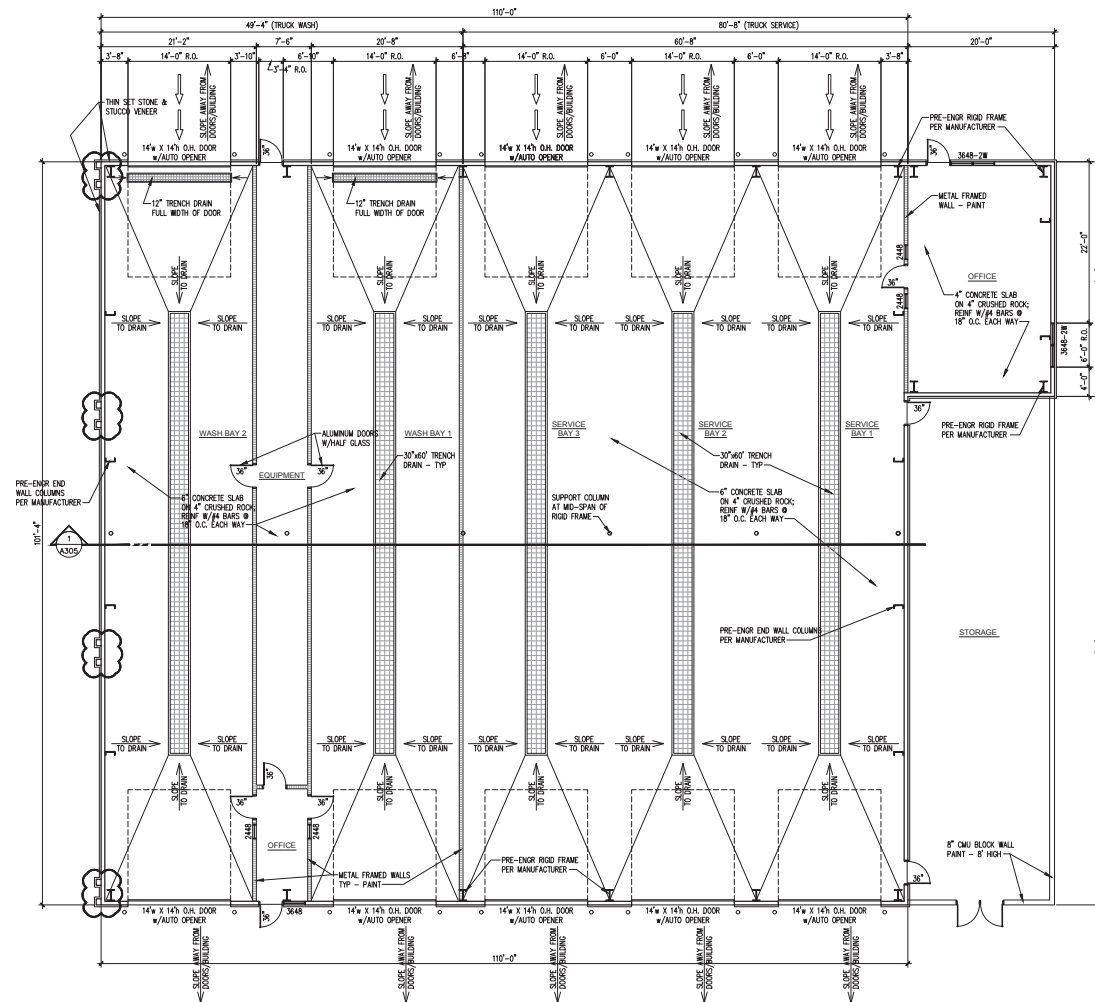
PROJECT NO.: 2019-12  
DATE: 05.13.2019  
DRAWN BY: BCS STAFF  
REVIEWED BY:

REVISED: 07.23.2019

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**1 TRUCK WASH/SERVICE FLOOR PLAN**  
1/8" = 1'-0"

Pricing Set NOT FOR CONSTRUCTION

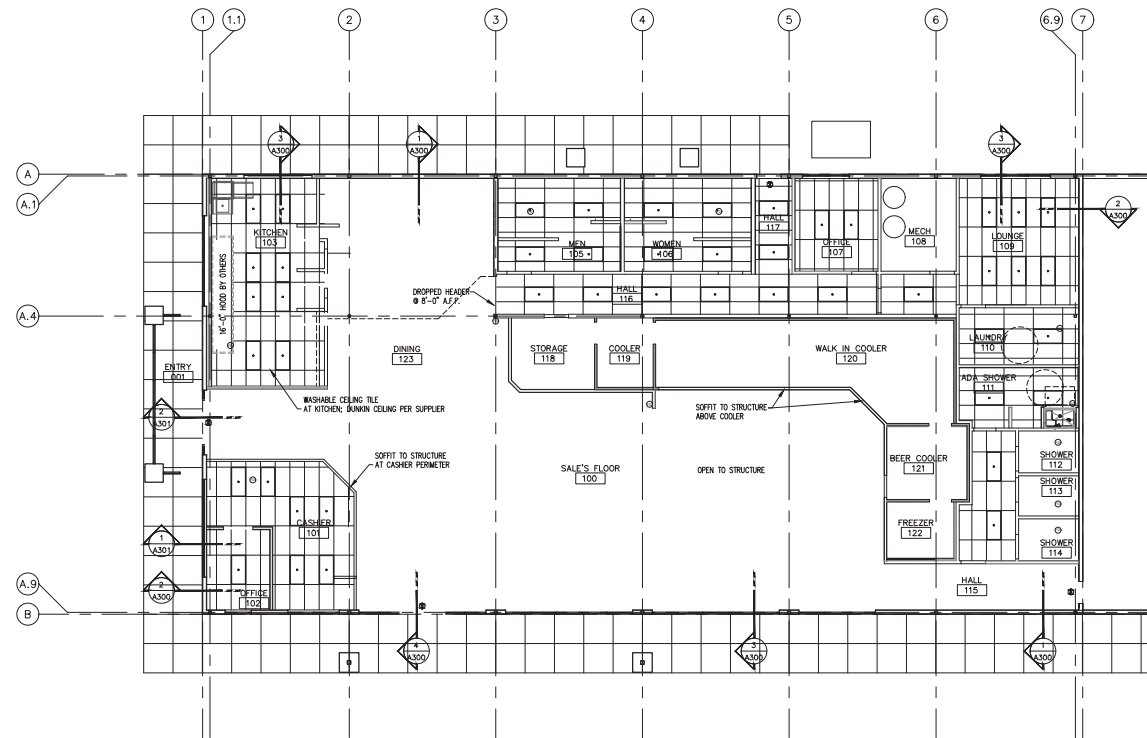
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1 REFLECTED CEILING PLAN  
1/8" = 1'-0"

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On The Go Travel Center  
1-35 and Homestead  
Edgerton, Kansas 66021

PROJECT NO.: 2019-12  
DATE: 05-13-2019  
DRAWN BY: BCS STAFF  
REVIEWED BY:  
REVISED:

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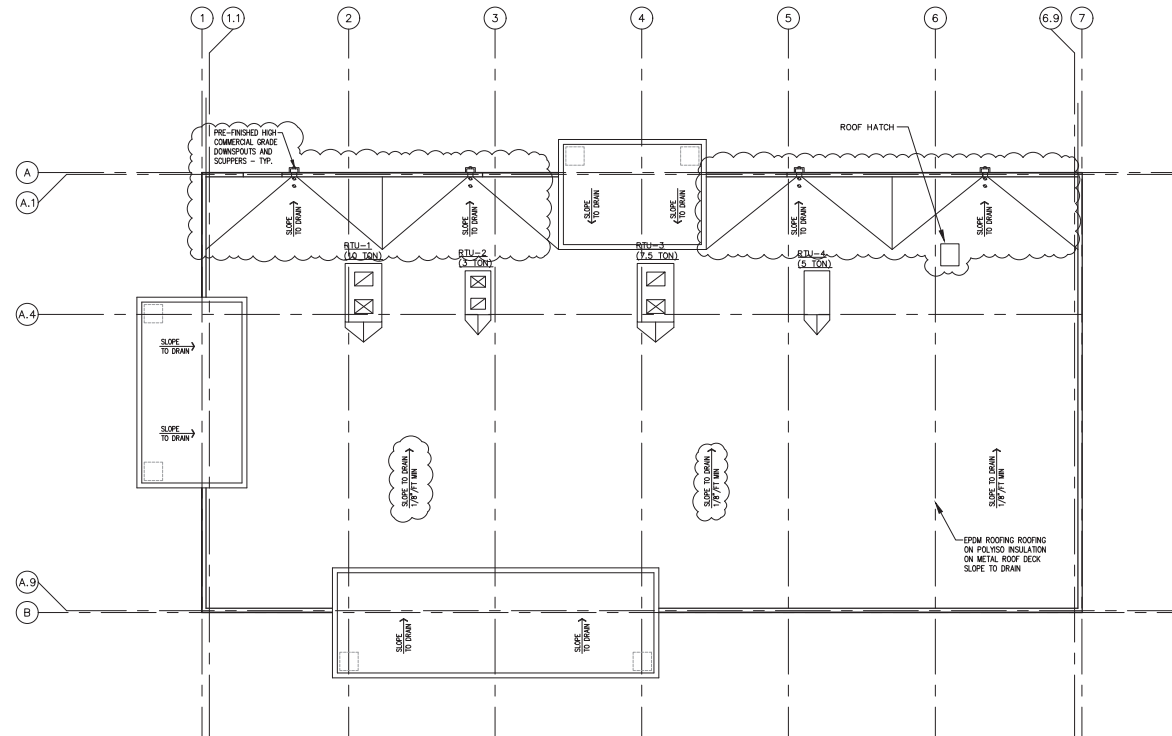




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14955 W 117th Street  
Olathe, Kansas 66062  
(913) 422-5300  
www.kbsci.com



GENERAL ROOF NOTES:

1. IT IS THE RESPONSIBILITY OF THE ROOFING CONTRACTOR COORDINATE EXACT LOCATIONS OF MECHANICAL EQUIPMENT AND OTHER ROOF PENETRATIONS THAT MAY OCCUR.
2. COORDINATE ALL OTHER FLASHING w/ MANUFACTURER'S TYPICAL DETAILS.
3. ROOFING SHALL BE CLASS B OR BETTER
4. ALL FOAM PLASTIC INSULATION SHALL MEET OR EXCEED UL STANDARD 1256 PER IBC 1507.11

COORDINATE LOCATIONS OF MECHANICAL ROOFTOP UNITS. PROVIDE CRICKETS AND FLASHING TO MAINTAIN POSITIVE DRAINAGE TOWARD ROOF DRAINS

1 ROOF PLAN  
1/8" = 1'-0"



Pricing Set NOT FOR CONSTRUCTION

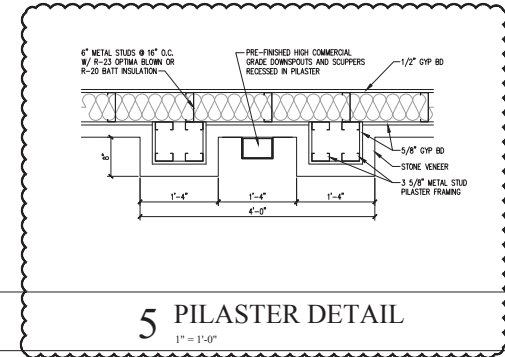
Pricing Set for:  
On The Go Travel Center  
1-35 and Homestead  
Edgerton, Kansas 66021

PROJECT NO. : 2019-12  
DATE : 05.13.2019  
DRAWN BY : BCS STAFF  
REVIEWED BY :

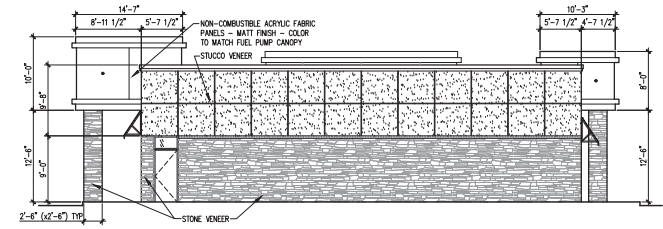
REVISED: 06.25.2019

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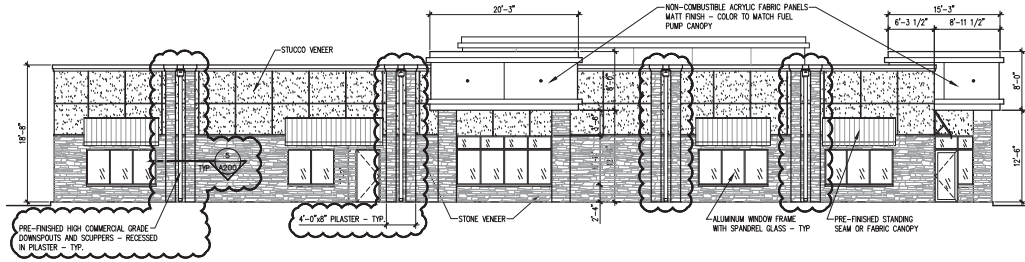
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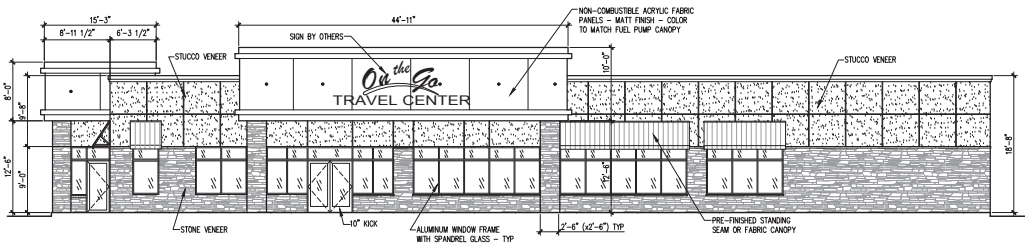
**5 PILASTER DETAIL**  
1" = 1'-0"



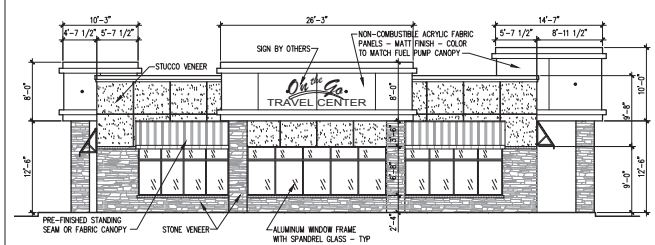
**3 NORTH ELEVATION**  
1/8" = 1'-0"



**4 WEST ELEVATION**  
1/8" = 1'-0"

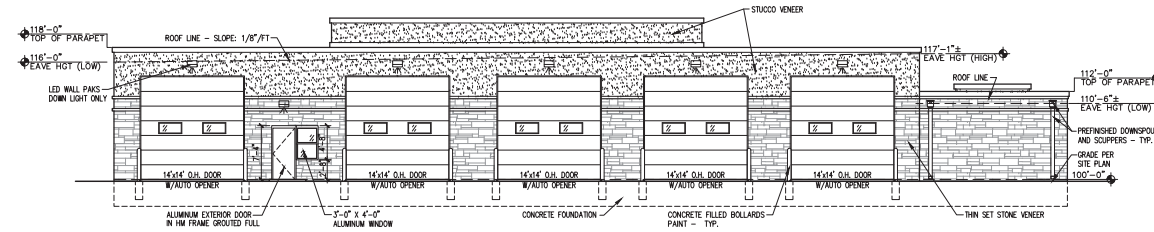


**2 EAST ELEVATION**  
1/8" = 1'-0"

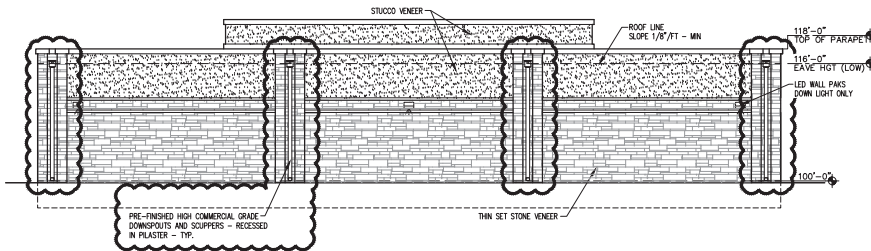


**1 SOUTH ELEVATION**  
1/8" = 1'-0"

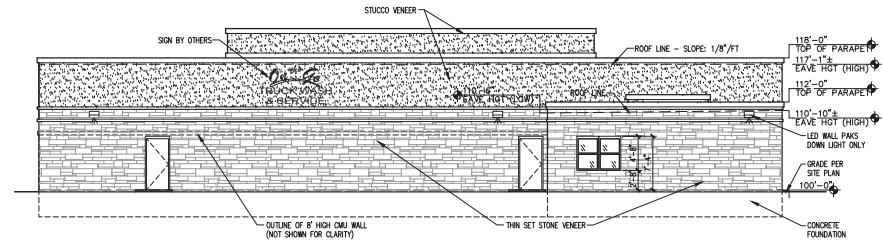
Pricing Set NOT FOR CONSTRUCTION



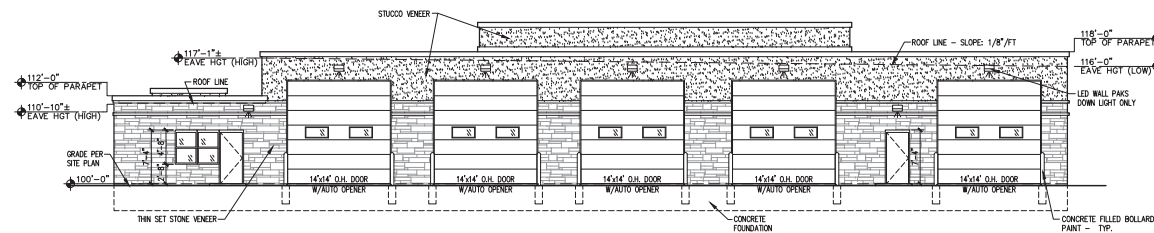
4 EAST ELEVATION  
1/8" = 1'-0"



3 SOUTH ELEVATION  
1/8" = 1'-0"



2 NORTH ELEVATION  
1/8" = 1'-0"



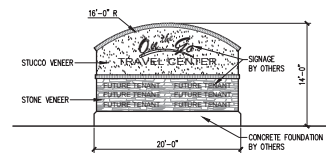
1 WEST ELEVATION  
1/8" = 1'-0"

New Building for:  
**On The Go Truck Wash**  
1-35 and Homestead  
Edgerton, Kansas 66021

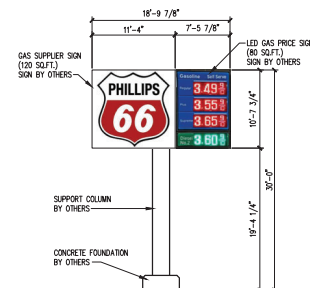
PROJECT NO.: 2019-12  
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REVIEWED BY:  
REVISED: 06.25.2019  
07.23.2019

PROFESSIONAL SEAL  
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**A201**  
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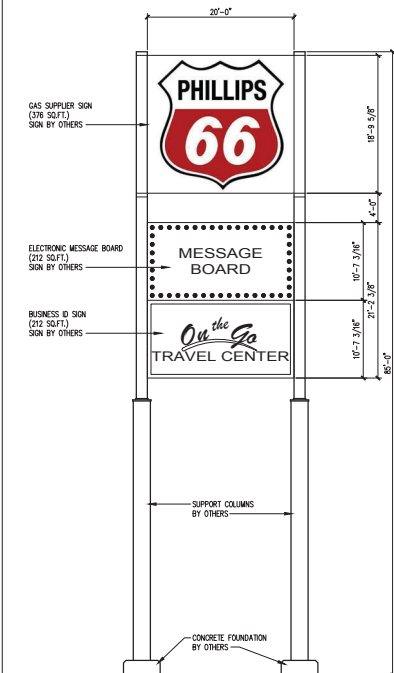
Pricing Set NOT FOR CONSTRUCTION



3 ALTERNATE MONUMENT SIGN  
1/8" = 1'-0"



2 POLE SIGN  
1/8" = 1'-0"



1 HI-RISE SIGN  
1/8" = 1'-0"



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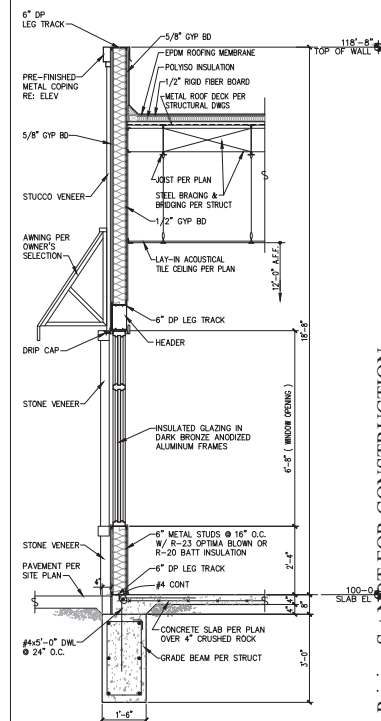
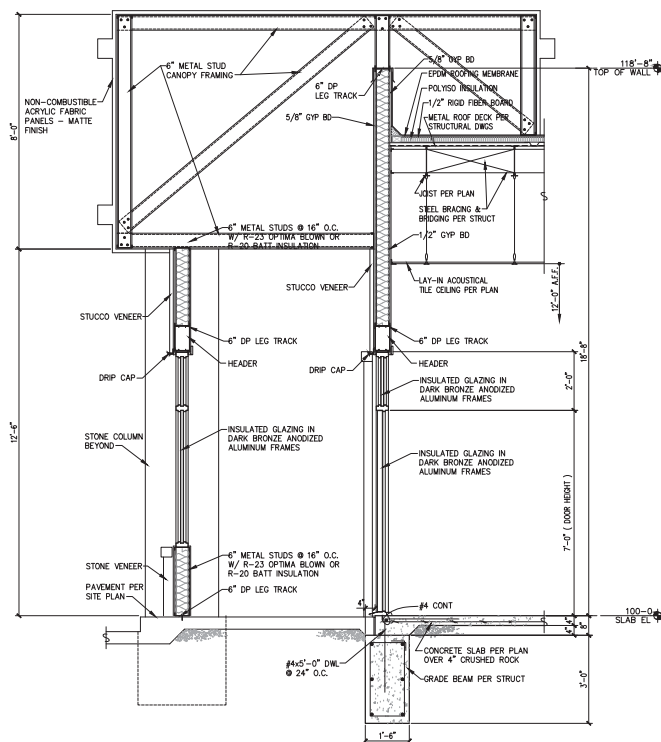
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New Building for:  
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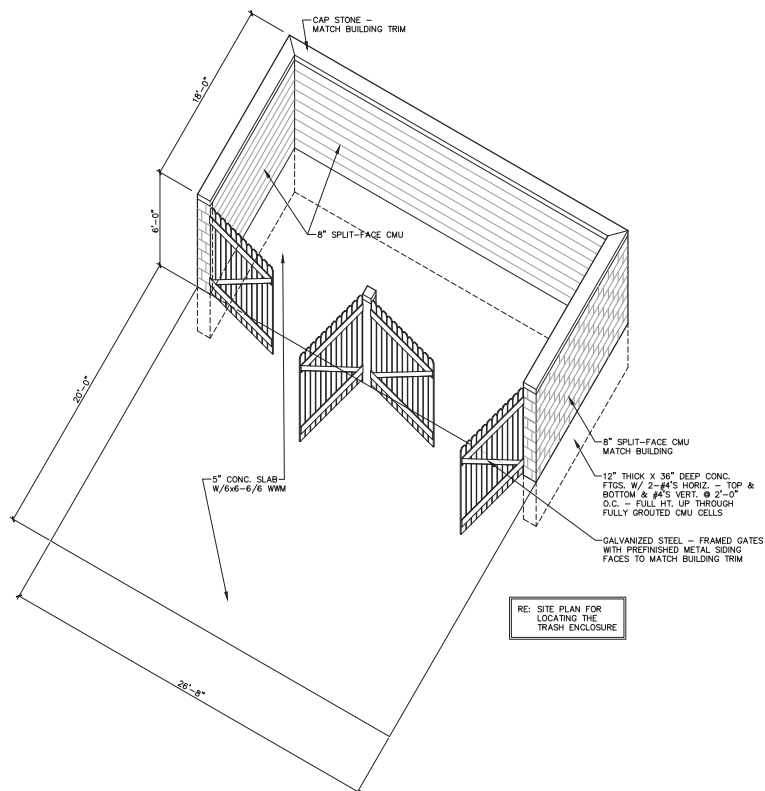
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DRAWN BY :	BCS STAFF
REVIEWED BY :	
REVISED:	06.25.2019

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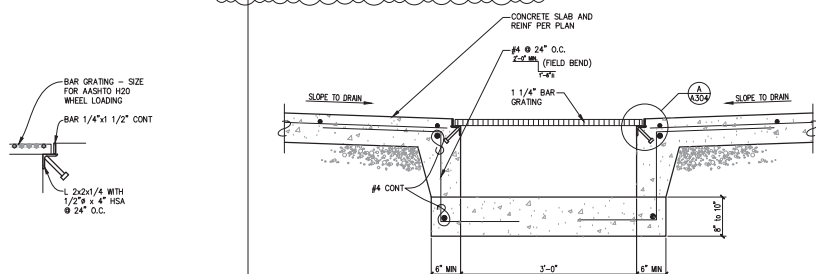
SHEET NO.

**A304**

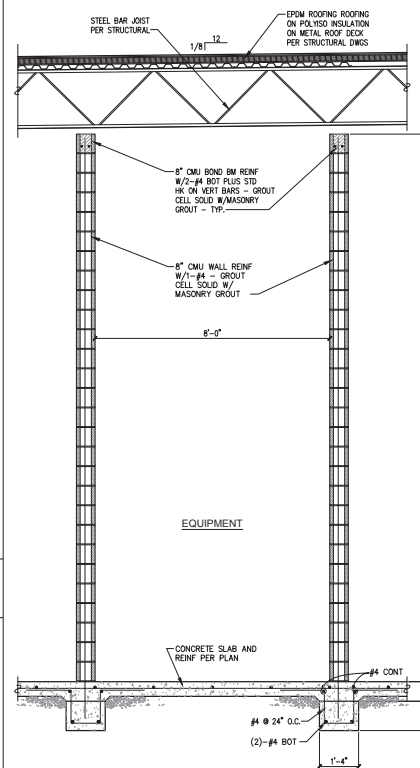
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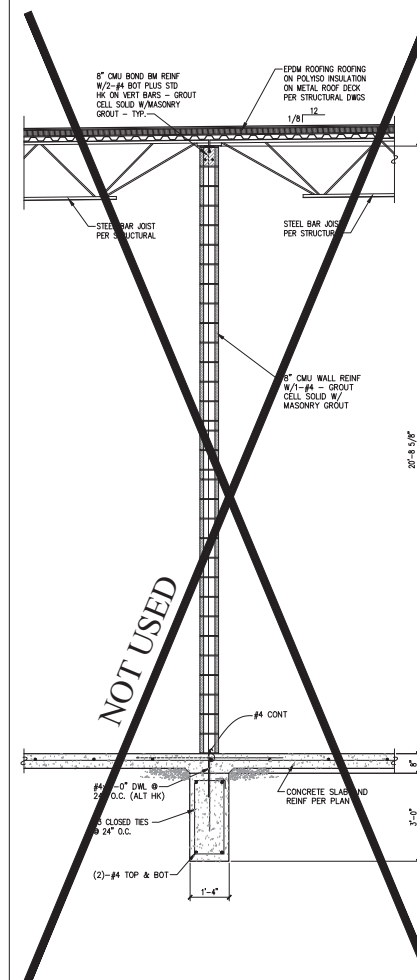
## 4 TRASH ENCLOSURE

$$/41'' = 1'-0''$$


**A** DETAIL  
1 1/2" = 1'-0"

$$1\frac{1}{2}'' = 1'-0''$$


## 2 WALL SECTION

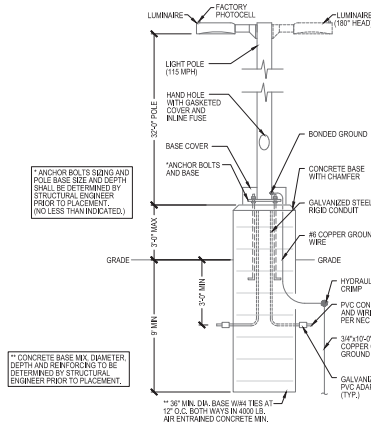
$$1/2'' = 1'-0''$$


# 1 WALL SECTION

$$1/2'' = 1'-0''$$

Pricing Set NOT FOR CONSTRUCTION

**NOT USED**



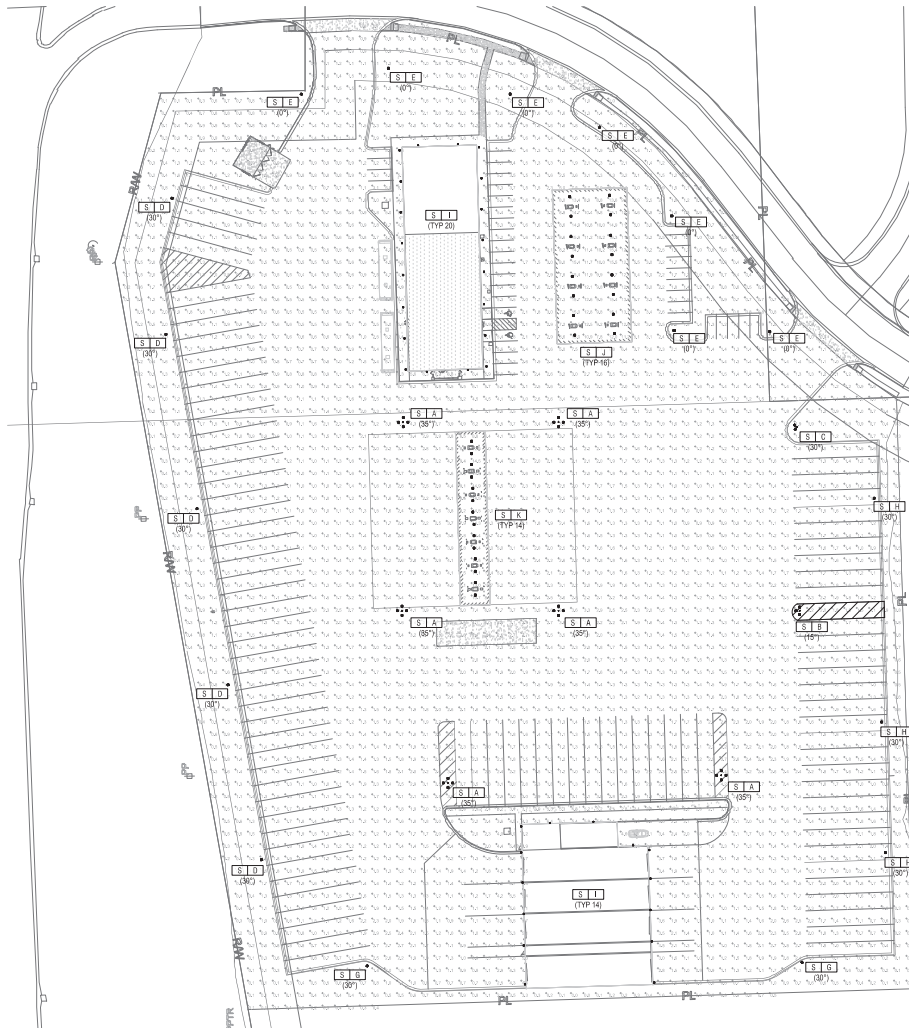
## AREA LIGHT & POLE

NO SCALE

### SITE LIGHT FIXTURE SCHEDULE

TYPE	MANUFACTURER	LAMP	VOLTS WATTS	DESCRIPTION
S I A	VISIONAIRE VLX-1-TSW-192LC-4-4K-UNV-CLS	42W LED (3) (4000°K)	208 604	OWNER SELECTED-SITE LIGHTING PLATFORM QUAD HEAD-BRONZE-DIRECT MOUNT MOUNTED AT 39' AG
S I B	VISIONAIRE VLX-1-TSW-192LC-3-4K-UNV-CLS	20W LED (3) (4000°K)	208 616	OWNER SELECTED-SITE LIGHTING PLATFORM TYPE 1 HEAD-BRONZE-DIRECT MOUNT MOUNTED AT 39' AG
S I C	VISIONAIRE VLX-1-TSW-192LC-3-4K-UNV-CLS	20W LED (2) (4000°K)	208 412	OWNER SELECTED-SITE LIGHTING PLATFORM TWIN HEAD-BRONZE-DIRECT MOUNT MOUNTING AT 39' AG
S I D	VISIONAIRE VLX-1-TSW-192LC-7-4K-UNV-CLS	42W LED (1) (4000°K)	208 421	OWNER SELECTED-SITE LIGHTING PLATFORM SINGLE HEAD-BRONZE-DIRECT MOUNT MOUNTED AT 39' AG
S I E	VISIONAIRE VLX-1-TSW-192LC-7-4K-UNV-CLS	20W LED (1) (4000°K)	208 208	OWNER SELECTED-SITE LIGHTING PLATFORM SINGLE HEAD-BRONZE-DIRECT MOUNT MOUNTED AT 39' AG
S I F	VISIONAIRE VLX-1-T4-192LC-7-4K-UNV-CLS	42W LED (1) (4000°K)	208 421	OWNER SELECTED-SITE LIGHTING PLATFORM SINGLE HEAD-BRONZE-DIRECT MOUNT MOUNTED AT 39' AG
S I H	VISIONAIRE VLX-1-T4-192LC-3-4K-UNV-CLS	20W LED (1) (4000°K)	208 206	OWNER SELECTED-SITE LIGHTING PLATFORM SINGLE HEAD-BRONZE-DIRECT MOUNT MOUNTED AT 39' AG
S I I	HUBBELL NRG-4-30L-4-4K-934BZ	40W LED (1) (4000°K)	208 49	OWNER SELECTED-BUILDING OUTROOF SINGLE HEAD-BRONZE-DIRECT MOUNT MOUNTED AT 14' AG
S I J	HUBBELL NRG-4-30L-4-4K-934BZ	70W LED (1) (4000°K)	208 70	OWNER SELECTED-CANOPY LOWBAY SINGLE HEAD-BRONZE-DIRECT MOUNT MOUNTED AT 18' AG
S I K	HUBBELL NRG-4-30L-4-4K-934BZ	35W LED (1) (4000°K)	208 35	OWNER SELECTED-CANOPY LOWBAY SINGLE HEAD-BRONZE-DIRECT MOUNT MOUNTED AT 18' AG

GENERAL CONTRACTOR HAS SELECTION AUTHORITY OF FIXTURES THAT MEET DESIRED OPERATIONAL AND CONSTRUCTION CHARACTERISTICS. PHOTOMETRIC CALCULATIONS AT 80% LIGHT LUMEN DEPRESSION AND DIRTY LENS FACTOR.



## SITE PHOTOMETRIC PLAN

SCALE: 1"= 50'-0"

### GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, CLEARANCES, DEETS, AND COORDINATE WITH OTHER TRADES PRIOR TO START OF PROJECT WORK AND SUBMIT COORDINATED PROJECT WORK ON SHOP DRAWINGS FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL COORDINATE ALL SERVICE UTILITY WORK WITH UTILITY COMPANY PRIOR TO COMMENCING WORK.
- INSTALLATION SHALL COMPLY WITH LATEST EDITION OF I.E.C. AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION, NFPA, NEC, ALL FEDERAL, STATE AND LOCAL CODE.
- CONTRACTOR SHALL BE LICENSED TO PERFORM WORK IN MUNICIPALITY WHERE PROJECT IS LOCATED, OBTAIN AND PAY FOR ALL PERMIT AND INSPECTION FEES.
- FOR THE PURPOSES OF THIS CONTRACT THE TERM PROVIDE MEANS FURNISH AND INSTALL.

### PLAN NOTES:



### BCS Design, Inc.

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Architectural Firm  
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19947 West 162nd Street,  
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CONSULTING • DESIGN/BUILD

New Building For:  
On The Go Truck Wash  
I-35 and Homestead  
Edgerton, Kansas 66021

PRICING SET  
NOT FOR  
CONSTRUCTION

PROJECT NO.: 134.19.03  
DATE: 05.16.2019  
DRAWN BY: SMP  
REVIEWED BY: JHS

REVISED:

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SHEET NO.

ES1

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Know what's  
underfoot.  
Call before you dig.



UTILITIES ONE-CALL SYSTEM, INC.

UTILITY WARNING:  
In addition to Utility One call, the contractor is required to submittal location services for underground utility, piping, lines, wiring, etc. The contractor is required to take due precautionary measures to locate and protect all underground utilities, etc., prior to the initiation of the actual portion of their work.



EAST ELEVATION

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021





NORTHWEST ELEVATION

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



SOUTH ELEVATION

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



SOUTHEAST ELEVATION

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021





WEST ELEVATION

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021





VIEW OF VEHICLE CANOPY

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



VIEW OF TRUCK CANOPY

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



SOUTHEAST VIEW (FULL VIEW)

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



NORTHEAST VIEW

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021





NORTHEAST VIEW  
(TRUCK WASH & SERVICE)

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



NORTHWEST VIEW  
(TRUCK WASH & SERVICE)

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



SOUTHEAST VIEW  
(TRUCK WASH & SERVICE)

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



SOUTHWEST VIEW  
(HI-RISE SIGN)

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021





NORTHEAST VIEW  
(POLE SIGN)

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



NORTHWEST VIEW  
(ALTERNATE MONUMENT SIGN)

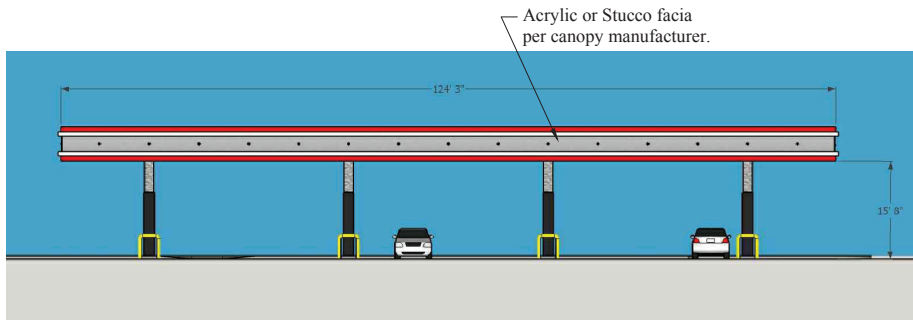
ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



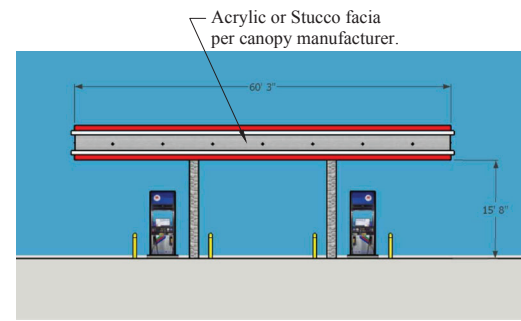
NORTHEAST VIEW  
(TRUCK WASH & SERVICE)

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021





VEHICLE CANOPY - FRONT ELEVATION



VEHICLE CANOPY - END ELEVATION



NOTE:  
Clearance dimension will vary from 14'-0" to 16'-0", but not more than 17'-0" per canopy manufacturer. 15'-8" clear shown on canopy.



VEHICLE CANOPY

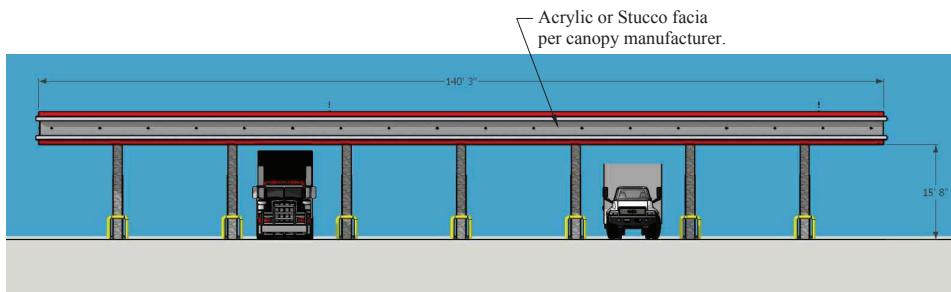
ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



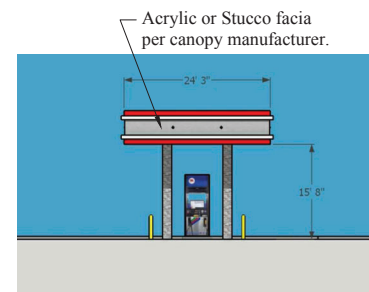


NORTHWEST VIEW  
(TRUCK WASH & SERVICE)

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



TRUCK CANOPY - FRONT ELEVATION



TRUCK CANOPY - END ELEVATION



NOTE:  
Clearance dimension will vary from  
14'-0" to 16'-0", but not more than 17'-0"  
per canopy manufacturer. 15'-8" clear  
shown on canopy.



TRUCK CANOPY

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021



SOUTHWEST VIEW  
(TRUCK WASH & SERVICE)

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021





SOUTHEAST VIEW  
(TRUCK WASH & SERVICE)

ON THE GO TRAVEL CENTER  
I-35 and Homestead  
Edgerton, Kansas 66021