

EDGERTON PLANNING COMMISSION  
REGULAR SESSION AGENDA  
Edgerton City Hall  
October 13, 2020  
7:00 P.M.

Executive Order 20-52 issued by Governor Kelly requires any person in Kansas to cover their mouth and nose with a mask or other face covering when they are in inside any public space such as City Hall. Executive Order 20-52 includes a number of exemptions, including children 5 and younger and those with medical conditions that prevent mask use. The entire executive order may be found here: <https://governor.kansas.gov/executive-order-no-20-52/>

1. Call Meeting to Order

2. Pledge of Allegiance

3. Roll Call

4. **CONSENT AGENDA**

*(Consent Agenda items will be acted upon by one motion unless a Planning Commissioner requests an item be removed for discussion and separate action.)*

**A. MINUTES**

Consideration of the Planning Commission meeting minutes for September 8, 2020.

**B. REVISED FINAL SITE PLAN FOR INLAND PORT XII – APPLICATION FS2020-08**

Consideration of Application FS2020-08 for a Revised Final Site Plan of FS-11-06-2014 and FS2020-02, Inland Port XII located at 30801 W 191<sup>st</sup> Street.

Applicants: Wachter Inc. and NorthPoint Development

Agents: Chris Ewbank, Wachter Inc. and Brett Powell, NorthPoint Development

5. **NEW BUSINESS**

**A. PUBLIC HEARING – PRELIMINARY PLAT FOR FIRE STATION #123 – APPLICATION PP2020-03**

Hold a public hearing in consideration of Application PP2020-03 for a Preliminary Plat located at 33364 W 191<sup>st</sup> Street.

Applicant: Johnson County Fire District #1 and SK Design Group, Inc.

Agent: Deputy Chief Dennis Meyers, JCFD1 and Jonathon Smith, SK Design Group, Inc.

**B. FINAL PLAT FOR FIRE STATION #123 – APPLICATION FP2020-03**

Consideration of Application FP2020-03 for a Final Plat located at 33364 W 191<sup>st</sup> Street.

Applicant: Johnson County Fire District #1 and SK Design Group, Inc.  
Agent: Deputy Chief Dennis Meyers, JCFD1 and Jonathon Smith, SK Design Group, Inc.

**C. PUBLIC HEARING – FINAL SITE PLAN FOR FIRE STATION #123 – APPLICATION FS2020-09**

Hold a public hearing in consideration of Application FS2020-09 for a Final Site Plan located at 33364 W 191<sup>st</sup> Street.

Applicant: Johnson County Fire District #1 and SK Design Group, Inc.  
Agent: Deputy Chief Dennis Meyers, JCFD1 and Jonathon Smith, SK Design Group, Inc.

6. Future Meetings

- Regular Session – November 10, 2020 at 7:00 PM

7. Adjourn



EDGERTON CITY HALL  
PLANNING COMMISSION MEETING  
REGULAR SESSION  
September 8, 2020

The Edgerton Planning Commission met in regular session with Chairperson John Daley calling the meeting to order at 7:00 PM.

All present participated in the Pledge of Allegiance.

The Roll Call was answered, indicating those present were Chairperson John Daley, Commissioner Jeremy Little, Commissioner Tim Berger, and Commissioner Deb Lebakken via telephone. Commissioner Charlie Crooks was absent from the meeting. Also present were Development Services Director Katy Crow and Planning and Zoning Coordinator/City Clerk Chris Clinton.

The Planning and Zoning Coordinator/City Clerk announced a quorum was present.

**CONSENT AGENDA**

**MINUTES**

The approval of the minutes from the Regular Session held on August 11, 2020 were considered.

Commissioner Berger motioned to approve the consent agenda. Commissioner Little seconded the motion. The consent agenda was approved, 4-0.

**NEW BUSINESS**

**PUBLIC HEARING – REZONING FOR 33364 W. 191<sup>ST</sup> STREET – APPLICATION ZA2020-01**

Chairperson Daley introduced the application. Ms. Katy Crow, Development Services Director, stated this property was annexed into the City on March 27, 2014. The rezoning is being requested for a future fire station with truck bays, a bunk house for the fire crew, administrative offices, and meeting rooms. She said the fire station will serve the Logistics Park development along with any residences or commercial developments in the response area. The Burlington Northern Santa Fe Railway (BNSF) intermodal facility is located adjacent to the subject site. Ms. Crow stated the first Phase of Logistics Park Kansas City (LPKC), is a 1,700-acre master-planned distribution and warehouse development anchored by the BNSF Railway intermodal facility, which opened in late 2013. The location of a fire station to LPKC is to provide service delivery in that area of Edgerton along with southeast Johnson County. This fire station will serve Edgerton in conjunction with the current station located near downtown Edgerton.

Ms. Crow explained the subject property is surrounded by BNSF operations to the north and east. There is a developed L-P zoned parcel to the south which contains Inland Port (IP) XXI, UPS. There is also Johnson County zoned RUR parcels to the south and west of the parcel. She stated the parcel is located between the existing 191<sup>st</sup> Street and the vacated section of 191<sup>st</sup> Street. The parcel has frontage along 191<sup>st</sup> Street. Ms. Crow said access will be from 191<sup>st</sup> Street and Water Service will be provided by Johnson County Water District #7. Sanitary sewer will be supplied by the City of Edgerton, electrical service will be from Evergy, Kansas Gas Service will supply gas to the parcel and police service will be provided by the City through the Johnson County Sheriff's Office. The property is located within the Bull Creek Watershed. She explained the parcel retained the Johnson County zoning of RUR

from when it was annexed into the City.

Ms. Crow stated the Unified Development Code (UDC) outlines the purpose of the L-P zoning district, which is what the applicant has requested, is to create a limited multimodal industrial zone that provides for modern type industrial uses or industrial park to support activities related to trade, rail, and other transport services. Limitations are placed on the uses in the district to significantly restrict the outside activities and outside storage of materials, noise, vibrations, and other nuisances. Any activities conducted outside should be screened and buffered, and external effects such as excessive noise or odor should not extend beyond the property lines. Ms. Crow explained a fire station would be an appropriate use for the L-P zoning as it is a support function for the tenants at LPKC, nearby commercial developments and residential buildings.

Ms. Crow informed the Planning Commission that City Staff has reviewed the rezoning application with respect to the UDC, the laws of Kansas, and the "Golden Criteria" as established by the Supreme Court of Kansas in 1978. Ms. Crow outlined City Staff's review for the "Golden Criteria."

1. **Need for the Proposed Change.** The applicant has requested L-P Zoning District designation to support construction of the project. Given the property's proximity to LPKC, BNSF Railway intermodal facility, and Interstate 35 (I-35), L-P Zoning District zoning is the most compatible designation for this use.
2. **Magnitude of the Change.** The existing RUR zoning is considered a holding designation. The Future Land Use Map contained in the Comprehensive Plan has the property designated as appropriate and acceptable for Business Park/Industrial uses. The proposed rezoning is compatible with the spirit and intent of future development outlined by the Comprehensive Plan and depicted by the Future Land Use Map. Due to the property's proximity to LPKC, the BNSF Railway intermodal facility and I-35, the magnitude of the change is not considered extreme or rare when property is being developed for its designated and planned end use, in this case a fire station facility.
3. **Whether or Not the Change Will Bring Harm to Established Property Rights.** The subject property is adjacent to parcels containing L-P and Johnson County RUR zoning designations. If rezoned L-P as requested, a separate Site Plan review and approval will be required before building permits can be issued. Part of a Site Plan review will include attention to buffering and setbacks, stormwater management and transition of uses between adjoining uses and any proposed industrial use. This Site Plan review will help mitigate impacts that might occur to adjacent properties.
4. **Effective Use of Land.** The L-P zoning designation at this location provides for a permitted use which is an effective and efficient use of the property due to its proximity to the BNSF Railway intermodal facility, LPKC, and I-35 where new commercial development is occurring at the Homestead Lane interchange. A fire station will provide a necessary public service to the surrounding community.
5. **The Extent to Which There is a Need in the Community for the Uses Allowed in the Proposed Zoning.** Construction of a fire station in this area allows for increased service delivery to the warehouses at LPKC, commercial development along the Homestead Lane interchange corridor, Big Bull Creek Park, and nearby residences.
6. **The Character of the Neighborhood, Including but not Limited to Zoning, Existing and Approved Land Use, Platting, Density (Residential), Natural Features, and Open Spaces.** Continued development of the area will continue to include intermodal related uses and functions which support them. With extensive, recently completed road improvements and

the interchange at I-35 and Homestead Lane, the character of the area has changed from rural to industrial. The parcel to the north contains the BNSF intermodal facility and the parcel to the south contains Inland Port XXI where UPS is located. An undeveloped parcel to the south contains an RUR designation. However, all development occurring in the immediate area has occurred on parcels containing an L-P zoning designation.

7. **Compatibility of the Proposed Zoning and Uses Permitted Therein with the Zoning and Uses of Nearby Properties.** The proposed zoning is compatible with the existing development to the north, south, and east. The undeveloped parcels to the south and west contain a RUR zoning designation. As is noted in the Future Land Use Map for this area, this area is designated as appropriate and acceptable for Business Park/Industrial uses. The City's UDC states that the purpose of the L-P District is to create a limited multimodal industrial zone which provides for modern types of industrial uses or an industrial park. Limitations are placed on uses in the district to significantly restrict outside activities and the outside storage of materials, noise, vibration, and other nuisances. The Site Plan review process can mitigate impacts to adjacent properties with proper attention to buffering and setbacks, stormwater management, and transition of uses.
8. **Suitability to the Uses to Which the Property Has Been Restricted Under its Existing Zoning.** The existing Johnson County RUR zoning of the applicant property is not suitable for the proposed fire station facility use sought by the applicant. The Johnson County RUR zoning is primarily for single family rural residential. This type of use on a property annexed by the City, but zoned for agriculture, would not be compatible or appropriate. Therefore, a rezoning to the L-P district is the most appropriate designation for the proposed use.
9. **Length of Time the Subject Property has Remained Vacant Under the Current Zoning Designation.** Based upon available aerial photography, the property was vacant land with a possible agricultural use in unincorporated Johnson County, prior to its annexation into the City in 2014.
10. **The Extent to Which the Zoning Amendment may Detrimentially Affect Nearby Property.** A fire station facility is a public service entity which provides a much-needed emergency response function to the community. The proposed zoning is compatible with the uses occurring on the surrounding properties. The City's UDC states that the purpose of the L-P District is to create a limited multimodal industrial zone which provides for modern types of industrial uses or an industrial park. Limitations are placed on uses in the district to significantly restrict outside activities and the outside storage of materials, noise, vibration, and other nuisances. The Site Plan review process can mitigate impacts to adjacent properties with proper attention to buffering and setbacks, stormwater management, and transition of uses.
11. **Consideration of Rezoning Applications Requesting Planned Development Districts (PUD) for Multifamily and Non-residential Uses Should Include Architectural Style, Building Materials, Height, Structural Mass, Siting, and Lot Coverage.** This application is not a request for a PUD.
12. **The Availability and Adequacy of Required Utilities and Services to Serve the Uses Allowed in the Proposed Zoning. These utilities and Services Include, but are not Limited to, Sanitary and Storm Sewers, Water, Electrical and Gas Service, Police and Fire Protection, Schools, Parks and Recreation Facilities and Services, and other Similar Public Facilities and Services.** The subject property is located on 191<sup>st</sup> Street. This street is a heavyweight corridor roadway which has the capacity to support development of the property. Utilities will be provided by the developer or the City in conjunction with development.
13. **The Extent to Which the Uses Allowed in the Proposed Zoning Would Adversely Affect the Capacity or Safety of that Portion of the Road Network Influenced by the**

**Uses, or Present Parking Problems in the Vicinity of the Property.** 191<sup>st</sup> Street is designated as a heavyweight corridor roadway and it is improved to a standard which can accommodate industrial development traffic in the area including large fire apparatus and emergency equipment. There are no known functional or safety issues occurring with the surrounding transportation network.

14. **The Environmental Impacts that the Uses Allowed in the Proposed Zoning Would Create (if any) Including, but not Limited to, Excessive Storm Water Runoff, Water Pollution, Air Pollution, Noise Pollution, Excessive Nighttime Lighting or Other Environmental Harm.** The City will follow National Pollutant Discharge Elimination System (NPDES) guidelines and stormwater management requirements which require any application to address runoff and water pollution mitigation measures as part of the development of the property. Mitigation of pollution in the form of air, noise, light, and other pollutants will be addressed as part of the Site Plan review process.
15. **The Economic Impact on the Community from the Uses Allowed in the Proposed Zoning.** A fire station provides a much-needed public service to the community in a positive way. Emergency response times will be diminished with a fire station in the area and this in turn positively impacts the community.
16. **The relative gain (if any) to the Public Health, Safety, and Welfare From a Denial of the Rezoning Application as Compared to the Hardship Imposed Upon the Rezoning Applicant From Such Denial.** There would be little relative gain, if any, to the public health, safety, and welfare from the denial of this zoning application. However, the City would be adversely impacted due to the loss of a valuable community service related to emergency and fire response activities.
17. **Consistency with the Comprehensive Plan, Capital Improvement Plan, Ordinances, Policies, and Applicable City Code of the City of Edgerton.** The Comprehensive Plan for the City has the area which the property is in designated as appropriate for zoning and uses associated with business park and industrial zoning. City Staff believes that the requested rezoning is compatible with the spirit and intent of future development outlined in the Comprehensive Plan and Future Land Use Map.
18. **The Recommendation of Professional Staff.** City Staff recommends approval of the proposed rezoning of the subject property from Johnson County RUR, to the City of Edgerton Logistics Park District (L-P) with the following stipulations:
  - a. All infrastructure requirements of the City shall be met,
  - b. All platting requirement of the City shall be met,
  - c. All Site Plan application requirements of the City shall be met,
  - d. And prior to issuance of building permits, the property shall be developed with a Site Plan reviewed and approved by the City.

Deputy Chief Dennis Meyers, Johnson County Fire District #1, said the fire department likes to get to everything in LPKC in under five (5) minutes, but they currently are unable to do that with the current locations of their stations. He explained the District's headquarters will be moved to this facility as well and this new station will also serve the residential area of Edgerton as it is the closest to back up the current location in downtown Edgerton. Chairperson Daley inquired to where the current location of the District's headquarters is. Deputy Chief Meyer answered it is in New Century.

Chairperson Daley opened the public hearing. No public comments were made. Commissioner Berger motioned to close the public hearing. Commissioner Little seconded the motion. The public hearing was closed, 4-0.

Commissioner Berger motioned to recommend approval of the rezoning of **Application ZA2020-01**, 33364 W 191<sup>st</sup> Street from Johnson County RUR to City of Edgerton L-P to the Governing Body. Commissioner Lebakken seconded the motion. Application ZA2020-01 was approved, 4-0. Ms. Crow stated this will now go before the Governing Body on October 8, 2020. She explained the reason for the date being next month is due to the protest petition timeframe of fourteen (14) days.

### **FUTURE MEETING**

The next Planning Commission meeting is scheduled for October 13, 2020 at 7:00 PM. Ms. Crow explained there is a Final Site Plan and Plat applications regarding the same parcels the rezoning case that was just passed will be presented to the Planning Commission.

### **ADJOURNMENT**

Motion by Commissioner Berger to adjourn the meeting, Commissioner Little seconded. Motion was approved, 4-0. The meeting was adjourned at 7:22 PM.

Submitted by Chris Clinton, Planning and Zoning Coordinator/City Clerk

## STAFF REPORT

October 13, 2020

To: Edgerton Planning Commission  
Fr: Chris Clinton, Planning and Zoning Coordinator  
Re: **FS2020-08** Revised Final Site Plan for FS-11-06-2014 and FS2020-02 *Logistics Park*  
*Kansas City – Southeast Fourth Plat* (IP XII) located at 19351 Montrose Street

### **APPLICATION INFORMATION**

|                                       |   |
|---------------------------------------|---|
| <b>Applicant:</b>                     | Chris Ewbank<br>Wachter Inc., Agent<br>16001 W 99 <sup>th</sup> Street<br>Lenexa, KS 66219                |
| <b>Property Owner:</b>                | NPD Management<br>Brett Powell, Agent<br>4825 NW 41 <sup>st</sup> Street, Apt. 500<br>Riverside, MO 64150 |
| <b>Requested Action:</b>              | Revised Final Site Plan approval for IP XII   |
| <b>Legal Description:</b>             | Logistics Park Kansas City – Southeast Fourth Plat  |
| <b>Site Address/Location:</b>         | 19351 Montrose Street Edgerton, KS 66021  |
| <b>Existing Zoning and Land Uses:</b> | L-P   |
| <b>Existing Improvements:</b>         | Warehouse   |
| <b>Site Size:</b>                     | Approximately 30.96 Acres   |

### **INFRASTRUCTURE AND SERVICES**

Access to the property is as follows:

- One (1) entrance from 191<sup>st</sup> Street,
- Two (2) entrances from Montrose Street, and
- One (1) from 193<sup>rd</sup> Street.

Walmart, formerly known as Jet.com, occupies the majority of the building, with the south east corner being utilized by the Learning and Career Center. The only property access not used specifically for Walmart is the one off of 193<sup>rd</sup> Street.

The parcel is located within the Bull Creek watershed with utilities and service providers as follows:

- Water - Johnson County Water District #7
- Sanitary Sewer - City of Edgerton
- Electrical Service - Kansas City Power & Light
- Gas Service – Kansas Gas Service
- Police service is provided by the city of Edgerton through the Johnson County Sheriff's Office.
- Fire protection is provided by Johnson County Fire District #1.

### Subject Property



## **PROJECT DESCRIPTION**

Application FS2020-08 requests approval for a Revised Final Site Plan at IP XII. This request amends Final Site Plan FS-11-06-2014, approved on December 9, 2014, and Final Site Plan FS2020-02, approved on April 14, 2020. The project is located at the northeast corner of 193<sup>rd</sup> Street and Montrose Street in Edgerton, Kansas.

Walmart has recently acquired Jet.com. As part of the acquisition, the tenant is doing extensive upgrades to their IT equipment. Walmart has constructed a new IT room within the warehouse. As part of the improvements, a back-up generator for this IT room is proposed for installation on the west side of the building. This side does have frontage along Montrose Street. The proposed generator is to be fully screened by a vinyl fence. Applicant states the color it to match the façade of the building. The generator enclosure measures twenty-six (26) feet long by sixteen (16) feet wide with a height of twelve (12) feet.

## **FINAL SITE PLAN REVIEW**

Staff has reviewed the Final Site Plan submittal for compliance with the requirements of Article 10, *Site Plans and Design Standards* and Section 5.2, *L-P Logistics Park District* of the Edgerton Unified Development Code (UDC). Review comments are listed below.

### **Article 10 – Section 10.1 – Site Plan**

- a. The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right-of-way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. Include type of screening that will be used around equipment. *The generator is along a building frontage that faces public right-of-way. Applicant has indicated that 12' vinyl fencing enclosure is of a sufficient height to screen the equipment. City Staff will continue to monitor the project development to ensure proper screening of all equipment is provided. Applicant acknowledges that the generator must be fully screened from public view.*

### **Article 5 – Section 5.2 – Subsection O – Landscape Standards**

- a. Fencing. All fencing visible from a public right-of-way shall be either masonry of a type and style complementary to the primary materials of the building, wrought iron, decorative metal, living plan material or a combination of these. Fencing containing barbed wire, razor wire, or an equivalent shall be prohibited where adjacent to a residential use or visible from a public right-of-way. No fencing visible from a public right-of-way shall be located within a Parkway Buffer or a Right-of-Way Buffer as described in this Section. *The fencing proposed is vinyl and not masonry. The color of the vinyl fencing is to be complementary to the façade of the building and allows adequate airflow for the enclosed equipment. Applicant has indicated that the fencing will be of a sufficient height to fully screen the generator. The proposed vinyl fencing in lieu of masonry or metal options is an acceptable alternative material. The vinyl must be solid to ensure full screening of the generator equipment.*

## **OTHER COMMENTS**

1. The location of exterior equipment shall not obstruct Fire Access doors or the exit discharge. *They appear to be compliant on the plans but will need to be site verified by Johnson County Fire District #1. Applicant acknowledges.*



## **RECOMMENDATION**

City staff recommends **approval** of **FS2020-08** Revision to Final Site Plan FS-11-06-2014 and FS2020-02 Final Site Plans for IP XII, subject to compliance with the following stipulations:

1. The staff recommendations and comments noted related to the screening discussed in this Staff Report are included as stipulations as part of approval of this Final Site Plan.
2. Anything done as an exterior building modification must comply with the Edgerton Unified Development Code and it is the building owner's ultimate responsibility to ensure code compliance. This includes securing a building permit.
3. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument.
4. The owner, prior to the issuance of any development permit, shall sign all site plans and submit full size renderings to the City for any sheets which have been revised by this application FS2020-09. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein and be signed by the owner.

## **ATTACHMENTS**

- Application for FS2020-08
- Final Site Plan FS2020-08

☐ PRELIMINARY SITE PLAN☐ FINAL SITE PLAN☐ REVISED SITE PLAN☐ RE-REVIEW

PROJECT NAME: \_\_\_\_\_

LOCATION OR ADDRESS OF SUBJECT PROPERTY: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_

CURRENT ZONING ON SUBJECT PROPERTY: \_\_\_\_\_ CURRENT LAND USE: \_\_\_\_\_

TOTAL AREA: \_\_\_\_\_ ACRES      NUMBER OF LOTS: \_\_\_\_\_ AVG. LOT SIZE: \_\_\_\_\_ Sq. Ft.

DEVELOPER NAME(S): \_\_\_\_\_ PHONE: \_\_\_\_\_

COMPANY: \_\_\_\_\_ EMAIL: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_  
Street City State Zip

PROPERTY OWNER NAME(S): \_\_\_\_\_ PHONE: \_\_\_\_\_

COMPANY: \_\_\_\_\_ EMAIL: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_  
Street City State Zip

ENGINEER NAME(S): \_\_\_\_\_ PHONE: \_\_\_\_\_

COMPANY: \_\_\_\_\_ EMAIL: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_  
Street City State Zip

SIGNATURE OF OWNER OR AGENT: \_\_\_\_\_

If not signed by owner, authorization of agent must accompany this application.

NOTE: Two (2) 34"x42" paper copies plus an electronic copy of the site plan must accompany this application for staff review. All Site Plan requirements may be found in Article 10 of the Edgerton Unified Development Code (UDC).

Applicant is to provide the legal description electronically as a Word document to the City of Edgerton.

**FOR OFFICE USE ONLY**

Application No.: \_\_\_\_\_ Application Fee Paid: \$ \_\_\_\_\_ Date Paid: \_\_\_\_\_ Receipt #: \_\_\_\_\_

Publication Fee Paid: \$ \_\_\_\_\_ Date Paid: \_\_\_\_\_

Received By: \_\_\_\_\_

## SITE PLAN INSTRUCTIONS

**SUBMITTAL DEADLINE:** The applicant shall submit an application at least forty-five (45) calendar days prior to the public hearing.

**NOTICE REQUIREMENTS:** A public hearing is required for Site Plan applications at either the Preliminary or Final Site Plan stage, depending upon which is submitted first. If a public hearing is held for a Preliminary Site Plan, a public hearing does not need to be held for the Final Site Plan. The City shall publish notice of the public hearing at least twenty (20) days in advance of the hearing in the official City newspaper. One copy of the proposed Site Plan shall be made available for public inspection at least twenty (20) days prior of the public hearing.

**DESIGN STANDARDS:** Applicants should abide by the district zoning regulations and design standards set forth in the Edgerton UDC as noted in the appropriate Articles for the proposed development. These regulations and design standards include, but are not limited to, building placement, architectural design standards, parking and loading, access management, photometrics, landscaping, signage and diesel emissions.

**PLANNING COMMISSION REVIEW:** The Edgerton Planning Commission meets in the Edgerton City Hall on the second Tuesday of every month. The Planning Commission shall review the site plan to determine conformity with the design guidelines and other requirements included within the Edgerton UDC.

**APPROVAL LIMITATIONS:** The Site Plan approval expires after one year from the date of approval and becomes null and void unless the applicant has been issued a building permit for the project or has requested an extension of time from the Planning Commission.

## CHECKLIST

The following items shall be included on the site plan, and the scale shall be a professionally acceptable standard suitable to the area of the proposed project:

- ☐ A scale vicinity map showing the relationship of the site to surrounding neighborhoods, zoning of surrounding properties, roads and other physical features.
- ☐ A project title, zoning designation and applicant name. A street, lot or tract address of the project.
- ☐ An index of content pages.
- ☐ The data table as outlined in Section 10.1, Subsection G of the UDC.
- ☐ The name of the architect, engineer, surveyor and landscape architect, all licensed in the State of Kansas, who prepared the Site Plan.
- ☐ Engineer's seal with original signature.
- ☐ A landscape plan sealed by a landscape architect licensed to practice in the state of Kansas which is in conformance with applicable zoning district requirements. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. The submitted landscape plan drawn to scale, shall show the requirements as shown in Section 10.1, Subsection G.
- ☐ Existing and proposed topography including contours at two (2) foot intervals unless the property is too flat and then spot elevations shall be provided.
- ☐ Exterior lot lines with any survey pins.
- ☐ Location of buildings, proposed and existing if existing buildings will remain.
- ☐ Parking areas, paths, sidewalks with sizes and surface material specifications.

- ☐ Exterior lighting specifications including a preliminary photometric plan. A final photometric plan will be required at the time the applicant applies for a Building Permit.
- ☐ Site entrance and connections to streets.
- ☐ The location of existing and proposed easements.
- ☐ Connection point for utilities and the location and size of all utility lines including but not limited to sewer lines and manholes; water lines and fire hydrants; telephone, cable, fiber, and electrical systems; and storm drainage systems including inlets, catch basins, lines and other appurtenances, existing and proposed.
- ☐ Vehicular and pedestrian circulation within the site, entrances and exits, loading and unloading areas, and adjacent curb cuts.
- ☐ Scale drawings of all proposed signage including location, height, size, area, materials and design to be used on the premises with construction drawings required when applying for a sign permit in accordance with Article 12, Sign Regulations, of the UDC.
- ☐ Features to facilitate handicapped access.
- ☐ Profile and detail for roads the location and width of sidewalks and the location of trails.
- ☐ Storm Drainage Systems and Facilities shall be provided in connection with the proposed development of land in accordance with the Kansas City Metropolitan chapter of the American Public Works Association Construction and Material Specifications Section 5600 Storm Drainage Systems and Facilities. Said Site Plan shall show, by use of directional arrows, the proposed flow of storm drainage from the site. A summary table shall be provided on the Site Plan in the format outlined in Section 10.1, Subsection G of the UDC.
- ☐ A Storm Water Pollution Prevention Plan (SWPPP) shall also be provided and shall meet the known requirements of the National and Kansas General Permit. A signed and dated copy of the NOI shall be provided to the City prior to any disturbance of the soil on the construction site.
- ☐ Scale drawing of building floor plans with dimensions and square foot calculations.
- ☐ Scale drawings in full color with dimensions of all building facades or elevations including the labeling of exterior materials and color.
- ☐ Roof pitch and materials.
- ☐ The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right of way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. Include type of screening that will be used around equipment.
- ☐ Areas or facilities used for trash, trash compacting, recycling containers, service and loading are to be located out of public view from streets, adjacent to residential properties, and other highly visible areas such as parking lots, access drives, and similar areas. Refer to the regulations in Section 10.1, Subsection G of the UDC.
- ☐ Layout and design of all property designed required parking and loading areas in accordance with Article 16, Parking and Loading Regulations, of the UDC.

## POSSIBLE ADDITIONAL REQUIREMENTS

Depending upon circumstances the Zoning Administrator may require additional information related to business operations and their impact on adjacent properties including, but not limited to the requirement of additional information for hazardous material or other environmental impacts.

The Zoning Administrator may also require a detailed traffic impact study prepared by a Traffic Engineer, licensed in the State of Kansas, for large uses, mixed use and multi-tenant developments, or for developments in heavy traffic or congested areas to include:

- The projected number of motor vehicle trips to enter and leave the site, estimated for daily and peak hour traffic levels;
- The projected traffic flow pattern including vehicular traffic movements at all major intersections likely to be affected by the proposed use of the site;
- The impact of the proposed traffic upon existing, public and private ways in relation to existing and projected daily and peak hour road capacities;
- A recommendation of whether additional improvements would be needed such as turning lanes or traffic signals to accommodate the projected traffic;
- Any other information as determined by the City Engineer.

Outdoor Storage Requirements. Include adequate details on Site Plan to confirm individual District requirements are met.

- Permanent Outdoor Storage – If applicable and allowed within the zoning designation, permanent outdoor storage areas, attached to the main structure and enclosed with screening or fencing, may be allowed if the enclosure meets aesthetic guidelines. Permanent outdoor storage areas must be indicated on the Site Plan.
- Seasonal Outdoor Storage - If applicable and allowed within the zoning designation, placement and dimensions of Seasonal Outdoor Storage area must be shown on the Site Plan. Administrative approval for a Seasonal Outdoor Storage Permit is granted by the Zoning Administrator upon the submission of a permit application which includes, but is not limited to, parking implications, time parameters (hours of operation and duration of display), signage, pedestrian and vehicular traffic flow, lighting requirements, security, maintenance of merchandise, and fencing.
- Temporary Sales Area – Temporary Sales Areas may be allowed within certain zoning designations. If the applicant wishes to request a Temporary Sales Permit, the Temporary Sales Area must be indicated on the Site Plan.



GENERATOR INSTALL  
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DISTRIBUTION CENTER #9181  
30801 W 191ST ST  
EDGERTON, KS 66021

## ABBREVIATIONS

|       |  |
|-------|--|
| AC    | ARMORED CABLE  |
| AFCI  | ARC FAULT CIRCUIT INTERRUPTER                          |
| AFB   | ABOVE FINISHED FLOOR                                   |
| AL    | ALUMINUM   |
| AWG   | AMERICAN WIRE GAGE                                     |
| B.C.  | BY OTHERS  |
| CAV   | CABLE TELEVISION                                       |
| CCTV  | CLOSED CIRCUIT TELEVISION                              |
| CJ    | COPPER   |
| CP    | DISTRIBUTION PANEL                                     |
| EC    | ELECTRICAL CONTRACTOR                                  |
| EDF   | ELECTRIC DRINKING FOUNTAIN                             |
| ELEC. | ELECTRICAL   |
| EM    | EMERGENCY  |
| EMT   | ELECTRICAL METALIC TUBING CONDUIT                      |
| ER    | EXISTING RELOCATED                                     |
| ETR   | EXISTING TO REMAIN                                     |
| FA    | FIRE ALARM   |
| FACP  | FIRE ALARM CONTROL PANEL                               |
| GFI   | GROUND FAULT CIRCUIT INTERRUPTER                       |
| GND   | GROUND   |
| GRC   | GALVANIZED RIGID CONDUIT                               |
| HP    | GALVANIZED RIGID CONDUIT                               |
| KA    | HORSEPOWER   |
| KMIL  | KILO-CIRCULAR MILS                                     |
| KLO   | 100  |
| KV    | KILOVOLTS  |
| KVA   | KILOVOLT-AMPERES                                       |
| MA    | MILLIAMPERES   |
| MC    | METAL-CLAD CABLE                                       |
| MCC   | MOTOR CONTROL CENTER                                   |
| MD    | MOTORIZED DAMPER                                       |
| MDP   | MAIN DISTRIBUTION PANEL                                |
| MEGA  | 1,000,000  |
| MM    | MEDIUM VOLTAGE CABLE                                   |
| MV    | MEGAVOLTS  |
| MVA   | MEGAVOLT-AMPERES                                       |
| NEC   | NATIONAL ELECTRICAL CODE                               |
| NC    | NOT IN CONTRACT  |
| NL    | NIGHT LIGHT, CONTINUOUS OPERATION                      |
| NF    | NON-FUSED  |
| OHD   | OVERHEAD DOOR OPERATOR                                 |
| PP    | POWER POLE   |
| PPAC  | PACKAGED THROUGH-WALL AIR CONDITONER                   |
| △     | REVISION NUMBER  |
| RHW   | MOISTURE-RESISTANT THERMOSET INSULATION                |
| RTU   | ROOFTOP UNIT   |
| SE    | SERVICE ENTRANCE CABLE                                 |
| SES   | SERVICE ENTRANCE SECTION                               |
| TEL   | TELEPHONE  |
| THWA  | MOISTURE- AND HEAT-RESISTANT "HERMOPLASTIC" INSULATION |
| THW   | MOISTURE- AND HEAT-RESISTANT "HERMOPLASTIC" INSULATION |
| THWN  | MOISTURE- AND HEAT-RESISTANT "HERMOPLASTIC" INSULATION |
| TB    | TELEPHONE TERMINAL BOARD                               |
| TV    | TELEVISION   |
| TYP   | TYPICAL  |
| UF    | UNDERGROUND FEEDER CABLE                               |
| VAV   | VARIABLE AIR VOLUME                                    |
| XHHW  | MOISTURE-RESISTANT THERMOSET INSULATION                |
| ZN    | 400 RED ETHYLENE TETRAFLUORIDE INSULATION              |
| W     | WATTS  |
| WEP   | WEATHER-PROOF  |

## ELECTRICAL GENERAL NOTES

- ALL CONDUIT AND WIRING SHALL BE SECURELY FASTENED PER NEC.
- PLACE ALL RECEPTACLES 18" A.F.F. EXCEPT AS NOTED OTHERWISE. PROVIDE COVER PLATES AS SELECTED BY OWNER.
- PLACE ALL SWITCHES @ 48" A.F.F. PROVIDE SWITCH PLATES AS SELECTED BY OWNER.
- ALL CONDUCTORS SHALL BE COPPER OR EQUIVALENT ALUMINUM FOR SIZES #6 AWG AND LARGER.
- ELECTRICAL CONTRACTOR SHALL LABEL ALL CIRCUITS IN PANEL, WIREROOMS & DEVICES.
- ALL PENETRATIONS WITHIN RATED WALLS & FLOORS MUST BE UL LISTED. CAULK SHALL BE MILT PRODUCT #F561A OR SPECIAL FIRESTOP SSS 100 SEALANT.
- SWITCH & OUTLET HEIGHTS NOTED ON PLANS SHALL BE TO THE CENTER OF THE BOX.
- COMPLY WITH CURRENT LOCAL, FEDERAL, AND STATE LAWS, CODES, RULES, AND REGULATIONS AS WELL AS THE REGULATIONS OF THE NATIONAL ELECTRICAL CODE (NEC).
- AFTER COMPLETION OF THE WORK DESCRIBED IN THESE SPECIFICATIONS AND SHOWN ON THE DRAWINGS, CONTRACTOR SHALL THOROUGHLY CLEAN ALL EQUIPMENT, REMOVING SHIPPING LABELS AND STICKERS, REMOVE ANY DEBRIS, DRAINING, DRYING, ETC., AND LEAVE ALL INSTALLATIONS FINISHED AND READY FOR OPERATION AND OCCUPANCY.
- INSTALL SYSTEM BRANCH CIRCUITS AND SWITCHING AS INDICATED ON THE DRAWINGS. INSTALL ALL WIRING IN STEEL RACEWAY, RIGID OR IMC. MINIMUM RACEWAY SIZE IS 1/2" USE COMPRESSOR TYPE FITTINGS. CONDUIT INSTALLATIONS THROUGHOUT PROJECT SHALL BE RUN PARALLEL OR AT RIGHT ANGLES TO BUILDING LINES AND SURFACES, AND SHALL BE INSTALLED NEATLY AND IN ACCORDANCE WITH THE NEC.
- MINIMUM WIRE SIZE SHALL BE #12 AWG COPPER. CONDUCTORS #6 AWG AND LARGER SHALL BE STAPLED TO CONDUIT WITH T-HUB INSULATION FOR DR. LOCATION AND RUN OR JUMP TO NEARBY LOCATION. BRIDGE BRANCH CIRCUITS WITH 3M SCOTCH-LOCK, TAB STAPLER, OR EQUAL.
- ALL OUTLET AND JUNCTION BOXES SHALL BE STEEL, WITH ACCESSORIES AS REQUIRED.
- RECEPTACLES SHALL BE HEAVY DUTY, 20 AMPERE, 125 VOLT, DUPLEX, NEMA 5-20R, GRAY COLORED, PASS 8 SEVMOOR OR EQUAL.
- SWITCHES SHALL BE HEAVY DUTY, 20 AMPERE, 125 VOLT, GRAY COLORED.
- FACE PLATES SHALL BE AS SELECTED BY OWNER, CONFIGURATION TO MATCH DEVICE.
- DISCONNECT SWITCHES SHALL BE 240 VOLT, HEAVY DUTY SIZED PER DRAWING AND PER LOAD REQUIREMENTS, SQUARE D OR EQUAL.
- PROVIDE AND INSTALL EQUIPMENT GROUNDING CONDUCTORS FOR EACH BRANCH CIRCUIT, FEEDER AND ELECTRICAL EQUIPMENT PER NEC ARTICLE 250.
- EXIT AND EMERGENCY LIGHTS MUST BE CONNECTED TO 120V UNSWITCHED LEG OF CIRCUIT INDICATED.
- LIGHT FIXTURES SHALL BE AS INSTALLED COMPLETE WITH REQUIRED MOUNTING HARDWARE, LAMPS, ETC.
- ALLOWANCES ARE TO BE INCLUDED FOR UNFORESEEN CONDITIONS THAT MAY EFFECT THE CONTRACTOR'S SCOPE OF WORK. MINOR DEVIATIONS REQUIRED FOR ACCOMPLISHING THE INTENT OF THIS DESIGN ARE TO BE INCLUDED IN THAT ALLOWANCE.
- ELECTRICAL DESIGN HAS BEEN BASED ON THE INSTALLATION OF 75°C CONDUCTORS CONNECTED TO TERMINAL LUGS AND EQUIPMENT UL LISTED FOR A MINIMUM 75°C FOR CONDUCTORS 100 AMPS AND LARGER (60°C) FOR CONDUCTORS LESS THAN 100 AMPS.
- SWITCHGEAR, PANELBOARDS, DISCONNECT SWITCHES, TRANSFORMERS AND CONTRACTORS ARE TO BE "LISTED" AND "IDENTIFIED" AS RATED FOR A MINIMUM OF 75°C OR 90°C CONDUCTOR TERMINATION DEPENDING ON AMPACITY.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLAN AND DETAILS FOR THE EXACT LOCATION OF ALL LIGHTING FIXTURES AND ANY OTHER EQUIPMENT INSTALLED IN THE CEILING SYSTEM. VERIFY EXACT MOUNTING HEIGHTS AND FINISHES WITH ARCHITECT PRIOR TO ROUGH-IN.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF ELECTRICAL WORK ABOVE THE CEILING TO PROVIDE THE GREATEST POSSIBLE CLEARANCE FOR INSTALLATION OF PLUMBING AND MECHANICAL INSTALLATION. CONDUITS RUN TO BE RUN THROUGH TRUSSES WHERE POSSIBLE.
- ELECTRICAL CONTRACTOR TO VERIFY EXACT PLACEMENT OF ALL DEVICES SHOWN ON THE ELECTRICAL CONSTRUCTION DOCUMENT WITH ARCHITECTURAL, MECHANICAL, AND PLUMBING DRAWINGS PRIOR TO FINAL PLACEMENT.
- DRAWINGS ARE DIAGRAMMATIC AND ARE NOT TO BE SCALED. SEE THE ARCHITECTURAL PLANS AND FIELD VERIFY DIMENSIONS.
- FIELD VERIFY THE EXISTING CONDITIONS AND MAKE ALLOWANCES FOR SAME.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2011 EDITION OF THE NATIONAL ELECTRICAL CODE AS ADOPTED BY THE CITY OF OMAHA, NEB. AND
- COORDINATE ALL WORK WITH OTHER TRADES TO AVOID CONFLICTS. VERIFY LOCATIONS WITH WITH OWNER OR OWNERS REPRESENTATIVE WHEN IN DOUBT.
- ALL WIRING IN FINISHED SPACES SHALL BE CONCEALED, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE AND FUNCTIONAL SYSTEM IN ACCORDANCE WITH THE INTENT OF THE PLANS, WHETHER OR NOT EVERY ELEMENT THEREOF IS SPECIFICALLY CALLED OUT.
- COORDINATE EQUIPMENT ROUGH-IN CONNECT ON OUR REQUIREMENTS.
- COORDINATE INSTALLATION OF DEVICES A CONTINGENT WITH ARCHITECTURAL PLANS.
- ALL RECEPTACLES INSTALLED IN BATHROOMS AND OUTDOORS SHALL BE 20 AMPERE GFCI TYPE OR PROTECTED BY A GFCI DEVICE.
- FIELD COORDINATE THE EXACT LOCATION OF ALL EQUIPMENT/DEVICES PRIOR TO ROUGH-IN.
- VERIFY AND COORDINATE ALL ELECTRICAL REQUIREMENTS, MOUNTING REQUIREMENTS TERMINATION REQUIREMENTS WITH EQUIPMENT DRAWINGS AND INSTALLER PRIOR TO ROUGH-IN.

## ELECTRICAL SYMBOLS

|  |   |
|--|---|
|  | BRANCH CIRCUIT CONCEALED IN CEILING OR WALL. ARROWS INDICATE HANGING TO PANEL. ALL CONDUCTORS ARE #12 EXCEPT AS NOTED.      |
|  | CONDUIT RUN UNDERGROUND OR BENEATH FLOOR SLAB.  |
|  | GROUNDING CONDUCTOR #12 EXCEPT AS NOTED.  |
|  | PREWIRED FLEXIBLE WHIP FURNISHED WITH LIGHT FIXTURE.  |
|  | WALL MOUNTED JUNCTION BOX.  |
|  | POWER J-BOX FOR CONNECTION TO SYSTEM FURNITURE WITH 1" CONDUIT TO ABOVE ACCESSIBLE CEILING.                                 |
|  | VOICE/DATA J-BOX FOR CONNECTION TO SYSTEM FURNITURE WITH 1/4" CONDUIT TO ABOVE ACCESSIBLE CEILING.                          |
|  | CEILING MOUNTED JUNCTION BOX.   |
|  | PANELBOARD (SURFACE MOUNTED). INSTALL W/ TOP 6-0" AFF.  |
|  | PANELBOARD (FLUSH MOUNTED). INSTALL W/ TOP 6-0" AFF.  |
|  | DISTRIBUTION PANEL (SURFACE MOUNTED).   |
|  | DISCONNECT SWITCH, SIZED AS NOTED.  |
|  | DISCONNECT SWITCH FURNISHED WITH EQUIPMENT.   |
|  | COMBINATION START/RECONNECT SWITCH, SIZED AS NOTED.   |
|  | MAGNETIC MOTOR STARTER, SIZED AS NOTED.   |
|  | EXIT LIGHT - SINGLE FACE - ARROWS AS SHOWN.   |
|  | EXIT LIGHT - DOUBLE FACE - ARROWS AS SHOWN.   |
|  | COMBINATION EXIT/EMERGENCY LIGHT FIXTURE WITH (2) HEADS.  |
|  | CEILING OR WALL MOUNTED EMERGENCY LIGHTING UNIT WITH (2) HEADS.   |
|  | LIGHT FIXTURE, GRID TRIGGER.  |
|  | NIGHT LIGHT FIXTURE, GRID TRIGGER. FIXTURE SHALL BE ON 240V.  |
|  | STRIP LIGHT FIXTURE.  |
|  | CEILING LIGHT FIXTURE.  |
|  | WALL MOUNTED LIGHT FIXTURE.   |
|  | REMOTE AREA EMERGENCY LIGHT FIXTURE.  |
|  | SINGLE POLE SWITCH - 3-10" AFF.   |
|  | THREE-WAY SWITCH - 3-10" AFF.   |
|  | FOUR-WAY SWITCH - 3-10" AFF.  |
|  | KEY SWITCH - 3-10" AFF.   |
|  | SWITCH AND PILOT LIGHT - 3-10" AFF.   |
|  | MOMENTARY CONTACT SWITCH - 3-10" AFF.   |
|  | DAMPER SWITCH - 3-10" AFF. SIZE AS NOTED.   |
|  | TEST/RESET SWITCH FOR SMOKE DETECTOR - 3-10" AFF.   |
|  | SINGLE RECEPTACLE - 1-1/2" AFF OR AS NOTED.   |
|  | DUPLEX RECEPTACLE - 1-1/2" AFF OR AS NOTED.   |
|  | DUPLEX RECEPTACLE INSTALLED ABOVE COUNTERTOP.   |
|  | DUPLEX RECEPTACLE WITH WEATHER-PROOF PLATE. HEIGHT AS NOTED.  |
|  | DUPLEX RECEPTACLE (UNDERGROUND FAULT PROTECTION) - 1-1/2" AFF OR AS NOTED.  |
|  | FOURPLEX RECEPTACLE - 1-1/2" AFF OR AS NOTED.   |
|  | FOURPLEX RECEPTACLE INSTALLED ABOVE COUNTERTOP.   |
|  | FLUSH FLOOR BOX WITH TYPE INDICATED. SEE SPEC.  |
|  | SPECIAL PURPOSE RECEPTACLE, VOLTAGE, PHASE AND CURRENT AS NOTED. 1-1/2" AFF OR AS NOTED.                                    |
|  | VOICE OUTLET WITH 3/4" CONDUIT STUBBED UP OUT OF BOX TO ABOVE ACCESSIBLE CEILING - 1-1/2" AFF OR AS NOTED.                  |
|  | DATA OUTLET WITH 3/4" CONDUIT STUBBED UP OUT OF BOX TO ABOVE ACCESSIBLE CEILING - 1-1/2" AFF OR AS NOTED.                   |
|  | DATA OUTLET WITH 3/4" CONDUIT STUBBED UP OUT OF BOX TO ABOVE ACCESSIBLE CEILING - 1-1/2" AFF OR AS NOTED.                   |
|  | COMBINATION VOICE/DATA OUTLET WITH 3/4" CONDUIT STUBBED UP OUT OF BOX TO ABOVE ACCESSIBLE CEILING - 1-1/2" AFF OR AS NOTED. |
|  | COMBINATION VOICE/DATA OUTLET WITH 3/4" CONDUIT STUBBED UP OUT OF BOX TO ABOVE ACCESSIBLE CEILING - 1-1/2" AFF OR AS NOTED. |
|  | MOTOR, SIZE AS NOTED.   |
|  | PUSH BUTTON - 3-10" AFF.  |
|  | CARD READER - 48" AFF OR AS NOTED.  |

## SHEET INDEX

| NUMBER | SHEET DESCRIPTION                     |
|--------|---------------------------------------|
| CP-00A | COVER SHEET                           |
| CP-001 | OVERALL CRITICAL GENERATOR POWER PLAN |
| CP-002 | ENLARGED GENERATOR AREA POWER PLAN    |
| CP-003 | ELECTRICAL ONE LINE DIAGRAM           |
| CP-004 | GENERATOR PAD AND ENCLOSURE DETAILS   |
| CP-005 | GENERATOR ELEVATION                   |

## CODE INFORMATION

| PREVAILING CODES: EDGERTON, KANSAS     |      |      |
|--|------|------|
| NATIONAL BUILDING CODE                 | IBC  | 2006 |
| NATIONAL FIRE CODE                     | IFC  | 2006 |
| NATIONAL MECHANICAL CODE               | IMC  | 2006 |
| INTERNATIONAL ENERGY CONSERVATION CODE | IECC | 2006 |
| NATIONAL ELECTRICAL CODE               | NEC  | 2006 |

## FIRE ALARM SYMBOLS

|  |   |
|--|---|
|  | DOOR HOLDER 120V 1/8" CONNECT TO FIRE ALARM CONTROL PANEL.  |
|  | PHOTO-ELECTRIC SMOKE DETECTOR.  |
|  | PHOTO-ELECTRIC DUCT SMOKE DETECTOR WITH SAWPLING TUBES. INSTALLED IN RETURN AIR DUCT.                                   |
|  | CEILING MOUNTED REMOTE INDICATED LIGHT FOR DUCT MOUNTED SMOKE DETECTOR.   |
|  | SPRINKLER SYSTEM TAMPER SWITCH.   |
|  | SPRINKLER SYSTEM FLOW SWITCH.   |
|  | FIRE/SMOKE DAMPER 120V, 1/8".   |
|  | CEILING MOUNTED FIRE ALARM HORN (FLUSH MOUNTED).  |
|  | WALL MOUNTED FIRE ALARM HORN (STROBE) (FLUSH MOUNTED).  |
|  | WALL MOUNTED FIRE ALARM HORN (STROBE) (FLUSH MOUNTED).  |
|  | WALL MOUNTED FIRE ALARM HORN (STROBE) (FLUSH MOUNTED).  |
|  | WALL MOUNTED FIRE ALARM HORN (STROBE) (FLUSH MOUNTED).  |
|  | VISUAL FIRE ALARM STROBE LIGHT. STROBE RATED 75cd CANDELA RATING UNLESS NOTED OTHERWISE.                                |
|  | VISUAL FIRE ALARM STROBE LIGHT. STROBE RATED 75cd CANDELA RATING UNLESS NOTED OTHERWISE.                                |
|  | FIRE ALARM MANUAL PULL STATION - 3-10" AFF.   |
|  | PUSH-TO-CALL STATION - 3-10" AFF.   |
|  | DATA/VOICE OUTLET J-BOX WITH 1" CONDUIT TO ABOVE ACCESSIBLE CEILING.  |
|  | TELEVISION OUTLET - 1-1/2" AFF OR AS NOTED.   |
|  | ELECTRIC THERMOSTAT WITH 3/4" CONDUIT STUBBED UP OUT OF TOP OF BOX TO ABOVE ACCESSIBLE CEILING - 3-10" AFF.             |
|  | SPEAKER (CEILING) I/MC P.A. CONSOLE SWITCH NUMBER.  |
|  | COMBINATION C.O.V./SPEAKER OUTLET. INSTALL W/ TOP 6-0" AFF OR AS NOTED. NUMBER INDICATES SWITCH NUMBER ON P.A. CONSOLE. |
|  | EXTERIOR BELL - FIRE ALARM.   |
|  | EXTERIOR CLASS CHANGE PROGRAM BELL.   |



8/27/20

PROJECT NO. \_\_\_\_\_

DATE \_\_\_\_\_

DESIGNED BY \_\_\_\_\_

CHECKED BY \_\_\_\_\_

APPROVED BY \_\_\_\_\_

JET.COM - KS1  
DISTRIBUTION CENTER #9181  
30801 W 191ST ST  
EDGERTON, KS 66021

Walmart Jet

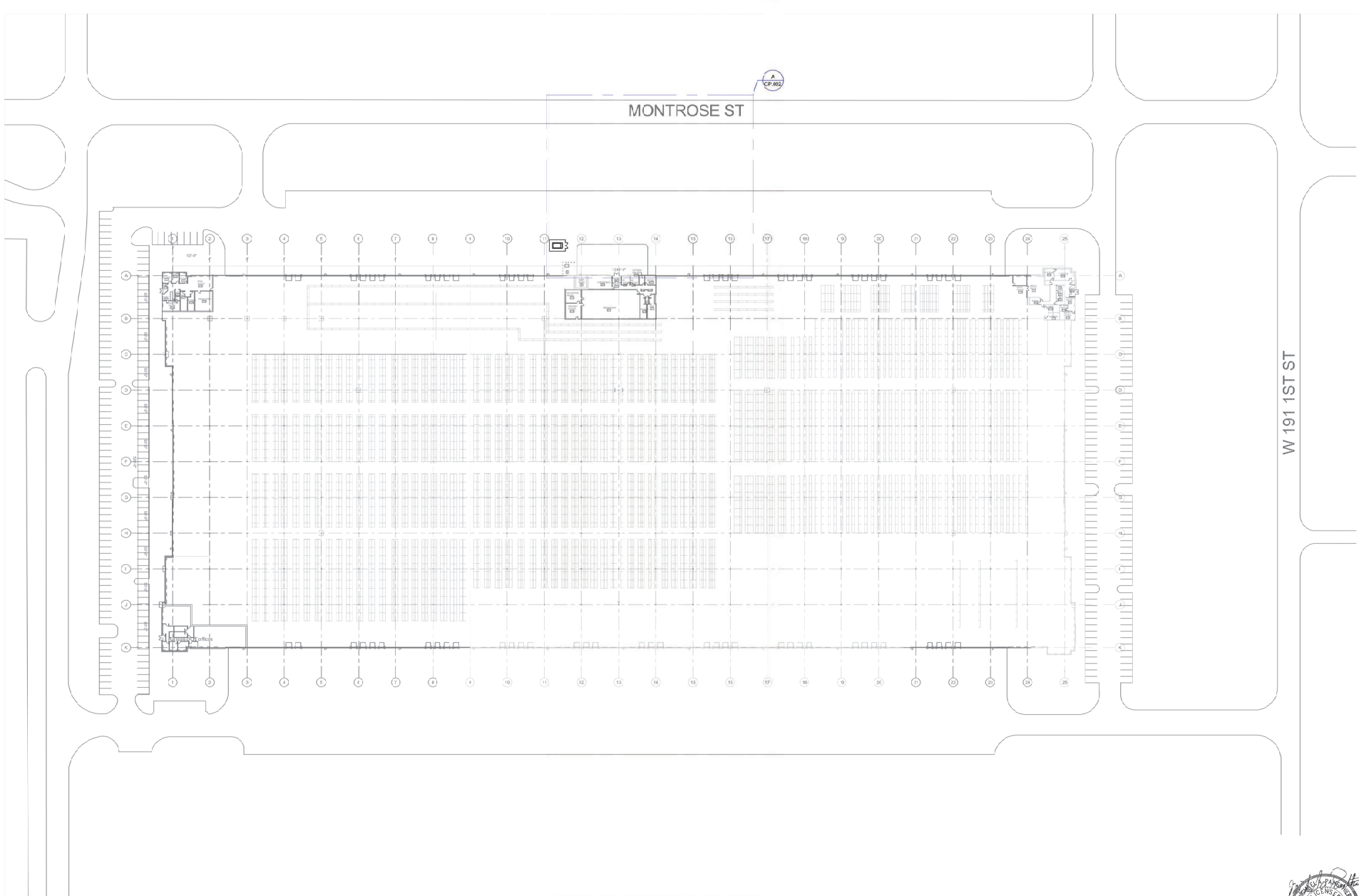
COVER SHEET

WACHTER, INC.  
1419 WEST MONROE AVE  
LOWELL, AR 72445  
PH: 479-751-3000  
FAX: 479-751-3009  
WWW.WACHTER.COM

15208  
KANSAS  
PROFESSIONAL ENGINEER

SHEET  
CP.00A





**A** OVERALL CRITICAL GENERATOR POWER PLAN  
 SCALE: NTS



**WACHTER INC.**  
 1419 WEST MONROE AVE  
 LOWELL, AR 72445  
 PH: 479-751-3000  
 FAX: 479-751-3009  
 www.wachter.com

OVERALL CRITICAL POWER  
 GENERATOR PLAN

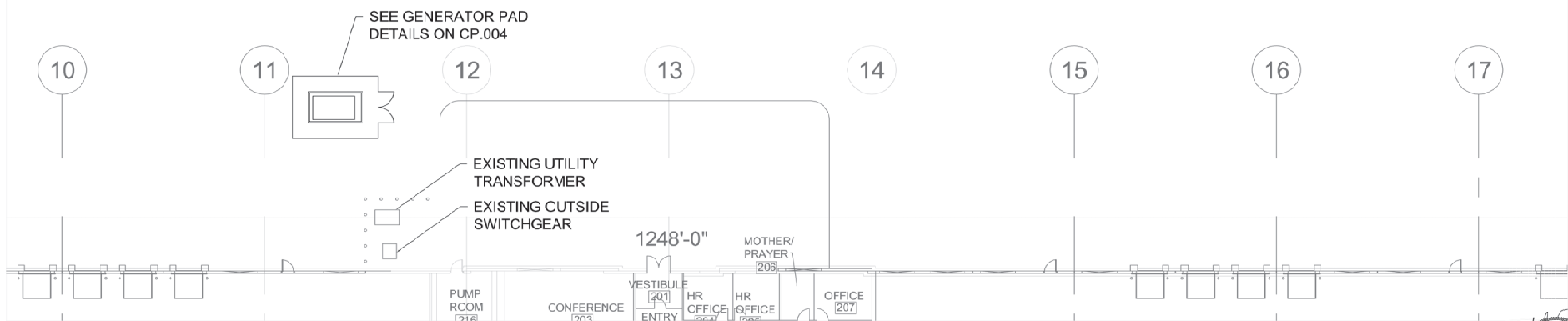
**Walmart** **jet**  
 JET.COM — K31  
 DISTRIBUTION CENTER #9181  
 1915 S. MONROE  
 EDGEMONT, KS 66021

| PROJECT NO. | DATE | INSP. |
|-------------|------|-------|
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|--|--|
|  |  |
|  |  |

SHEET  
 CP.001

# MONTROSE ST



A

## ENLARGED GENERATOR AREA POWER PLAN

SCALE: 1/4" = 1'-0"



NORTH



JET.COM  
DISTRIBUTION CENTER #0181  
3000 S. W. 100th Ave.  
Edgerton, KS 66021

**Walmart** **jet**

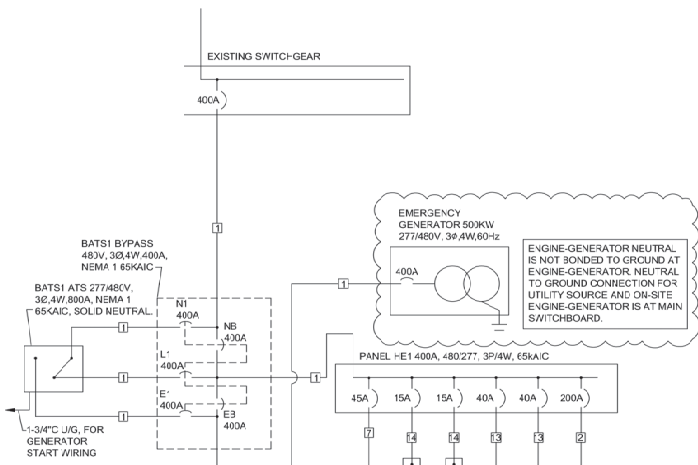
ENLARGED GENERATOR  
POWER PLANS

WACHTER INC.  
1419 WEST MONTROSE AVE  
LOWELL, AR 72445  
PH: 479-701-3000  
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SHEET  
CP.002





### GENERAL FEEDER SCHEDULE

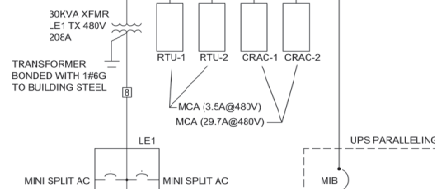
ALL WIRE IS THHN AND ALL CONDUIT IS EMT WITH STEEL SET SCREW CONNECTORS UNLESS OTHERWISE NOTED

| MARK | WIRE AND CONDUIT         |
|------|--------------------------|
| 1    | 2 SETS 4X3/0, 1/2" G, 2" |
| 2    | 4X3/0, 1/2" G, 2"        |
| 3    | 2 SETS 4X3/0, 1/2" G, 2" |
| 4    | 2 SETS 4X3/0, 1/2" G, 2" |
| 5    | 3/4", 1/2" G, 1-1/4"     |
| 6    | 4/8", 1/2" G, 1-1/4"     |
| 7    | 3/8", 1/2" G, 3/4"       |
| 8    | 4/8", 1/2" G, 1-1/4"     |
| 9    | 4/8", 1/2" G, 1"         |
| 10   | 3/4", 1/2" G, 1-1/2"     |
| 11   | 3/4", 1/2" G, 2"         |
| 12   | 3/4", 1/2" G, 1-1/2"     |
| 13   | 3/8", 1/2" G, 3/4"       |
| 14   | 3/4", 1/2" G, 3/4"       |
| 15   | 3/4", 1/2" G, 1"         |

ELECTRICAL CONTRACTOR SHALL INSTALL PLACARD AT ENGINE-GENERATOR AND AT MAIN SWITCH-BOARD THAT INDICATES:

AT THE MAIN SWITCH-BOARD SERVING THE ATS'S PER NEC ARTICLE 700.7(B): "WARNING - SHOCK HAZARD EXISTS IF GROUNDING ELECTRODE CONDUCTOR OR BONDING JUMPER CONNECTION IN THIS EQUIPMENT IS REMOVED WHILE ALTERNATE SOURCE(S) IS ENERGIZED."

AT ENGINE-GENERATOR NEUTRAL, DP, ATS BYPASS AND BOTH ATS SWITCHES WE RECOMMEND THE FOLLOWING LABEL: "WARNING - SHOCK HAZARD EXISTS. NEUTRAL CONDUCTOR MAY BE CARRYING CURRENT WHENEVER UTILITY OR ENGINE-GENERATOR ARE ENERGIZED. SYSTEMS ARE NOT SEPARATELY DERIVED."



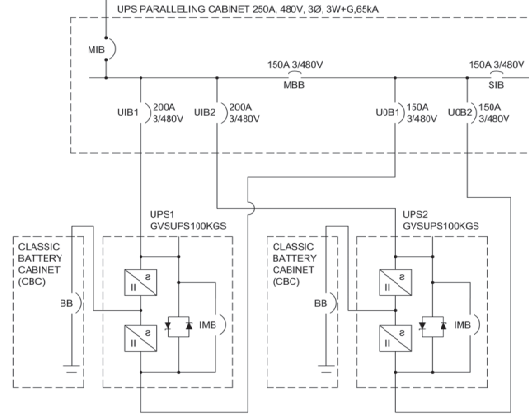
TRANSFORMER BONDED WITH 1/8" G TO BUILDING STEEL

30KVA XFMR, 480V, 200A

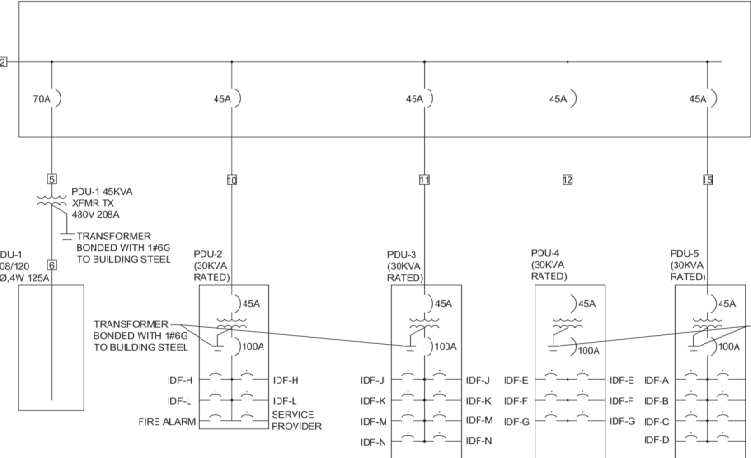
MINI SPLIT AC

MINI SPLIT AC

UPS PARALLELING CABINET 250A, 480V, 3P/4W, 65KAIC



DUPS PANEL 150A, 480/277, 3P/4W, 65KAIC



**ONE LINE DIAGRAM**  
SCALE: NTS



|             |  |
|-------------|--|
| PROJECT NO. |  |
| DATE        |  |
| BY          |  |
| CHECKED BY  |  |
| APPROVED BY |  |

JET.COM - KGI  
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1915 S. 10TH AVE.  
EDGEMONT, KS 66021

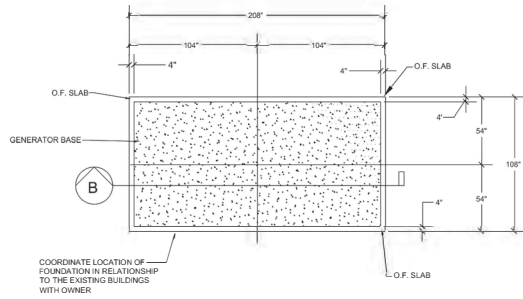
**Walmart jet**

ONE LINE  
DIAGRAM

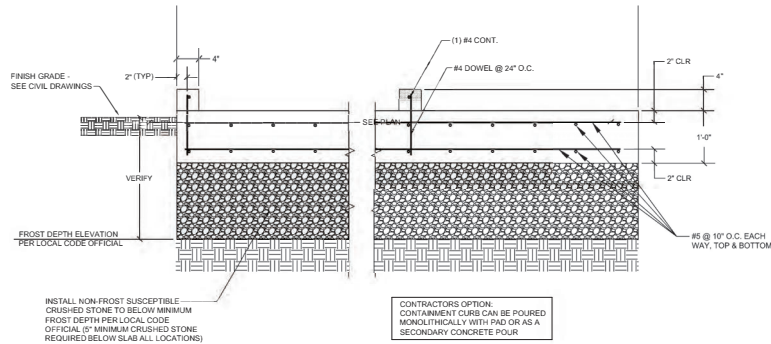
WACHTER INC.  
1419 WEST MONROE AVE.  
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SHEET  
CP.004

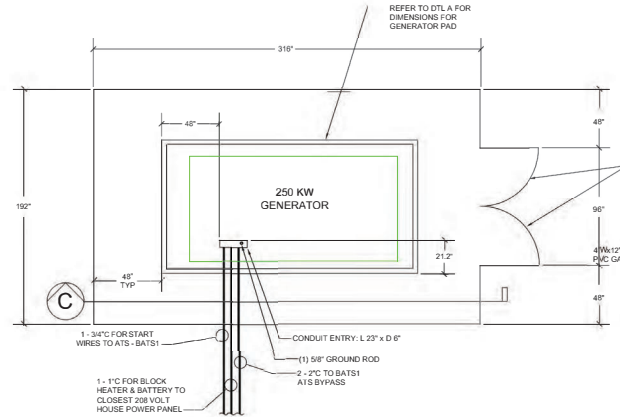
Michael A Panethiere, P.E. (MAP) assumes design responsibility for this project for only the electrical discipline shown on this drawing. All other items shown should be considered the work of others. MAP assumes no responsibility or liability for the accuracy or regulatory compliance for work prepared by others even though shown on this drawing.



**A** GENERATOR PAD DETAIL  
SCALE: 1/4" = 1'-0"



**B** SECTION 1  
SCALE: NTS



**D** GENERATOR CONDUIT DETAIL  
SCALE: 1/4" = 1'-0"

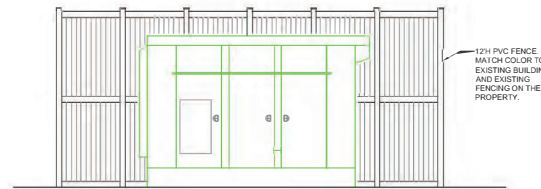


NFPA 704 DIESEL PLACARD ADD TO GENERATOR IN REQUIRED POSITION.

**CONSTRUCTION SAFETY GENERAL NOTE**  
THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

- CONCRETE GENERAL NOTES**
1. ALL DETAILING, FABRICATION, AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE ACI STANDARD "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" (ACI 315).
  2. CONCRETE FOR FOUNDATION SHALL DEVELOP A 28 DAY MINIMUM COMPRESSION STRENGTH OF 4,000 PSI AND HAVE 5" MAXIMUM SLUMP. CONCRETE SHALL BE ENTRAINED WITH 5% TO 7% AIR.
  3. COARSE AGGREGATE FOR CONCRETE SHALL BE CLEAN CRUSHED STONE OR GRAVEL CONFORMING TO ASTM C33, SIZE NUMBER 407.
  4. PAD FOUNDATION SHALL HAVE A BROOM FINISH.
  5. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
  6. REINFORCING BAR SPLICES SHALL BE 44 BAR DIAMETERS.
  7. NO SITE-SPECIFIC GEOTECHNICAL REPORT WAS AVAILABLE AT THE TIME OF ORIGINAL ISSUE. IN ACCORDANCE WITH SECTION 1804.2 OF THE 2018 INTERNATIONAL BUILDING CODE A PRESUMED MAXIMUM ALLOWABLE BEARING PRESSURE FOR FOUNDATIONS OF 1500 PSF HAS BE UTILIZED. PRESUMED BEARING MATERIALS PER TABLE 1804.3 ARE CLAY, SANDY CLAY, CLAYEY SILT, SILT AND SANDY SILT (CL, ML, MH AND CH). FOUNDATIONS MAY ALSO BEAR ON ENGINEERED FILL OF TYPE AND PLACEMENT METHOD APPROVED BY REGISTERED GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF . MINIMUM BEARING DEPTH IS 18" BELOW LOWEST ADJACENT FINISHED GRADE.

**NOTE: EXPANSIVE CLAYS, LOW-STRENGTH SOILS, SOFT SOILS & SOILS WITH ORGANIC MATERIAL ARE NOT SUITABLE IN SUPPORTING THE GENERATOR PAD. IF CONTRACTOR DISCOVERS UNSUITABLE MATERIAL DURING EARTHWORK, A GEOTECHNICAL ENGINEER SHALL BE TO ARRIVE AT A SOLUTION THAT WILL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF THE FOUNDATIONS.**



**C** SECTION 2  
SCALE: 1/4" = 1'-0"



| PROJECT NO. | NO.      | DATE     | ISSUE    |
|-------------|----------|----------|----------|
| 00000000    | 00000000 | 00000000 | 00000000 |

JET.COM - KSI  
DISTRIBUTION CENTER #9181  
30801 W 191ST ST  
EDGEMONT, KS 66021



GEN PAD  
DETAILS

WACHTER INC.  
1419 WEST MONROE AVE  
LOWELL, AR 72745  
PH: 479-751-3000  
WWW.WACHTER.COM



SHEET  
CP.004



**A** GENERATOR ENCLOSURE - ELEVATION

SCALE: 1/8" = 1'-0"



WACHTER, INC.  
1419 WEST MONROE AVE  
LOWELL, AR 72445  
PH: 479-751-3000  
FAX: 479-751-3009  
WWW.WACHTER.COM

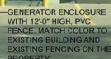
GEN. PAD  
DETAILS



JET.COM - KS1  
DISTRIBUTION CENTER #0181  
30801 W 191ST ST  
EDGEMONT, KS 66021

|               |          |       |
|---------------|----------|-------|
| PROJECT NO.   | DATE     | INSP. |
| 001-001       | 08/27/20 |       |
| CLIENT        | DATE     | INSP. |
| WACHTER, INC. | 08/27/20 |       |
| PROJECT NO.   | DATE     | INSP. |
| 001-001       | 08/27/20 |       |





**GENERATOR ENCLOSURE - ELEVATION**  
SCALE: 1/8" = 1'-0"

|              |      |       |  |
|--------------|------|-------|--|
| PROJECT NO:  | DATE | INSUR |  |
| DESIGNED BY: |      |       |  |
| CHECKED BY:  |      |       |  |
| DATE:        |      |       |  |
| APPROVED BY: |      |       |  |
| DATE:        |      |       |  |

**Walmart**  **jet**  
JET.COM — KS1  
DISTRIBUTION CENTER #9181  
30801 W 191ST ST  
EDGEMONT, KS 66021

## GEN PAD DETAILS

**WACHTER INC.**  
1419 WEST MONROE AVE  
LOWELL, AR 72745  
PH: 479-751-3600  
FX: 479-751-6599  
[www.wachter.com](http://www.wachter.com)



SHEET

CP.005



## STAFF REPORT

October 13, 2020

To: Edgerton Planning Commission  
Fr: Chris Clinton, Planning and Zoning Coordinator  
Re: **PP2020-03** Preliminary Plat for *Johnson County Fire Station #123* located at 33364 W. 191<sup>st</sup> Street, Edgerton, Kansas.

### APPLICATION INFORMATION

**Applicant:** Johnson County Fire District #1 (JCFD1)  
Deputy Chief Dennis Meyers  
490 New Century Pkwy  
New Century, KS 66031

**Property Owner:** JCFD1  
490 New Century Pkwy  
New Century, KS 66031

**Requested Action:** Preliminary Plat approval for *Johnson County Fire Station #123*

**Legal Description:** NE 1/4 of Section 4, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas; see attached application for complete legal description.

**Site Address/Location:** 33364 W 191<sup>st</sup> Street, Edgerton, KS 66021

**Existing Zoning and Land Uses:** L-P (Logistics Park) District Zoning

**Existing Improvements:** None

**Site Size:** Approximately 11.41 acres including right of way

## DESCRIPTION

Application **PP2020-03** requests approval of a Preliminary Plat to plat two (2) parcels in the City of Edgerton located at 33364 W. 191<sup>st</sup> Street into 2 lots. The current parcels consist of 0.77 acres and 10.36 acres. The proposed new lots will be 5.88 and 5.21 acres. These parcels are being platd in preparation for a new fire station to be constructed on the western parcel and a possible future training facility to the east.

## INFRASTRUCTURE AND SERVICES

1. There are currently no access points. All future access points will be from W. 191<sup>st</sup> Street.
2. Utilities and service providers.
  - a. Water Service – City of Edgerton
  - b. Sanitary Sewer – City of Edgerton
  - c. Electrical Service – Evergy
  - d. Gas Service – Kansas Gas Service
  - e. Police protection is provided by the City of Edgerton through the Johnson County Sheriff's Office.
  - f. Fire protection is provided by Johnson County Fire District #1.
3. Parcel is located within the Bull Creek watershed.

## PRELIMINARY PLAT REVIEW

Staff has reviewed the Final Plat submittal for compliance with the Approved Final Plat requirements in Article 13, Section 13.3 of the Edgerton Unified Development Code. Review comments are listed below.

### Content of Preliminary Plat

1. A legal description; and current zoning. *Parcel was rezoned to L-P zoning designation on September 8, 2020. Update the zoning to reflect this zoning change. **Update Preliminary Plat.***
2. Names of: Applicant, Subdivision & Street. *The Fire District completed the purchase of this property on July 31, 2020. Update information of the property owner on the Preliminary Plat document. **Update Preliminary Plat.***
3. Signature block and date for review of Mayor. *Signature block is missing. **Update Preliminary Plat.***
4. Rights-of-way and/or easements proposed to be created for all drainage purposes, utilities, walkways, access, and other purposes. *Drainage easements are needed for the detention areas. **Update Preliminary Plat.***
5. Proposed location of streets, sidewalks, sanitary sewers, storm water sewers, water mains, and fire hydrants. Plat must show that the water distribution system and the sanitary sewer collection system touch upon each lot, or in an easement appurtenant to each lot. *These locations have not been provided. **Update Preliminary Plat.***
6. Setbacks, yards and any entrance restrictions. Setbacks shall be shown as a building envelope representing that portion of the lot within the yards and setbacks that can reasonably contain, depending upon watercourses, topography or geology, the principal structure and the lateral field (if a lateral field is used). ***Update Preliminary Plat with building setback and any restrictions. If none are required, please indicate***
7. A copy of the proposed restrictive covenants. ***None provided but applicant will provide at Final Plat if there are any.***

## RECOMMENDATION



City staff recommends **approval** of Application **PP2020-03** Preliminary Plat for *Johnson County Fire Station #123*, subject to compliance with the following stipulations:

1. All Preliminary Plat requirements of the City listed above shall be met or addressed.
2. Preliminary Plat shall be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission upon submittal and approval of a written request may grant a one-year extension on the approval of the preliminary plat.

#### **ATTACHMENTS**

- Application PP2020-03
- Preliminary Plat for *Johnson County Fire Station #123*

☒ INITIAL SUBMISSION☐ RE-REVIEWNAME OF PROPOSED SUBDIVISION: Fire Station 123LOCATION OR ADDRESS OF SUBJECT PROPERTY: 33364 W 191st StreetLEGAL DESCRIPTION: AttachedCURRENT ZONING ON SUBJECT PROPERTY: RUR CURRENT LAND USE: AgricultureTOTAL AREA: 5.53 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: \_\_\_\_\_ Sq. Ft.

DEVELOPER'S NAME(S): \_\_\_\_\_ PHONE: \_\_\_\_\_

COMPANY: \_\_\_\_\_ FAX: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_  
Street City State ZipPROPERTY OWNER'S NAME(S): \_\_\_\_\_ PHONE: (913) 764-7635COMPANY: Johnson County Fire District 1 FAX: \_\_\_\_\_MAILING ADDRESS: 490 New Century Pkwy, New Century, KS 66031  
Street City State ZipENGINEER'S NAME(S): Jonathon Smith PHONE: (913) 451-1818COMPANY: SK Design Group, Inc. FAX: \_\_\_\_\_MAILING ADDRESS: 4600 College Blvd, Suite 100, Overland Park, KS 66211  
Street City State ZipSIGNATURE OF OWNER OR AGENT: 

If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

**FOR OFFICE USE ONLY**Application No.: PP2020-03 Application Fee Paid: \$ \_\_\_\_\_ Date Fee Paid: \_\_\_\_\_ Receipt # \_\_\_\_\_

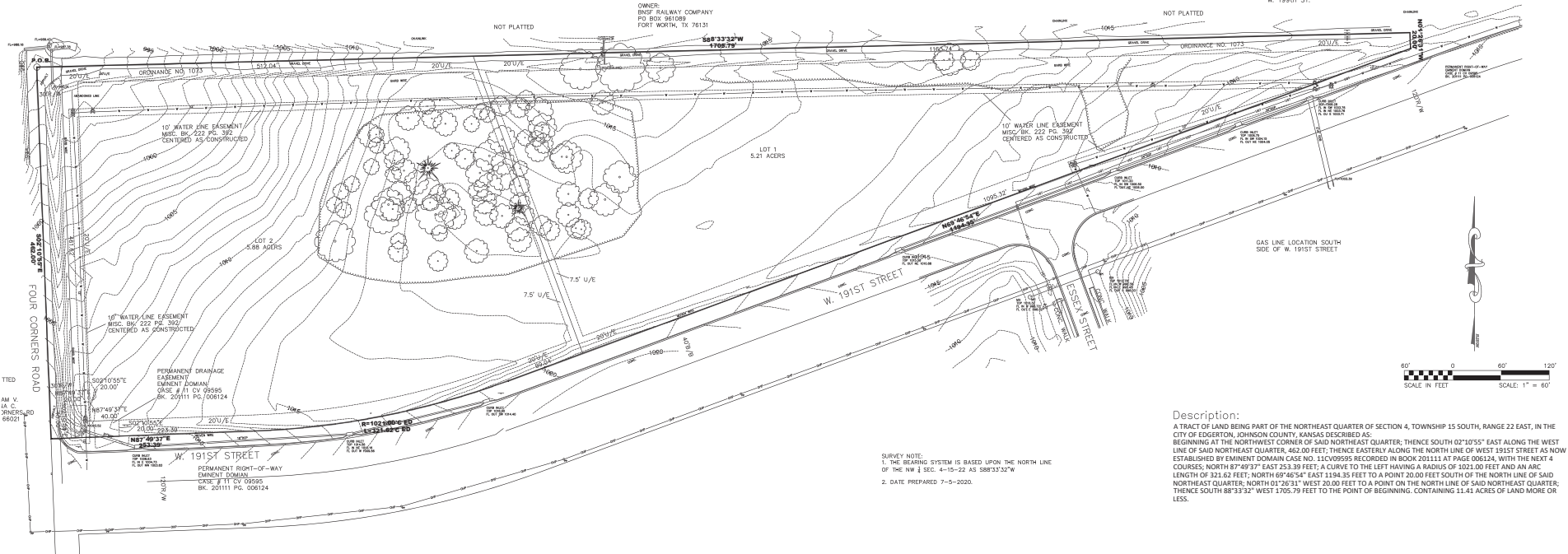
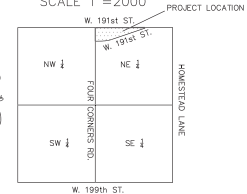
Publication Fee Paid: \$ \_\_\_\_\_ Date Fee Paid: \_\_\_\_\_ Receipt # \_\_\_\_\_

Received By: 

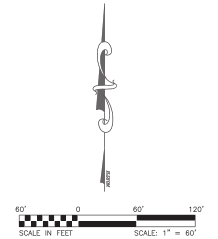


PRELIMINARY PLAT  
**JOCO FIRE STATION #123**  
PART OF THE NE 1/4 OF SECTION 4-15-22  
IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS

LOCATION MAP  
SEC. 4-15-22  
SCALE 1"=2000'



SURVEY NOTE:  
1. THE BEARING SYSTEM IS BASED UPON THE NORTH LINE OF THE NW 1/4 SEC. 4-15-22 AS S88°33'32\"/>



**Description:**  
A TRACT OF LAND BEING PART OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 22 EAST, IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS DESCRIBED AS:  
BEGINNING AT THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER; THENCE SOUTH 02°10'55\"/>

CERTIFICATION  
RECEIVED AND PLACED ON RECORD THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

BY \_\_\_\_\_  
KATY CROW, ZONING ADMINISTRATOR

REVIEW BY THE EDGERTON CITY PLANNING COMMISSION THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

BY \_\_\_\_\_  
JOHN DAILY, CHAIR OF PLANNING COMMISSION

I CERTIFY THAT I HAVE REVIEWED THIS PLAT AND WILL COMPLY WITH ALL SPECIFICATIONS, CHANGES, AND AMENDMENTS HEREIN, AND THAT THIS INSTRUMENT CREATES A LEGALLY ENFORCEABLE OBLIGATION TO BUILD AND DEVELOP IN ACCORDANCE WITH ALL FINAL AGREEMENTS.

APPLICANT SIGNATURE: \_\_\_\_\_

REVIEWED BY: \_\_\_\_\_  
CITY ENGINEER

DATE: \_\_\_\_\_

**LEGEND**

|  |                            |  |                         |  |                              |  |                            |
|--|----------------------------|--|-------------------------|--|------------------------------|--|----------------------------|
|  | DECIDUOUS TREE             |  | WATER VALVE             |  | TRAFFIC SIGNAL POLE          |  | SANITARY SEWER             |
|  | CONIFEROUS TREE            |  | FIRE HYDRANT            |  | TV SPLICE BOX                |  | STORM SEWER                |
|  | BUSH                       |  | GAS VALVE               |  | ELECTRIC METER               |  | WATER                      |
|  | SHRUB                      |  | CENTERLINE              |  | POWER SPLICE BOX             |  | TELEPHONE                  |
|  | BOLLARD                    |  | PROPERTY LINE           |  | POST                         |  | UNDERGROUND                |
|  | GRATE INLET ROUND          |  | SECTION LINE            |  | MAIL BOX                     |  | OVERHEAD                   |
|  | GRATE INLET SQUARE         |  | BENCH MARK              |  | STUMP                        |  | CAST IRON PIPE             |
|  | ELECTRICAL TRANSFORMER BOX |  | FOUND MONUMENT AS NOTED |  | MATCH POINT                  |  | CORRUGATED METAL PIPE      |
|  | GAS METER                  |  | SET 1/2" BAR & CAP      |  | CP (CONTROL POINT)           |  | REINFORCED CONCRETE PIPE   |
|  | LIGHT POLE                 |  | CHISELLED "A"           |  | GAS TEST                     |  | VITRIFIED CLAY PIPE        |
|  | MANHOLE                    |  | YARD LIGHT              |  | GAS REGULATOR                |  | PLASTIC CORRUGATED PIPE    |
|  | TELEPHONE POLE             |  | SINGLE POST SIGN        |  | SIAMESE CONNECTOR            |  | CABLE TELEVISION           |
|  | WATER METER                |  | DOUBLE POST SIGN        |  | STEAM VALVE                  |  | ELECTRIC                   |
|  | POWER POLE                 |  | DEED                    |  | WATER FAUCET                 |  | EAVES DRAIN                |
|  | GUY WIRE                   |  | MEASURED                |  | DRAIN                        |  | ROOF DRAIN                 |
|  | TELEPHONE SPLICE BOX       |  | RADIALLY MEASURED       |  | FLAG POLE                    |  | PLASTIC                    |
|  | CURB INLET                 |  | CALCULATED              |  | FIBER OPTIC TELEPHONE MARKER |  | MARSH AREA                 |
|  | RAILROAD                   |  | POWER/PLAT              |  | AIR CONDITIONER              |  | POST INDICATOR VALVE       |
|  | FENCE                      |  | FOUND                   |  | CLEAN OUT                    |  | PARKING METER              |
|  | CONTINUING LINE            |  | RIGHT-OF-WAY            |  | UTILITY POLE                 |  | STREAM                     |
|  |                            |  | GAS                     |  | WATER BOX                    |  | AREA INLET                 |
|  |                            |  |                         |  |                              |  | GRATE INLET                |
|  |                            |  |                         |  |                              |  | CORRUGATED METAL ARCH PIPE |
|  |                            |  |                         |  |                              |  | FIBER OPTIC                |
|  |                            |  |                         |  |                              |  | PARKING METER              |
|  |                            |  |                         |  |                              |  | FIBER OPTIC                |

**OWNER:**  
WIDMER FARMS LLC, 10841 BEVERLY ST., OVERLAND PARK, KANSAS

**APPLICANT:**  
FIRE DISTRICT #1-JOHNSON COUNTY, KANSAS

**ZONING:**  
RURAL DISTRICT (RUR)

**PROPOSED USE:**  
FIRE STATION

**LAND AREA:**  
11.41 ACRES TOTAL  
11.09 ACRES NET  
0.32 ACRES STREET RIGHT-OF-WAY

**FLOOD PLAIN:**  
THE SUBJECT PROPERTY IS LOCATED IN "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) ACCORDING TO THE JOHNSON COUNTY, KANSAS FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 2009100186, 2009100196, 2009100130 MAP REVISED DATE: AUGUST 3, 2009.

**UTILITY SERVICE NOTE:**  
THE SUBJECT PROPERTY IS SERVICED BY RURAL WATER DISTRICT #7, KANSAS GAS SERVICE, CENTURYLINK, EVERGY, CITY OF EDGERTON, MEDIACOM

**GREG GRANT R.L.S.**  
14343 2450 ROAD  
FONTANA, KANSAS  
913-558-3408

**STAFF REPORT**

October 13, 2020

To: Edgerton Planning Commission  
Fr: Chris Clinton, Planning and Zoning Coordinator  
Re: **FP2020-03** Final Plat for *Johnson County Fire Station #123* located at 33364 W. 191<sup>st</sup> Street, Edgerton, Kansas.

**APPLICATION INFORMATION**

**Applicant:** Johnson County Fire District #1 (JCFD1)  
Deputy Chief Dennis Meyers  
490 New Century Pkwy  
New Century, KS 66031

**Property Owner:** JCFD1  
490 New Century Pkwy  
New Century, KS 66031

**Requested Action:** Final Plat approval for *Johnson County Fire Station #123*

**Legal Description:** NE 1/4 of Section 4, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas; see attached application for complete legal description.

**Site Address/Location:** 33364 W 191<sup>st</sup> Street, Edgerton, KS 66021

**Existing Zoning and Land Uses:** L-P (Logistics Park) District Zoning

**Existing Improvements:** None

**Site Size:** Approximately 11.41 acres

**PROJECT DESCRIPTION**

Application **FP2020-03**, Final Plat for *Johnson County Fire Station #123*, requests approval for two (2) lots. The new lots would have frontage along the north side of W. 191<sup>st</sup> Street right-of-way. This Final Plat request is being made in preparation of construction of a new fire station. This Final Plat request aligns with the request made with Preliminary Plat Application PP2020-03, also presented to the Planning Commission on October 13, 2020. This Final Plat application relocates a lot line that currently separates the parcels into 0.77 acres and 10.36 acres to 5.88 acres and 5.21 acres. These lots have not been platted.

**Subject Property**



## INFRASTRUCTURE AND SERVICES

1. There is no drive access onto the parcel at this time. All drive entrances will be from W. 191<sup>st</sup> Street.
2. Utilities and service providers.
  - a. Water Service – City of Edgerton.
  - b. Sanitary Sewer – City of Edgerton.
  - c. Electrical Service – Evergy.
  - d. Gas Service – Kansas Gas Service.
  - e. Police protection is provided by the City of Edgerton through the Johnson County Sheriff's Office.
  - f. Fire protection is provided by Johnson County Fire District #1.
3. Parcel is located within the Bull Creek watershed.

## FINAL PLAT REVIEW

Staff has reviewed the Final Plat submittal for compliance with the Approved Final Plat requirements in Article 13, Section 13.3 of the Edgerton Unified Development Code. Review comments are listed below.

1. The instrument of survey which shows the point of beginning, corners, bearings, courses, distances, exterior boundaries, interior lot boundaries, abandoned lot lines, pins, monuments found or set. All P.I.'s corners, boundaries must be monumented with a 2" x 24" metal bar. *Monuments found or set are not shown. Confirm monuments have been set and indicate on document. Update Final Plat.*
2. A boundary survey of third order surveying accuracy (maximum closure error one in five thousand (1' in 5,000), with bearings and distances referenced to section or fractional section corners or other base line shown on the plat and readily reproducible on the ground. *The City Engineer has indicated that the survey has not been referenced to section corners (minimum of 3 needed). Provide location and description of each section corner used in boundary survey. The found property or right-of-way monuments need to be shown to indicate how the boundary was established. The City Engineer states the plat is not complete and does not appear to meet the Kansas Minimum Standards for Boundary Surveys. Survey date does not appear to be correct. Update Final Plat.*
3. Individual notations and a TABLE showing: lot area, setbacks, and building envelopes. *A table indicating the lot area, setbacks and building envelopes has not been provided. Correct typo for lot area (ACERS v. ACRES under Lots 1 and 2). Update Final Plat.*
4. All easements with widths, and roads with curve data. *Use dimension line with double arrows to label all existing and proposed easements. Not all easements (U/E) show book and page. Indicate if existing by including book and page; if proposed indicate as such. Update Final Plat.*
5. An instrument of dedication for all roads and easements. *Strike the last paragraph of the dedication as it is not needed. Update Final Plat.*
6. Certificate of the Register of Deeds. *Certificate needs to be added to plat. Upon filing Final Plat with Johnson County Records and Tax Administration the Book/Page information will be added.*
7. Surveyor's certificate and Seal and certificate for survey review by the County Surveyor or designated Land Surveyor. *The Surveyor's Certificate should be stated as follows:*

(STATE OF KANSAS)  
(COUNTY OF JOHNSON) SS:

*I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL SURVEYOR IN THE STATE OF KANSAS WITH EXPERIENCE AND PROFICIENCY IN LAND SURVEYING, THAT THE HERETOFORE DESCRIBED PROPERTY WAS SURVEYED AND SUBDIVIDED BY ME, OR UNDER MY SUPERVISION, THAT ALL SUBDIVISION REGULATIONS OF JOHNSON COUNTY, KANSAS, HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT, THAT THIS SURVEY CONFORMS TO THE KANSAS MINIMUM STANDARDS FOR BOUNDARY SURVEYS, AND THAT ALL THE MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE FIELD WORK WAS COMPLETED \_\_\_\_\_, 2020.*

BY:

\_\_\_\_\_, P.S., #\_\_\_\_

NAME

ADDRESS

PHONE #

#### **OTHER COMMENTS**

1. The signature block for the City Engineer is not needed on the Final Plat and should be removed. ***Update Final Plat.***
2. Ordinance No. 1073 (in the 20' UE) has been noted on the plat but no reference to what this Ordinance means or how it affects the plat has been included. ***Update Final Plat.***
3. Update the Legend to reflect actual abbreviations used in the document – P.O.B., ED. ***Update Final Plat.***

#### **RECOMMENDATION**

City staff recommends **approval** of Application **FP2020-03** Final Plat for *Johnson County Fire Station #123*, subject to compliance with the following stipulations:

1. The commencement of any improvements shall not occur prior to the approval and endorsement of the Final Plat by the Governing Body and the submittal and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the Final Plat. The property owner and/or developer shall work with City staff to determine the best possible placement for a storm water easement and shall dedicate said storm water easement on the submitted Final Plat.
2. The applicant shall meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton Unified Development Code.
3. The applicant shall meet all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton Unified Development Code.
4. All City Engineer comments related to the Stormwater Management Plan must be addressed.
5. All Final Plat requirements of the City listed above shall be met or addressed prior to recording of the Plat.

6. If the Final Plat is not recorded with the Johnson County Register of Deeds within one year after acceptance by the Governing Body, the plat will expire. Planning Commission re-approval and Governing Body re-acceptance is required for expired Final Plats.

**ATTACHMENTS**

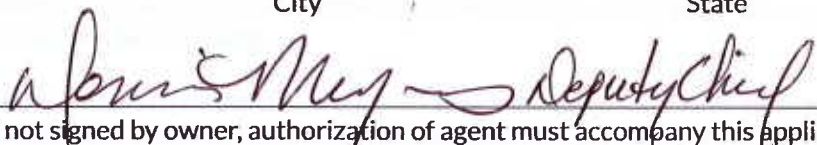
- Application FP2020-03
- Final Plat, *Johnson County Fire Station #123*



☒ INITIAL SUBMISSION☐ RE-REVIEWNAME OF PROPOSED SUBDIVISION: Fire Station 123LOCATION OR ADDRESS OF SUBJECT PROPERTY: 33364 W 191st StreetLEGAL DESCRIPTION: AttachedCURRENT ZONING ON SUBJECT PROPERTY: RUR CURRENT LAND USE: AgricultureTOTAL AREA: 5.53 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: \_\_\_\_\_ Sq. Ft.

DEVELOPER'S NAME(S): \_\_\_\_\_ PHONE: \_\_\_\_\_

COMPANY: \_\_\_\_\_ FAX: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_  
Street City State ZipPROPERTY OWNER'S NAME(S): \_\_\_\_\_ PHONE: (913) 764-7635COMPANY: Johnson County Fire District 1 FAX: \_\_\_\_\_MAILING ADDRESS: 490 New Century Pkwy, New Century, KS 66031  
Street City State ZipENGINEER'S NAME(S): Jonathon Smith PHONE: (913) 451-1818COMPANY: SK Design Group, Inc. FAX: \_\_\_\_\_MAILING ADDRESS: 4600 College Blvd, Suite 100, Overland Park, KS 66211  
Street City State ZipSIGNATURE OF OWNER OR AGENT:   
If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

**FOR OFFICE USE ONLY**Application No.: FP2020-03 Application Fee Paid: \$ \_\_\_\_\_ Date Fee Paid: \_\_\_\_\_ Receipt # \_\_\_\_\_

Publication Fee Paid: \$ \_\_\_\_\_ Date Fee Paid: \_\_\_\_\_ Receipt # \_\_\_\_\_

Received By: 

LOCATION: SEC. 4-15-22  
SCALE 1"=2000'

PROJECT LOCATION

W. 191st ST.

W. 191st ST.

NW

NE

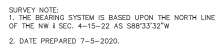
FOUR CORNERS RD.

SW

SE

HONESFELD LANE

W. 199th ST.



**FLOOD PLAIN:**  
THE SUBJECT PROPERTY IS LOCATED IN "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) ACCORDING TO THE JOHNSON COUNTY, KANSAS FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 20091C0118G, 20091C0119G, 20091C0133G MAP REVISED DATE: AUGUST 3, 2009.  
11.41 ACRES

I GREG GRANT, HEREBY CERTIFY THAT ON MAY 10, 2019 I MADE A SURVEY OF THE DESCRIBED TRACT OF LAND, AND THE RESULTS OF SAID SURVEY ARE CORRECTLY REPRESENTED ON THIS PLAT.

**GREG GRANT R.L.S.**  
14343 2450 ROAD  
FONTANA, KANSAS  
913-558-3408

MY APPOINTMENT EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

COURSE: S 02-10-55 E DISTANCE: 462.00  
COURSE: N 87-49-37 E DISTANCE: 253.39  
ARC LENGTH: 321.62 RADIUS: 1021.00 DELTA: -18-02-54  
COURSE: N 69-46-54 E DISTANCE: 1194.35  
COURSE: N 01-26-31 W DISTANCE: 20.00  
COURSE: S 88-33-32 W DISTANCE: 1705.79  
AREA: 496934.20 11.41 ACRES  
ERROR OF CLOSURE: 0.006 COURSE: N 76-25-22 E  
PRECISION: 1:622893.36



## STAFF REPORT

October 13, 2020

To: Edgerton Planning Commission  
Fr: Chris Clinton, Planning and Zoning Coordinator  
Re: **FS2020-09** Final Site Plan for *Johnson County Fire Department #123* located at 33364 W. 191<sup>st</sup> Street, Edgerton, Kansas.

### **APPLICATION INFORMATION**

**Applicant:** Johnson County Fire District #1 (JCFD1)  
Deputy Chief Dennis Meyers  
490 New Century Pkwy  
New Century, KS 66031

**Property Owner:** JCFD1  
490 New Century Pkwy  
New Century, KS 66031

**Requested Action:** Final Site Plan approval for *Johnson County Fire Station #123*

**Legal Description:** NE 1/4 of Section 4, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas; see attached application for complete legal description.

**Site Address/Location:** 33364 West 191<sup>st</sup> Street, Edgerton, KS 66021

**Existing Zoning and Land Uses:** L-P (Logistics Park) District Zoning

**Existing Improvements:** None

**Site Size:** Approximately 11.41 Acres

### **PROJECT DESCRIPTION**

Application **FS2020-09** requests approval for a Final Site Plan for a new fire station to be constructed to the east of the intersection of Four Corners Road and W. 191<sup>st</sup> Street. The Final Plat for this project was presented to the Edgerton Planning Commission during the same meeting, October 13, 2020. The building proposed consists of an operating fire station on the west and administration offices on the east. The middle portion of the building will contain bays for fire apparatuses. The façades of the buildings will be manufactured stone with metal awnings and metal equipment screening.

## **INFRASTRUCTURE AND SERVICES**

Currently, there are no access points to the parcels. This application proposes access from three (3) drives off 191<sup>st</sup> Street. The western most access point will be used for entrance to the employee parking lot and for providing access to fire trucks circling to the rear bay entrances. The middle drive will provide quick access for equipment to exit the facility in response to emergency calls. The eastern access point will be used for the administration side of the building and visitors.

The parcel is located within the Bull Creek watershed with utilities and service providers as follows:

1. Water - Johnson County Water District #7
2. Sanitary Sewer - City of Edgerton
3. Electrical Service - Evergy
4. Gas Service – Kansas Gas Service
5. Police service is provided by the City of Edgerton through the Johnson County Sheriff's Office.
6. Fire protection is provided by Johnson County Fire District #1.

### **Subject Property**



## **FINAL SITE PLAN REVIEW**

Staff has reviewed the Final Site Plan submittal for compliance with the requirements of Article 10, *Site Plans and Design Standards* and Section 5.2, *L-P Logistics Park District* and of the Edgerton Unified Development Code (UDC). Review comments are listed below.

### **Article 10 – Section 10.1 – Site Plan**

1. Exterior lighting specifications including a preliminary photometric plan. A final photometric plan will be required at the time the applicant applies for a Building Permit. Lighting should be installed in an effort to minimize spillover onto adjacent properties and streets. The maximum light level at any point on a property line shall not exceed 0.0 foot-candles when adjacent to an agricultural or residential property or 0.2 foot-candles when adjacent to a nonresidential district, measured five (5) feet above grade. Lights shall be aimed away from adjacent properties and streets and may need to be shielded to meet the foot-candle requirements. The maximum height for luminaries shall not exceed 25 feet as measured between the bottom of the luminaire and grade. *The applicant has not provided a photometric plan with this submittal. **Provide Photometric Plan for staff to review. Must be received and reviewed prior to issuance of building permit.***
2. Site entrance and connection to street. *Applicant has requested a driveway width of 76 feet for the middle driveway off 191st Street. This drive will accommodate the fire apparatus as they leave the station. This width exceeds the 36-foot width typically permitted by the City and will require the approval of a deviation by the Planning Commission. The applicant will provide a memo for the Planning Commission and City staff review which outlines the need for the deviation based upon the unique use of this site, the fire bays and the size of the fire apparatus. This memo will be provided for discussion at the Planning Commission meeting. Additionally, the City Engineer has requested that details for the connection to the City street needs to be provided. The City Engineer stated that the cut needed to install the curb and gutter should not be any farther than two and a half (2.5) feet away from the back of the curb. **Provide supporting documentation to substantiate the width deviation and the street connection details. Update Final Site Plan.***
3. Features to facilitate handicapped access. *As part of his review, the City Engineer has indicated that accessible ramps must be used to connect to the future extension of Essex Street sidewalks. While the Essex sidewalks do not currently connect to 191<sup>st</sup> Street, the handicap accessible ramps on the north side of 191<sup>st</sup> Street should align with the sidewalks when they do extend north from Essex Street. Additionally, citing United States Access Board Advisory 502.3 regarding access aisles, the City Engineer has stated that it is preferable that the accessible route for handicap parking stalls does not pass behind parked vehicles. This comment addresses the two stalls located on the north side of the building. These stalls should be shifted slightly to accommodate walkway access in front of the parked vehicles. **Update Final Site Plan to reflect both of these items.***
4. The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right of way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. Include type of screening that will be used around equipment. *The applicant has indicated there will be screening around rooftop equipment. **City Staff has reviewed the screening material to be used and approves its use for this project. City Staff will monitor the project during construction to ensure screening used meets all code requirements.***

5. Areas or facilities used for trash, trash compacting, recycling containers, service and loading are to be located out of public view from streets, adjacent to residential properties, and other highly visible areas such as parking lots, access drives, and similar areas. *The applicant has indicated that a trash enclosure will be located at the rear of the property and has provided information regarding the structure. Staff has requested color renderings to ensure compliance with code requirements. Update Final Site Plan if necessary after staff review of renderings.*

## **Article 5 – Section 5.2 – L-P Logistics Park District**

1. Landscape Standards
  - a. Maintenance. All landscaping shall be planted and perpetually maintained by the property owner, except where maintained by another entity such as a Property Owner's Association. *The proposed landscaping is extensive and meets the requirements of the L-P District. City Staff will monitor the site to ensure landscaping is maintained.*

## **Other Comments**

1. A storm water management report has been submitted. The following comments should be addressed prior to approval:
  - a. Provide sub-watershed details and calculations such as time of concentration and composite curve number. Enough information should be provided so calculation can be recreated.
  - b. Correct the "Soils" paragraph as HSG C is not more conservative than HSG D. Pervious post-development grass should have a CN of not less than 80.
  - c. Provide the precipitation for each storm event. Use Atlas 14 for precipitation.
  - d. Provide a table summarizing the two detention basins. Include stage, storage, and water elevation for each storm event. Also include the spillway and top of berm elevations.
  - e. Provide information and supporting calculations for the outlet pipe from each outlet structure.
  - f. The outlet structure information shown on the site plan doesn't appear to match the storm water study.
2. A SWPPP has been submitted. The following comments should be addressed prior to approval:
  - a. Provide SWPPP meeting EPA requirements.
  - b. A Land Disturbance Permit has been applied for and documents are currently under review. Issuance of the permit will be required prior to construction commencing.

## **RECOMMENDATIONS**

City staff has two recommendations related to Final Site Plan **FS2020-09**:

1. Upon review of additional documentation with the Planning Commission, staff will provide a recommendation related to the driveway width deviation for **FS2020-09** Final Site Plan for *Fire Station #123*. Any approval of this deviation would be subject to compliance with any stipulations noted during the items' discussion and reflected in the minutes of this meeting.

2. City staff recommends **approval** of **FS2020-09** Final Site Plan for *Fire Station #123*, subject to compliance with the following stipulations:
  - A. The staff recommendations and comments noted in this Staff Report are included as stipulations as part of approval of this Final Site Plan.
  - B. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads and other City requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument.
  - C. The owner, prior to the issuance of any development permit, shall sign all site plans and submit full size renderings to the City. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein and be signed by the owner.

#### **ATTACHMENTS**

- Application for FS2020-09
- Final Site Plan FS2020-09

☐ PRELIMINARY SITE PLAN ☒ FINAL SITE PLAN

NAME OF PROPOSED SUBDIVISION: \_\_\_\_\_

LOCATION OR ADDRESS OF SUBJECT PROPERTY: 33364 W 191st Street, Edgerton, Kansas 66021LEGAL DESCRIPTION: See attachedCURRENT ZONING ON SUBJECT PROPERTY: LP zone applied for CURRENT LAND USE: AgricultureTOTAL AREA: 5.53 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: \_\_\_\_\_ Sq. Ft.

DEVELOPER'S NAME(S): \_\_\_\_\_ PHONE: \_\_\_\_\_

COMPANY: \_\_\_\_\_ FAX: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_  
Street City State ZipPROPERTY OWNER'S NAME(S): \_\_\_\_\_ PHONE: (913) 764-7635COMPANY: Fire District #1 of Johnson County FAX: \_\_\_\_\_MAILING ADDRESS: 490 New Century Pwky, New Century, KS 66031  
Street City State ZipENGINEER'S NAME(S): Jonathon Smith PHONE: (913) 451-1818COMPANY: SK Design Group, Inc. FAX: \_\_\_\_\_MAILING ADDRESS: 4600 College Blvd., Suite 100, Overland Park, KS 66211  
Street City State ZipSIGNATURE OF OWNER OR AGENT: Jonis Meyers Deputy Chief  
If not signed by owner, authorization of agent must accompany this application.**NOTE:** Three (3) copies of the site plan must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.**FOR OFFICE USE ONLY**Case No.: S-FS2020-09 Amount of Fee Paid: \$ \_\_\_\_\_ Date Fee Paid: \_\_\_\_\_ Receipt # \_\_\_\_\_Received By: Christopher Vinton Date of Hearing: 10-8-2020**SITE PLAN INSTRUCTIONS****SUBMITTAL DEADLINE:** The applicant shall submit an application at least thirty (30) working days prior to the public hearing.**NOTICE REQUIREMENTS:** The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.

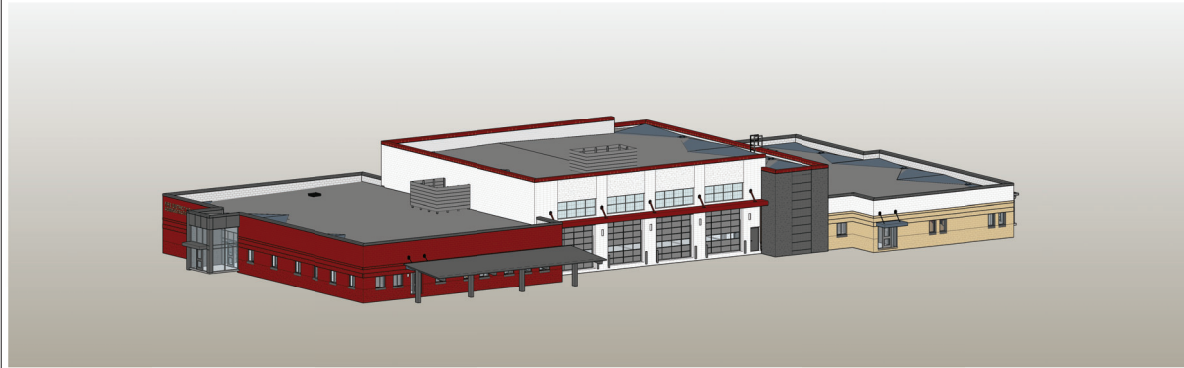


# FIRE STATION #123

FIRE DISTRICT #1 OF JOHNSON COUNTY

## SITE PLAN REVIEW

AUGUST 28, 2020



### ARCHITECTURAL

ARCHIMAGES, INC  
14205 W. 95TH STREET  
LENEXA, KS 66215  
913-378-9533  
www.archimages-sll.com

### STRUCTURAL

KH ENGINEERING GROUP  
15377 WEST 95TH STREET  
LENEXA, KANSAS 66219  
913-825-9381

### CIVIL

SK DESIGN GROUP  
4800 COLLEGE BOULEVARD  
SUITE 100  
OVERLAND PARK, KS 66211  
913-451-1818

### MEP/FP

BRANCH PATTERN  
7400 COLLEGE BOULEVARD  
SUITE 150  
OVERLAND PARK, KS 66210  
913-951-8311

### LANDSCAPE

LANDWORK STUDIO  
102 S. CHERRY STREET,  
2ND FLOOR  
OLATHE, KS 66061  
T: 913-780-6707

### OWNER

FIRE DISTRICT NO. 1 OF  
JOHNSON COUNTY  
490 NEW CENTURY PARKWAY  
NEW CENTURY, KS 66031

### SURVEYOR

INTERTEK-PSI  
1211 W. CAMBRIDGE CIRCLE DRIVE  
KANSAS CITY, KANSAS 66103  
913-310-1600

### PROJECT TYPE:

FIRE STATION AND ADMINISTRATION

### ZONING: L-P

### ACREAGE OF THE SITE: 5.53 ACRES

### CODE INFORMATION:

APPLICABLE BUILDING CODE:  
2006 INTERNATIONAL BUILDING CODE

BUILDING GROSS AREA : 28,146 SQF

OCCUPANT LOAD : 206

TOTAL OF PARKINGS: 86 + 4 (Handicap) = 90 SPACES

### PROJECT ADDRESS

FIRE STATION NO. 123  
33364 WEST 191st STREET  
EDGERTON, KS 66021

### PROJECT LOCATION



### CERTIFICATE:

Received and placed on record this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_

(Zoning Administrator).

Approved by the Edgerton City Planning Commission this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_

(Chair of Planning Commission).

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant signature \_\_\_\_\_ Date 8/28/2020

### SHEET INDEX

|       |                              |
|-------|------------------------------|
| G001  | COVER SHEET                  |
| L01   | LANDSCAPE PLAN               |
| L02   | LANDSCAPE PLAN               |
| C2.01 | SITE DIMENSION & PAVING PLAN |
| C3.01 | OVERALL SITE GRADING PLAN    |
| C4.01 | OVERALL SITE UTILITIES PLAN  |
| C4.11 | EXISTING DRAINAGE AREA MAP   |
| C4.12 | PROPOSED DRAINAGE AREA MAP   |
| A101  | OVERALL FLOOR PLAN           |
| A201  | EXTERIOR ELEVATIONS          |
| E011  | ELECTRICAL SITE PLAN         |



Archimages  
architecture | interiors  
14205 W. 95th Street  
Lenexa, Kansas 66215  
www.archimages-sll.com

[Consultants]

FIRE STATION NO. 123

Proposed:

Revision

No.

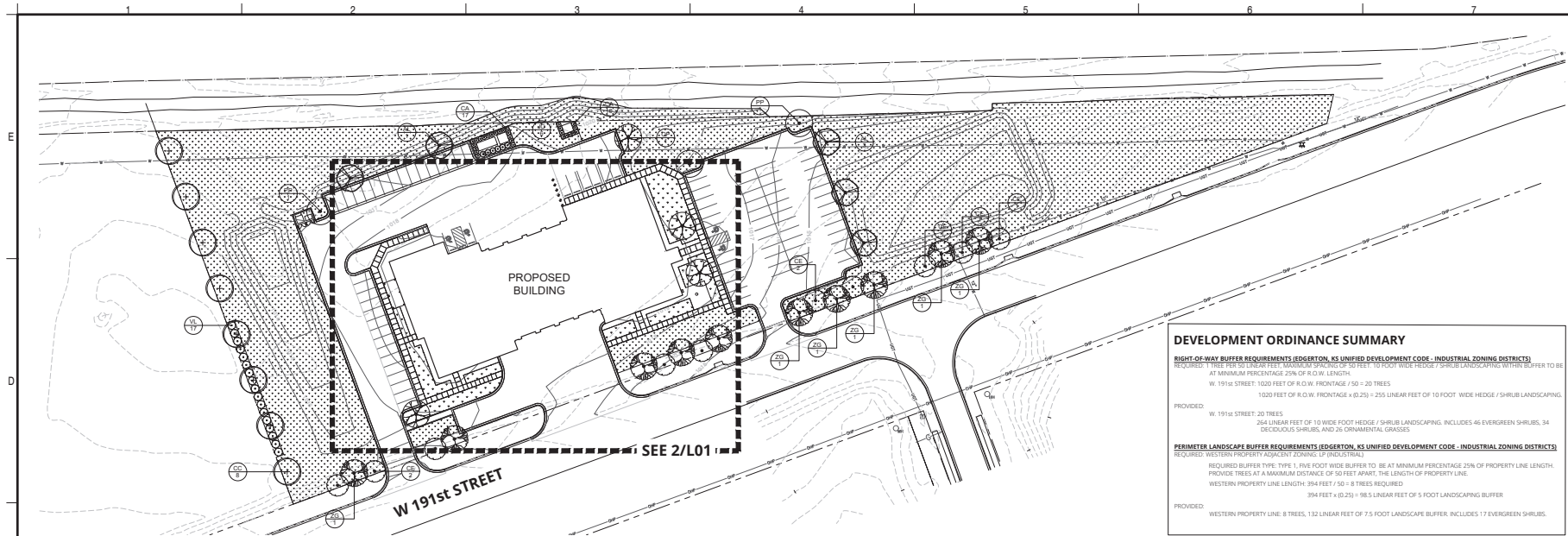
Date

Project No.  
K18526

Sheet No.  
G001

Date  
08/28/2020

COVER SHEET



**DEVELOPMENT ORDINANCE SUMMARY**

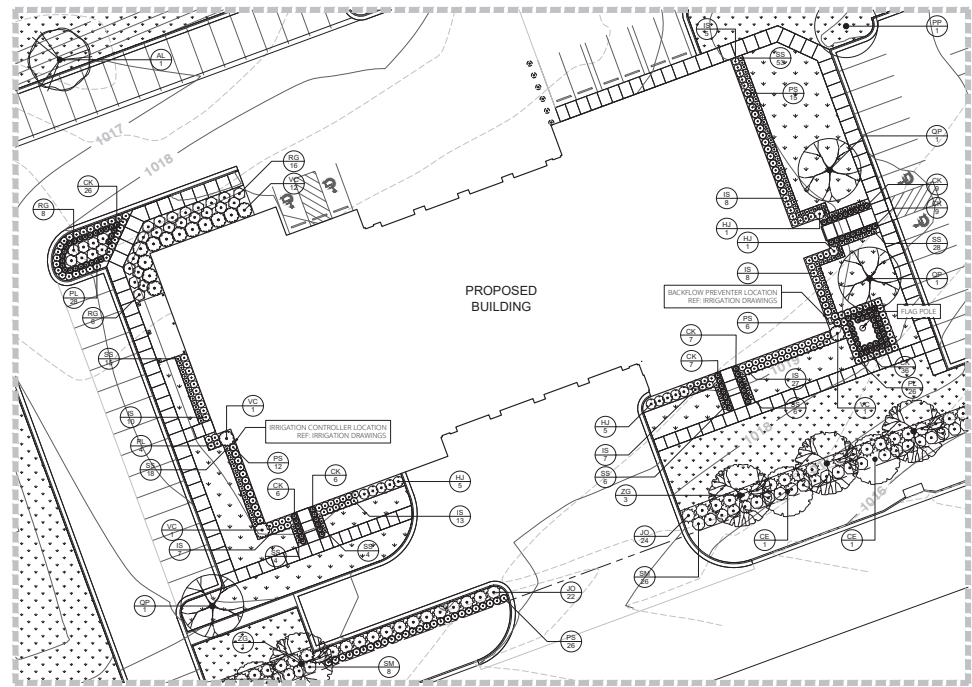
**RIGHT-OF-WAY BUFFER REQUIREMENTS (EDGERTON, KS UNIFIED DEVELOPMENT CODE - INDUSTRIAL ZONING DISTRICTS)**  
 REQUIRED: TREE FREE 50' LINEAR FEET MAXIMUM UNCLIPPED BUFFER TO 10' FOOT WIDE TRUCK / TRAILER LANDSCAPING BUFFER TO BE AT MINIMUM PERCENTAGE 25% OF R.O.W. LENGTH  
 W. 191st STREET: 1000 FEET OF R.O.W. FRONTAGE / 50' = 20 TREES  
 1000 FEET OF R.O.W. FRONTAGE x (0.25) = 255 LINEAR FEET OF 10 FOOT WIDE HEDGE / SHRUB LANDSCAPING.  
 PROVIDED: W. 191st STREET: 20 TREES  
 254 LINEAR FEET OF 10 WIDE FOOT HEDGE / SHRUB LANDSCAPING, INCLUDES 46 EVERGREEN SHRUBS, 34 DECIDUOUS SHRUBS, AND 26 ORNAMENTAL GRASSES

**PERIMETER LANDSCAPE BUFFER REQUIREMENTS (EDGERTON, KS UNIFIED DEVELOPMENT CODE - INDUSTRIAL ZONING DISTRICTS)**  
 REQUIRED: WESTERN PROPERTY ADJACENT ZONING OF INDUSTRIAL  
 REQUIRED BUFFER TYPE: TYPE 1, FIVE FOOT WIDE BUFFER TO BE AT MINIMUM PERCENTAGE 25% OF PROPERTY LINE LENGTH. PROVIDE TREES AT A MAXIMUM DISTANCE OF 50 FEET APART, THE LENGTH OF PROPERTY LINE.  
 WESTERN PROPERTY LINE LENGTH: 394 FEET / 50' = 8 TREES REQUIRED  
 394 FEET x (0.25) = 98.5 LINEAR FEET OF 5 FOOT LANDSCAPING BUFFER  
 PROVIDED: WESTERN PROPERTY LINE: 8 TREES, 132 LINEAR FEET OF 7.5 FOOT LANDSCAPE BUFFER, INCLUDES 17 EVERGREEN SHRUBS.

1 PLANTING PLAN  
SCALE = 1" = 40'

PLANT SCHEDULE

| DECIDUOUS TREES    | CODE       | QTY   | COMMON / BOTANICAL NAME | CONT     | GAL |
|--------------------|------------|---|-------------------------|----------|-----|
| AL                 | 5          | LEGACY SUGAR MAPLE / ACER SACCHARUM 'LEGACY'                      | B & B                   | 2.5' GAL |     |
| CC                 | 8          | HEARTLAND CATALPA / CATALPA SPECIOSA 'HIAMATHA 2' TM              | B & B                   | 2.5' GAL |     |
| CE                 | 10         | EASTERN REDBUD / CERIS CANADENSIS                                 | B & B                   | 2.5' GAL |     |
| PP                 | 3          | PERSIAN IRONWOOD / PARROTIA PERSICA                               | B & B                   | 2.5' GAL |     |
| QP                 | 4          | AMERICAN DREAM OAK / QUERCUS BICOLOR 'JF'S-KW12' TM               | B & B                   | 2.5' GAL |     |
| ZD                 | 10         | GREEN VASE SAWLEAF ZELKOVA / ZELKOVA BERRATA 'GREEN VASE'         | B & B                   | 2.5' GAL |     |
| DECIDUOUS SHRUBS   | CODE       | QTY   | COMMON / BOTANICAL NAME | CONT     |     |
| CA                 | 28         | ARCTIC FIRE DOGWOOD / CORNUS STOLONIFERA 'ARCTIC FIRE'            | 5 GAL                   |          |     |
| HJ                 | 12         | LITTLE LIME HYDRANGEA / HYDRANGEA PANICULATA 'JANE' TM            | 5 GAL                   |          |     |
| RG                 | 30         | GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'                 | 5 GAL                   |          |     |
| SM                 | 34         | DWARF KOREAN LILAC / SYRINGA MEYER 'PALIBIN'                      | 5 GAL                   |          |     |
| VC                 | 15         | KOREAN SPICE VIBURNUM / VIBURNUM CARLESI                          | 5 GAL                   |          |     |
| EVERGREEN SHRUBS   | CODE       | QTY   | COMMON / BOTANICAL NAME | CONT     |     |
| IS                 | 85         | INKBERRY / ILEX GLABRA 'SHAMROCK'                                 | 5 GAL                   |          |     |
| JO                 | 51         | GREY OWL JUNIPER / JUNIPERUS VIRGINIANA 'GREY OWL'                | 5 GAL                   |          |     |
| VL                 | 17         | LEATHERLEAF VIBURNUM / VIBURNUM RHYTIDOPHYLLUM                    | 10 GAL                  |          |     |
| ORNAMENTAL GRASSES | CODE       | QTY   | COMMON / BOTANICAL NAME | CONT     |     |
| OK                 | 106        | FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'   | 3 GAL                   |          |     |
| PS                 | 59         | SHENANDOAH SWITCH GRASS / PANICUM VIRGATUM 'SHENANDOAH'           | 3 GAL                   |          |     |
| SS                 | 134        | 'THE BLUES' LITTLE BLUESTEM / SCHIZACHYRIUM SCOPARIUM 'THE BLUES' | 1 GAL                   |          |     |
| PERENNIALS         | CODE       | QTY   | COMMON / BOTANICAL NAME | CONT     |     |
| PL                 | 58         | RUSSIAN SAGE / PEROVSKIA ATRIPICIFOLIA                            | 1 GAL                   |          |     |
| SOD / SEED         | CODE       | QTY   | COMMON / BOTANICAL NAME | CONT     |     |
| FA                 | 107,418 SF | TALL FESCUE / FESTUCA ARUNDINACEA                                 | SEED                    |          |     |



2 FIRE STATION PLANTING PLAN  
SCALE = 1" = 20'

**Archimages**  
architecture | interiors  
Archimages, Inc. # 14567  
Lapata, Kansas 68215  
www.archimages-ill.com | p: (415) 378-3303

**landworks studio**  
Cherie, KS 66601  
Office: 415.328.0307  
www.landworksstudio.com  
[Consultants]

**FIRE STATION NO. 123**

Proposed:

| No. | Date | Revision |
|-----|------|----------|
|     |      |          |
|     |      |          |
|     |      |          |
|     |      |          |

**LANDSCAPE PLAN**

K18526

Sheet No.  
**L01**

08/28/2020





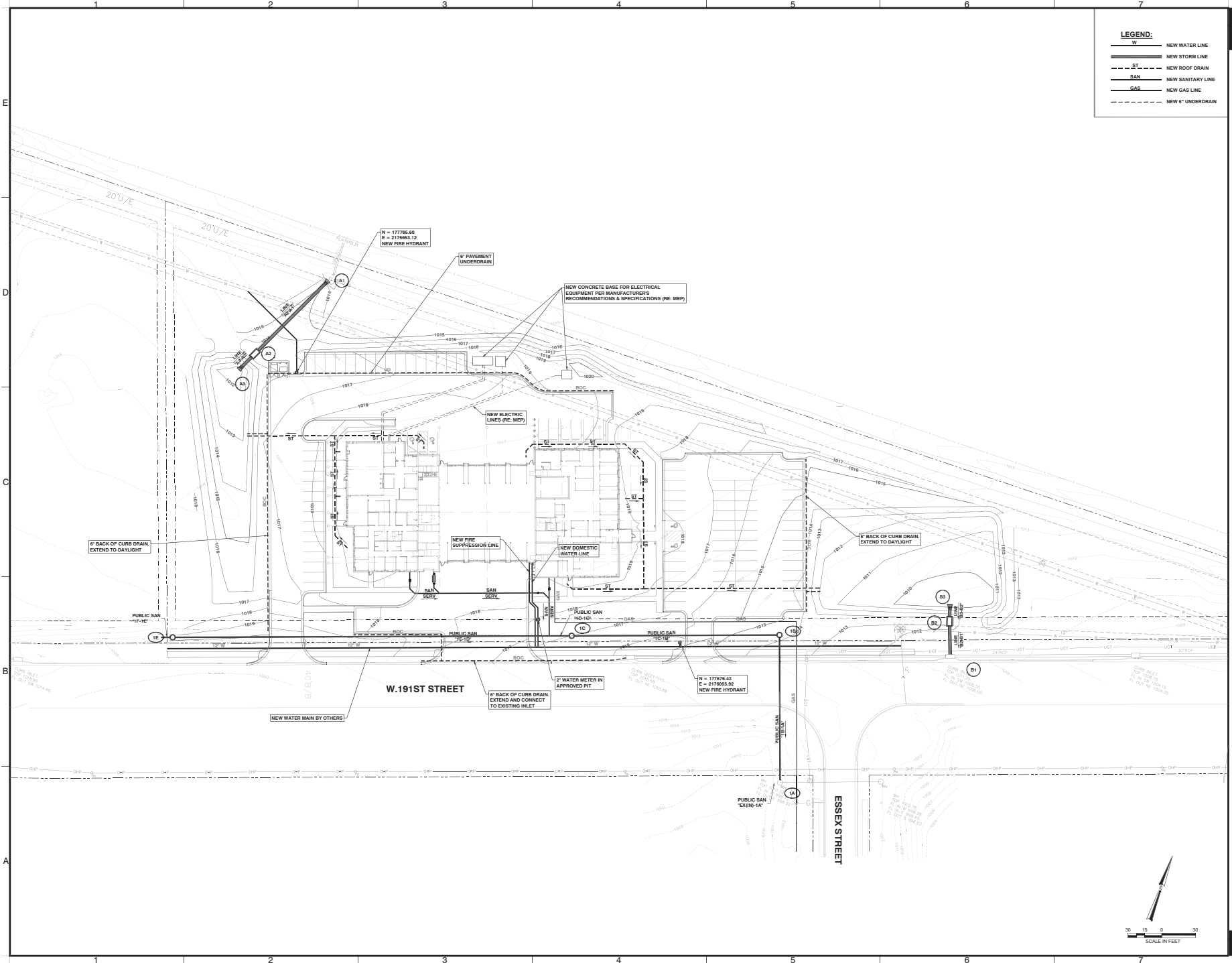
- CONTRACTOR SHALL CALL ALL UTILITIES BEFORE COMMENCING WORK. CONTACT KANSAS ONE CALL AT 8-1-1 TO LOCATE REQUESTED PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES RESULTING FROM LANDSCAPE OPERATIONS. ANY UTILITIES SHOWN ON PLAN ARE FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO ANY EXCAVATION.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. PLANT MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED EQUIVALENT IF THEY CAN BE IDENTIFIED AND SPECIFICALLY TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN PRIOR TO BIDDING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ARCHITECT, PRIOR TO PURCHASING MATERIALS OR STARTING CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL AREAS NOT DESIGNATED AS PAVEMENT OR BUILDING SHALL BE PROTECTED BY COVERING WITH 2" OF CLEAN, DRY, UNCONTAMINATED SAND.
- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, BE THE SPECIES OF SPECIES PLANTS SHALL COMPLY WITH THE FOLLOWING STANDARDS: TREES SHALL BE 100% GUARANTEED, ALL OTHER PLANTS SHALL BE GUARANTEED FOR ONE YEAR.
- PLANTING SHALL BE CONDUCTED PRIOR TO THE DRAINAGE AND THE SOIL AND WATER AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. ROOT BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED BY COVERING BY COVERING WITH 2" OF CLEAN, DRY, UNCONTAMINATED SAND TO MULCH COVERED ROOT BALLS TO KEEP THEM MOIST. IF PLANTING SHOULD BE DELAYED BEYOND 24 HOURS, THE ROOT BALLS SHALL BE COVERED WITH MULCH TO REDUCE LIKELIHOOD OF WINDBURN. REPAINT ANY NECESSARY AFTER PLANTING TO MAINTAIN APPEARANCE.
- PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS. THE FOLLOWING APPLIES FOR GENERAL PLANT LOCATIONS:
  - A. TREES SHALL BE PLANTED AT A MINIMUM OF 2 FEET FROM EDGE OF PAVEMENT AND 10 FEET FROM BUILDINGS.
  - B. TREES SHALL BE PLANTED AT MINIMUM OF 4 FEET FROM EDGE OF PAVEMENT.
- THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL PROVISIONAL ACCEPTANCE OF THE IRRIGATION SYSTEM. CONTRACTOR SHALL MAINTAIN IRRIGATION SYSTEM UNTIL THE OWNER ACCEPTS THE IRRIGATION SYSTEM.
- REMOVE ALL RUBBISH, EQUIPMENT, AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN, AND ORDERLY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL MATERIALS OF OTHER TRADES IN A CLEAN AND UNRESTRICTED CONDITION AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND PLANTS ON THE OWNER'S PROPERTY.
- THE COMPLETE OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT ACCEPTED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY PLANT NOT IN FULL HEALTH AFTER ONE FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ORIGINAL SPECIFICATIONS, FEES OF CHANGE TO THE OWNER.
- CONTRACTOR SHALL GUARANTEE TREES, SHRUBS, PERENNIALS AND TURF FOR ONE YEAR. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY PLANTS NOT ACCEPTED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY PLANTS NOT IN FULL HEALTH AFTER ONE FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ORIGINAL SPECIFICATIONS, FEES OF CHANGE TO THE OWNER.
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08/28/2020



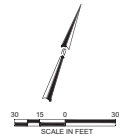


SCALE 3" = 10'  
 SCALE 1 1/2" = 10'  
 SCALE 1" = 10'  
 SCALE 3/4" = 10'  
 SCALE 1/2" = 10'  
 SCALE 3/8" = 10'  
 SCALE 1/4" = 10'  
 SCALE 1/8" = 10'  
 SCALE 3/32" = 10'



**LEGEND:**

|     |                   |
|-----|-------------------|
| W   | NEW WATER LINE    |
| ST  | NEW STORM LINE    |
| SD  | NEW ROOF DRAIN    |
| SAN | NEW SANITARY LINE |
| GAS | NEW GAS LINE      |
| --- | NEW 6" UNDERDRAIN |



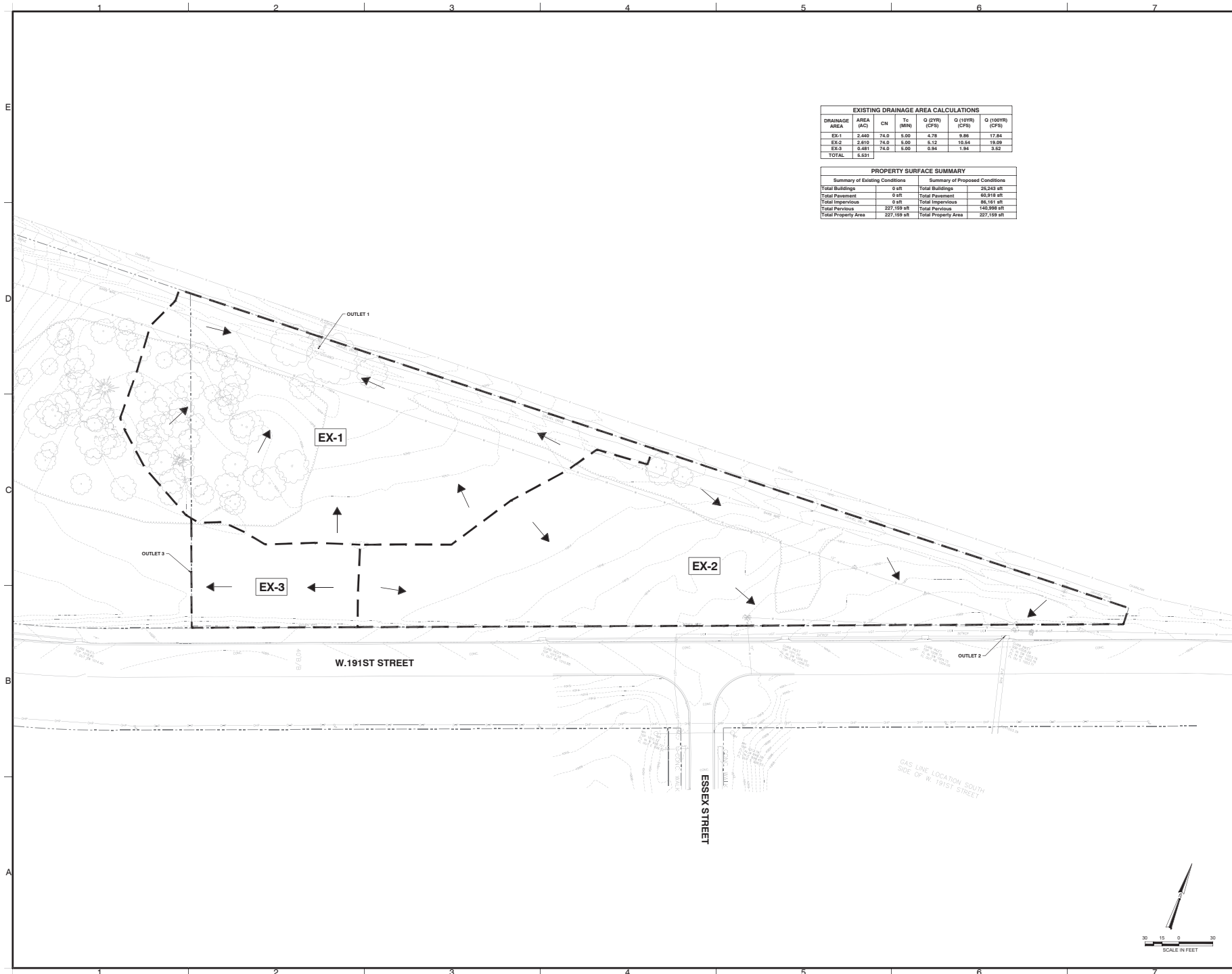
**Archimages**  
 architecture | interiors  
 14005 W. 95th Street - Lenexa, Kansas - 66215  
 www.archimages-ks.com

SK Design Group, Inc.  
 4600 College Boulevard, Suite 100  
 Overland Park, KS 66211  
 Phone: 913-451-1818  
 Fax: 913-451-1299

**Proposed:**  
**FIRE STATION NO. 123**  
**OVERALL UTILITIES PLAN**

Project No. K18826  
 Sheet No. **C4.01**  
 Date: 08/28/2020

SCALE 1/16" = 1'-0"  
 SCALE 1/8" = 1'-0"  
 SCALE 1/4" = 1'-0"  
 SCALE 1/2" = 1'-0"  
 SCALE 3/4" = 1'-0"  
 SCALE 1" = 1'-0"  
 SCALE 1 1/4" = 1'-0"  
 SCALE 1 1/2" = 1'-0"  
 SCALE 1 3/4" = 1'-0"  
 SCALE 2" = 1'-0"  
 SCALE 2 1/2" = 1'-0"  
 SCALE 3" = 1'-0"



| EXISTING DRAINAGE AREA CALCULATIONS |           |      |          |               |                |                 |
|-------------------------------------|-----------|------|----------|---------------|----------------|-----------------|
| DRAINAGE AREA                       | AREA (AC) | CN   | Tc (MIN) | Q (2YR) (CFB) | Q (10YR) (CFB) | Q (100YR) (CFB) |
| EX-1                                | 2.440     | 74.0 | 6.00     | 4.78          | 9.86           | 17.84           |
| EX-2                                | 2.810     | 74.0 | 6.00     | 6.12          | 10.54          | 19.09           |
| EX-3                                | 0.481     | 74.0 | 6.00     | 0.94          | 1.94           | 3.62            |
| TOTAL                               | 5.731     |      |          |               |                |                 |

| PROPERTY SURFACE SUMMARY       |             |                                |             |
|--------------------------------|-------------|--------------------------------|-------------|
| Summary of Existing Conditions |             | Summary of Proposed Conditions |             |
| Total Buildings                | 0 sft       | Total Buildings                | 25,243 sft  |
| Total Pavement                 | 0 sft       | Total Pavement                 | 66,915 sft  |
| Total Impervious               | 0 sft       | Total Impervious               | 66,161 sft  |
| Total Permeable                | 227,159 sft | Total Permeable                | 140,966 sft |
| Total Property Area            | 227,159 sft | Total Property Area            | 227,159 sft |

Project No. K18226  
 Sheet No. C4.11  
 Date 08/28/2020

Proposed:  
 Revision  
 No. Date

FIRE STATION NO. 123  
 1234 WEST 191ST STREET  
 EDGEMONT, KS

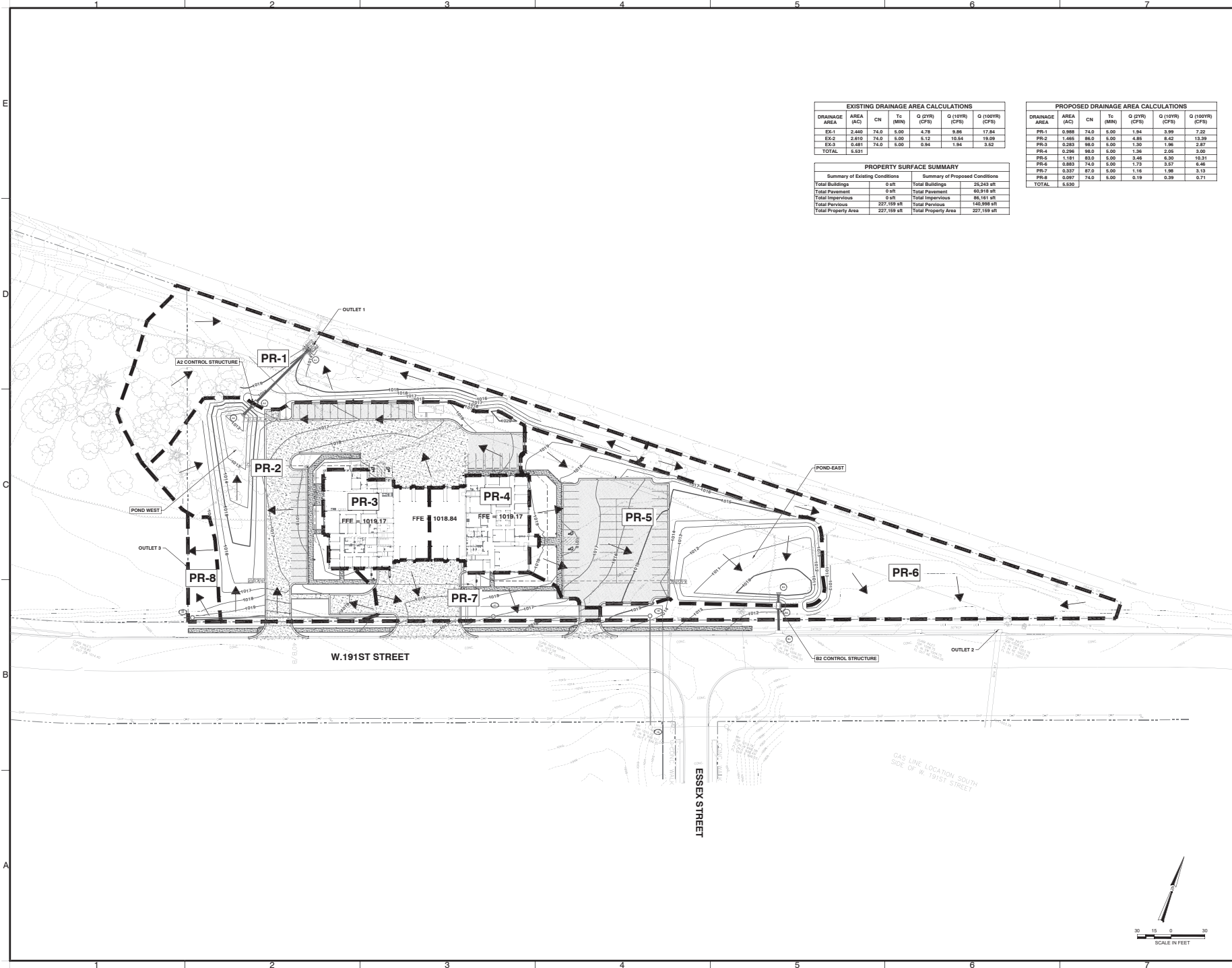
SK  
 SK Design Group, Inc.  
 4400 College Boulevard, Suite 100  
 Overland Park, KS 66211  
 Phone: 913-451-1818  
 Fax: 913-451-7297

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EXISTING DRAINAGE AREA MAP



SCALE 3" = 10' 0  
SCALE 1 1/2" = 10' 0  
SCALE 3/4" = 10' 0  
SCALE 1/2" = 10' 0  
SCALE 3/8" = 10' 0  
SCALE 1/4" = 10' 0  
SCALE 1/8" = 10' 0  
SCALE 3/32" = 10' 0  
SCALE 1/16" = 10' 0



| EXISTING DRAINAGE AREA CALCULATIONS |           |      |          |               |                |                 |
|-------------------------------------|-----------|------|----------|---------------|----------------|-----------------|
| DRAINAGE AREA                       | AREA (AC) | CN   | Tc (MIN) | Q (2YR) (CFS) | Q (10YR) (CFS) | Q (100YR) (CFS) |
| EX-1                                | 2.440     | 74.0 | 6.00     | 4.78          | 9.86           | 17.84           |
| EX-2                                | 2.810     | 74.0 | 6.00     | 6.12          | 10.54          | 19.09           |
| EX-3                                | 0.481     | 74.0 | 6.00     | 0.94          | 1.94           | 3.62            |
| TOTAL                               | 5.731     |      |          |               |                |                 |

| PROPOSED DRAINAGE AREA CALCULATIONS |           |      |          |               |                |                 |
|-------------------------------------|-----------|------|----------|---------------|----------------|-----------------|
| DRAINAGE AREA                       | AREA (AC) | CN   | Tc (MIN) | Q (2YR) (CFS) | Q (10YR) (CFS) | Q (100YR) (CFS) |
| PR-1                                | 0.988     | 74.0 | 6.00     | 1.94          | 3.99           | 7.22            |
| PR-2                                | 1.465     | 68.0 | 6.00     | 4.85          | 8.42           | 13.39           |
| PR-3                                | 0.283     | 98.0 | 6.00     | 1.30          | 1.96           | 2.87            |
| PR-4                                | 0.298     | 98.0 | 6.00     | 1.36          | 2.05           | 2.90            |
| PR-5                                | 1.181     | 69.0 | 6.00     | 3.46          | 6.35           | 10.31           |
| PR-6                                | 0.883     | 74.0 | 6.00     | 1.73          | 3.57           | 6.46            |
| PR-7                                | 0.337     | 67.0 | 6.00     | 1.16          | 1.96           | 3.15            |
| PR-8                                | 0.097     | 74.0 | 6.00     | 0.19          | 0.39           | 0.71            |
| TOTAL                               | 5.530     |      |          |               |                |                 |

| PROPERTY SURFACE SUMMARY       |             |                                |             |
|--------------------------------|-------------|--------------------------------|-------------|
| Summary of Existing Conditions |             | Summary of Proposed Conditions |             |
| Total Buildings                | 0 sft       | Total Buildings                | 25,343 sft  |
| Total Pavement                 | 0 sft       | Total Pavement                 | 66,918 sft  |
| Total Impervious               | 0 sft       | Total Impervious               | 66,161 sft  |
| Total Permeable                | 227,159 sft | Total Permeable                | 140,966 sft |
| Total Property Area            | 227,159 sft | Total Property Area            | 227,159 sft |

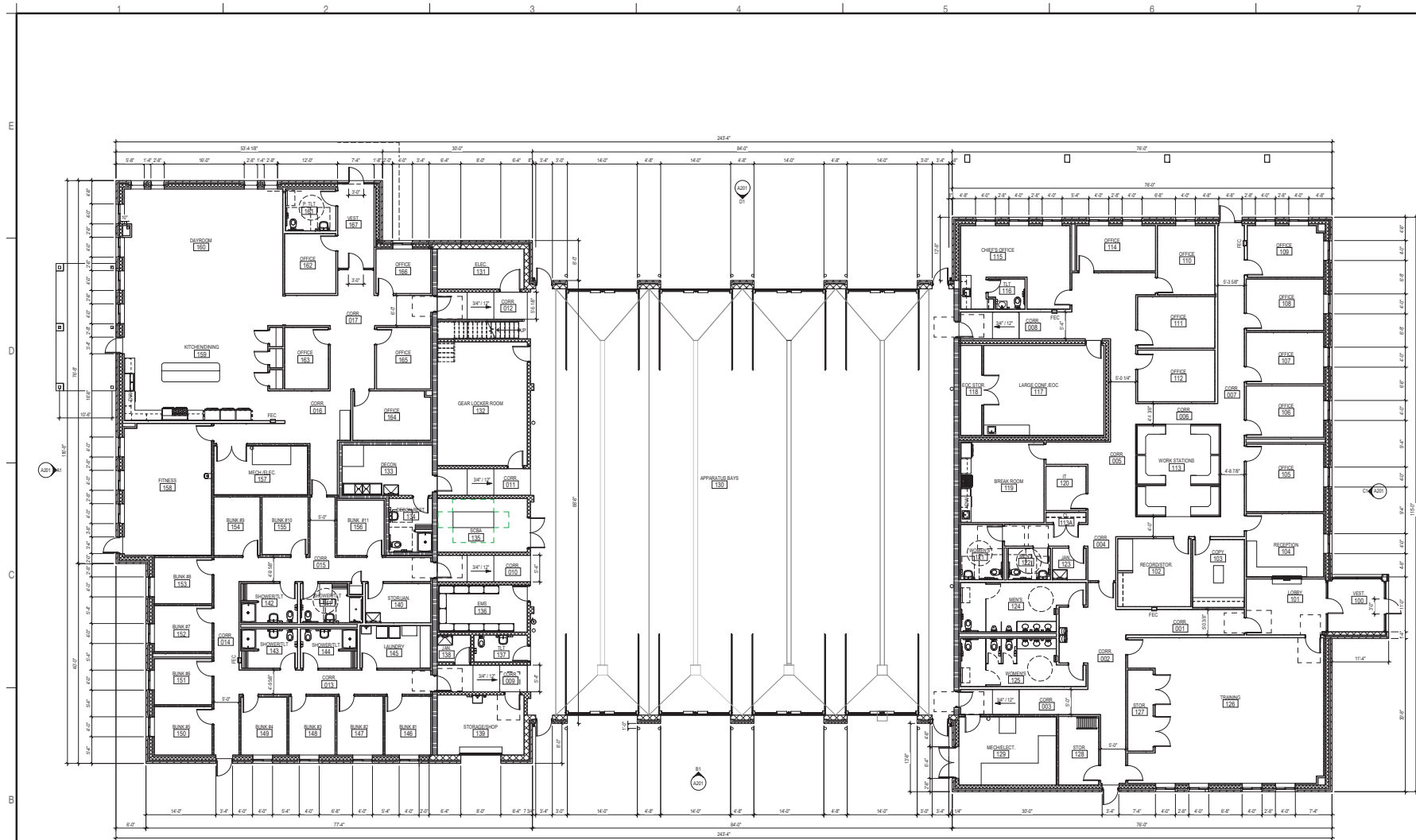
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SK Design Group, Inc.  
4400 College Boulevard, Suite 100  
Overland Park, KS 66211  
Phone: 913-453-1818  
Fax: 913-443-7297

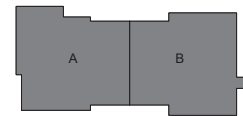
PROPOSED DRAINAGE AREA MAP

Sheet No. **C4.12**

08/28/2020



B1 OVERALL FLOOR PLAN  
1/8" = 1'-0"



KEY PLAN

Proposed:

Revision

No.

Date

FIRE STATION NO. 123

OVERALL FLOOR PLAN

Project No.  
K18526

Sheet No.  
**A101**

Date  
08/28/2020

13304 WEST 19th STREET

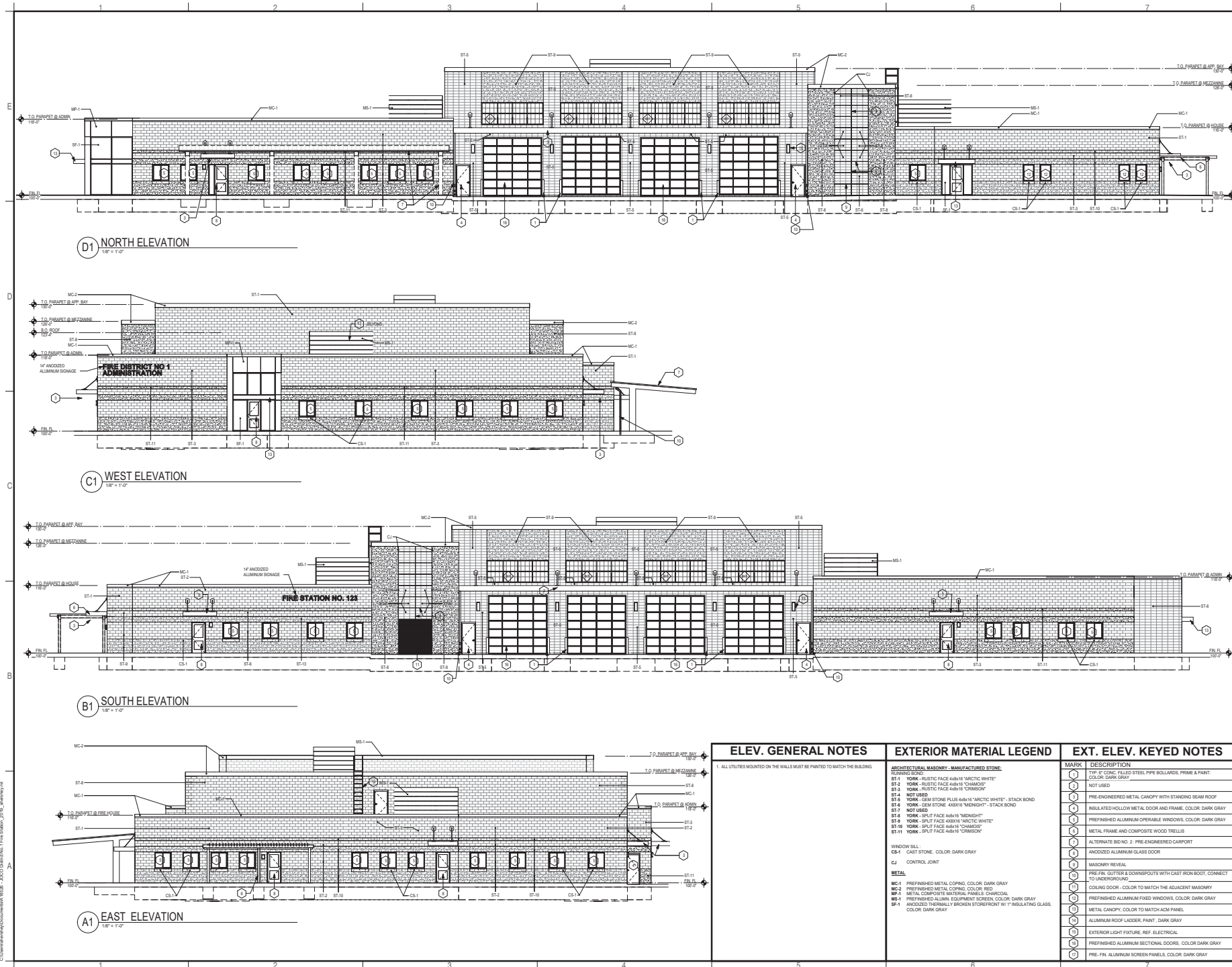
EDGEMONT, KS

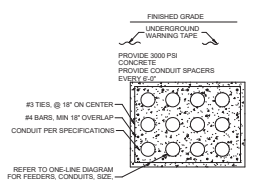
[Consultants]

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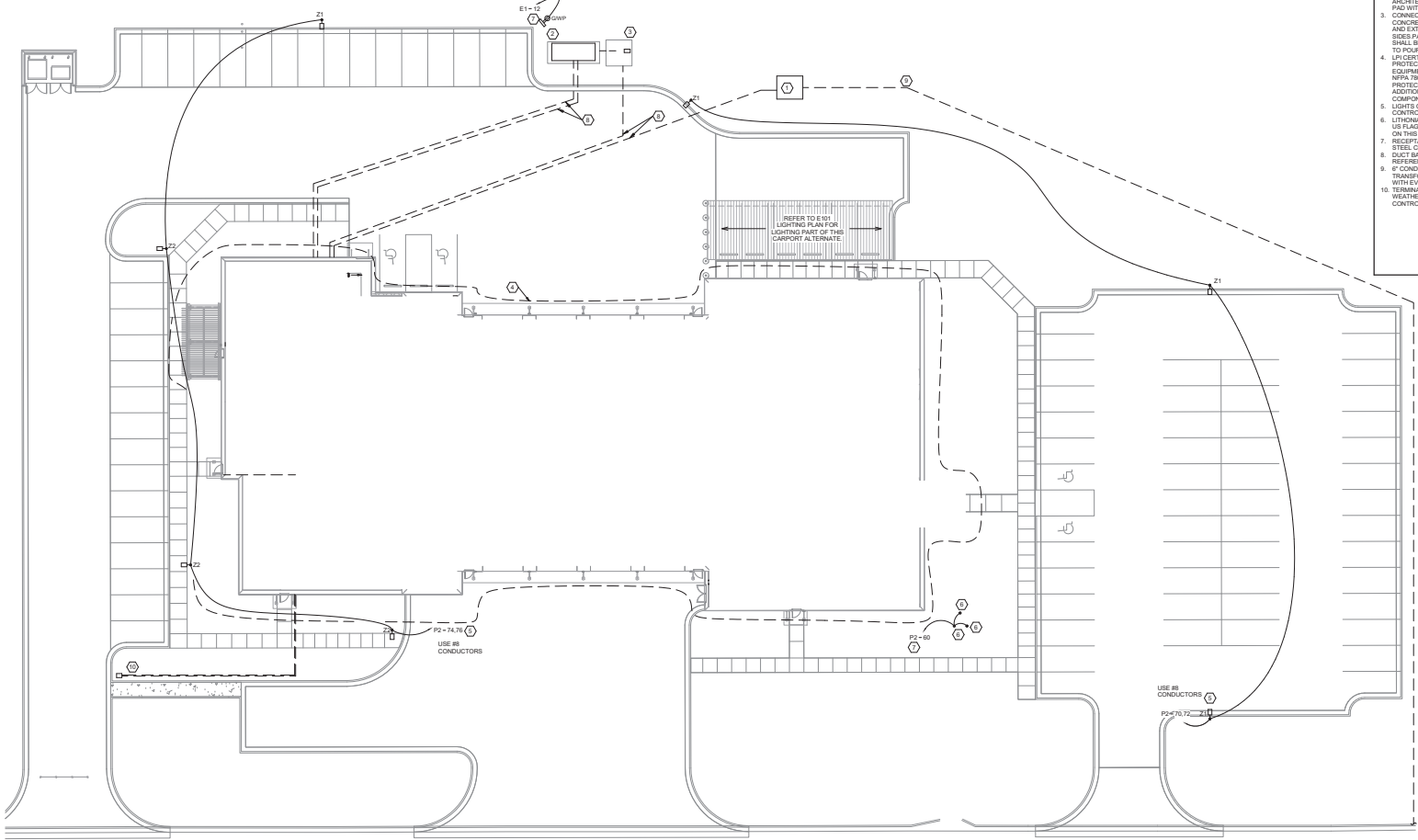








2 TYPICALLY ELECTRICAL SERVICE DUCTBANK  
N.T.S.



1 ELECTRICAL SITE PLAN  
1/16" = 1'-0"

- | GENERAL NOTES |  | (THIS SHEET) |
|---------------|--|--------------|
| 1.            | SEE E001 FOR LEGEND AND ADDITIONAL GENERAL NOTES.  |              |
| 2.            | REFER TO LIGHTING FLOOR PLANS FOR BUILDING MOUNTED LIGHT FIXTURES.                                 |              |
| 3.            | PROVIDE TRACER WIRE 12" ABOVE ALL UNDERGROUND CONDUITS AND DUCT BANKS.                             |              |
| 4.            | FIELD COORDINATE ROUTING OF ALL UNDERGROUND FEEDERS AND BRANCH CIRCUITS TO AVOID ALL OTHER TRADES. |              |
| 5.            | ALL FEEDERS SHALL BE CONCRETE ENCASED WITH MINIMUM 3" COVER ON ALL SIDES.                          |              |

- [illegible]

[illegible]

