

STAFF REPORT

April 13, 2021

To: Edgerton Planning Commission
Fr: Chris Clinton, Planning and Zoning Coordinator
Re: Application **ZA2021-06** - Rezoning of a parcel of land generally located at the southeast corner of Homestead Lane and 191st Street

APPLICATION INFORMATION

Applicant: CY Edgerton, LLC
32355 W 191st Street
Edgerton, KS 66021

Property Owners: Omar Holtgraver
1979 Haskell Road
Ottawa, KS 66067

Requested Action: Rezoning from Johnson County Rural (RUR) Zoning District to City of Edgerton L-P (Logistics Park) Zoning District.

Legal Description: See attached application for complete legal description.

Site Address/Location: 32425 W 207th Street Edgerton, KS 66021

Existing Zoning and Land Uses: Johnson County Rural (RUR), Stockpile storage

Existing Improvements: None

Site Size: 29.39 acres

REASON FOR REZONING REQUEST:

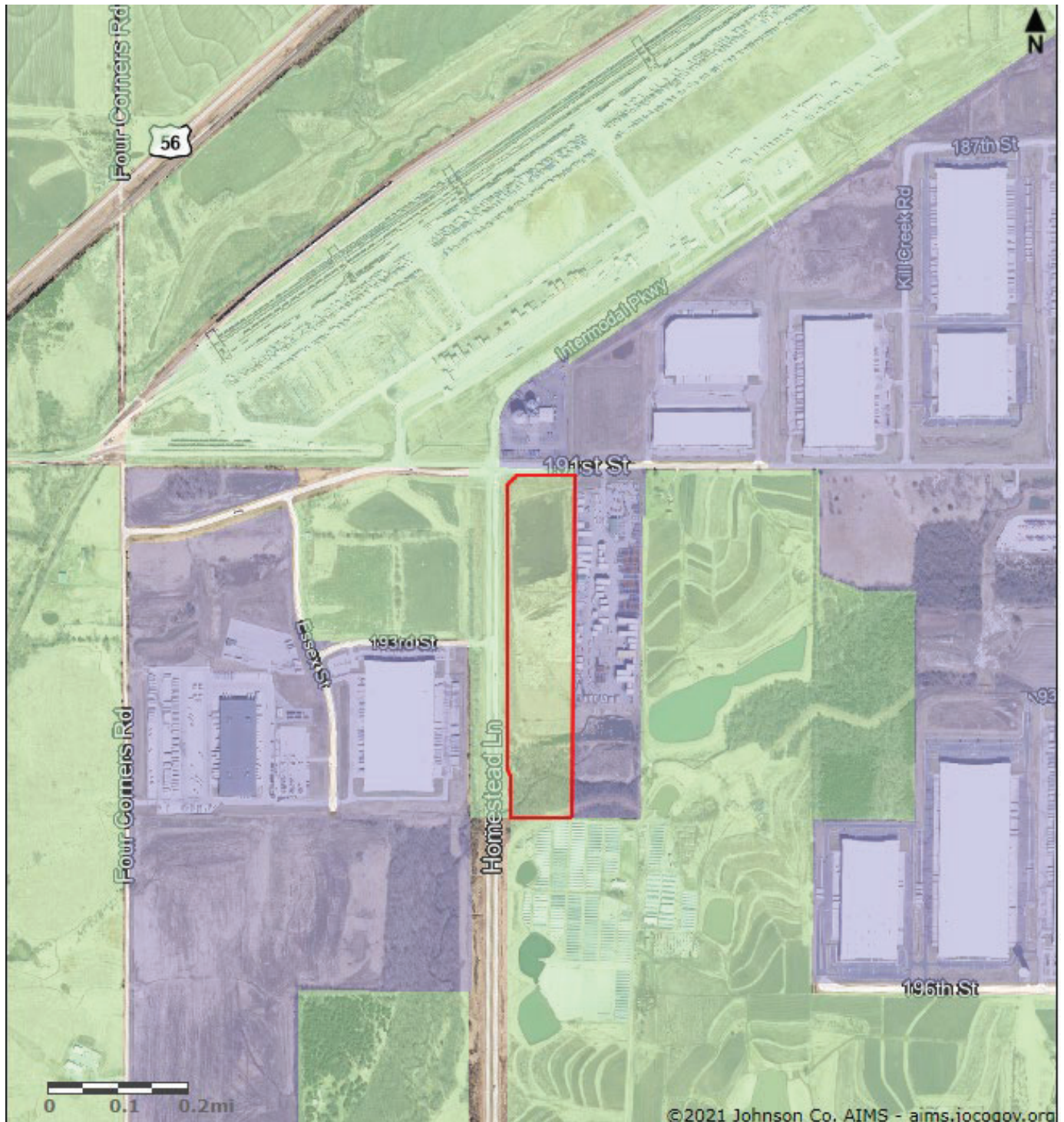
This rezoning is being requested for future intermodal-related, logistics park development. This property was annexed into the City of Edgerton on December 12, 2013 as part of Phase I of Logistics Park Kansas City (LPKC). LPKC is a 2,300-acre master-planned distribution and warehouse development anchored by the Burlington Northern Santa Fe Railway (BNSF) intermodal facility, which opened in late 2013 and is located approximately 800 feet west of the subject site. Due to their adjacency to the intermodal facility, companies located within LPKC benefit from significant transportation savings.



Figure 1 – Subject parcel outlined in red

Green: Johnson County RUR or City of Edgerton A-G

Purple: City of Edgerton Logistics Park (L-P)



INFRASTRUCTURE AND SERVICES

1. Access to the parcel is currently from 191st Street by one private access point.
2. Utilities and service providers.
 - a. Water – Johnson County Water District #7
 - b. Sanitary Sewer – City of Edgerton
 - c. Electrical Service – Evergy
 - d. Gas Service – Kansas Gas Service
 - e. Police services would be provided by the City of Edgerton through the Johnson County Sheriff's Office
 - f. Fire protection is provided by Johnson County Fire District #1
3. Property is located within the Bull Creek watershed.

PROPERTY ZONING HISTORY

The subject property was annexed into the City of Edgerton on December 12, 2013. Prior to that, the property was in unincorporated Johnson County and as of this application the parcels remain zoned Johnson County (RUR).

STAFF ANALYSIS

The applicant has requested rezoning to Logistics Park (L-P) District. The City's Unified Development Code (UDC) states the purpose of the L-P District is to create a limited multimodal industrial zone that provides for modern type industrial uses or industrial park to support activities related to trade, rail, and other transport services. Limitations are placed on the uses in the district to significantly restrict the outside activities and outside storage of materials, noise, vibration, etc. The UDC also states manufacturing uses should be conducted within a totally enclosed building. The conduction of outdoor activities and outdoor storage is not allowed. External effects such as excessive noise or odor should not extend beyond the property lines.

Permitted uses within the L-P District include warehousing/distribution centers; motor freight transportation terminals; manufacturing, processing, fabrication, or assembly of commodity – limited; along with other permitted uses.

Staff has reviewed this rezoning application with respect to the Edgerton Unified Development Code, the laws of Kansas, and the "Golden Criteria" as established by the Supreme Court of Kansas in 1978. The following is staff's review.

1. **Need for the Proposed Change** – When this parcel was annexed into Edgerton, it contained a Johnson County RUR zoning designation as assigned by the County. That zoning designation only allows for an agricultural or residential use and it is considered a holding designation post annexation. Prior to any development occurring on the parcel, rezoning to a City of Edgerton zoning designation is required. The applicant has requested that this parcel be rezoned to L-P to allow for the expansion of an existing cargo container storage facility (CY Edgerton, LLC). Given the stated request to expand an existing L-P conditional use, the parcel's proximity to Logistics Park Kansas City, the BNSF Railway intermodal facility, and the I-35/Homestead interchange, L-P District zoning is the appropriate designation.
2. **Magnitude of the Change** – This parcel is located within the first phase of LPKC and is located adjacent to an existing cargo container lot. The nearby properties are also zoned L-P. Given the parcel's proximity to LPKC, the BNSF Railway intermodal facility, I-35 and the

Homestead Lane interchange, the magnitude of the change would not be considered unusual when the property is being used for industrial development.

3. **Whether or not the change will bring harm to established property rights** - The subject property is surrounded industrial uses. While there is a tree farm to the immediate south of the subject parcel, the L-P zoning designations require significant berming and landscaping to mitigate any impact to adjacent properties. If rezoned L-P, as requested, a separate Site Plan review and approval would be required prior to the issuance of any building permits. Part of a Site Plan review would include attention to buffering and setbacks, stormwater management and the appropriate transition between adjoining properties and any proposed industrial use.
4. **Effective use of Land** - L-P District permitted uses at this location are an effective and efficient use of the property due to its proximity to the BNSF Railway intermodal facility, LPKC and the I-35 interstate system.
5. **The extent to which there is a need in the community for the uses allowed in the proposed zoning** - Construction of warehousing, distribution, limited manufacturing, and related uses near the intermodal facility allow an inland port for goods in transit, by reducing truck traffic in the surrounding area and allowing for more efficient use of the supply chain.
6. **The character of the neighborhood, including but not limited to: zoning, existing and approved land use, platting, density (residential), natural features, and open space** – This parcel is located near the BNSF Railway Intermodal Facility. Continued development of the area includes intermodal related uses. While there are some parcels nearby which contain a Johnson County RUR zoning designation, there is not a current residential use on those parcels. As noted previously, the Site Plan review process can mitigate impacts to adjacent properties with the proper attention to buffering and setbacks, stormwater management, and transition of uses.
7. **Compatibility of the proposed zoning and uses permitted therein with the zoning and uses of nearby properties** - The proposed zoning is compatible the existing zoning and existing use of nearby parcels. The City's Unified Development Code (UDC) states that the purpose of the L-P District is to create a limited multimodal industrial zone which provides for modern types of industrial uses or an industrial park. Limitations are placed on uses in the district to significantly restrict outside activities and the outside storage of materials, noise, vibration, etc. The Site Plan review process is designed to mitigate impacts to adjacent properties with the proper attention to buffering and setbacks, stormwater management, and transition of uses.
8. **Suitability of the uses to which the property has been restricted under its existing zoning** - The existing Johnson County RUR zoning of the applicant property is viewed as a holding designation related to the annexation of the parcel. Johnson County RUR zoning is primarily for agricultural and low-density residential use. An industrial use on a property zoned for agriculture would not be a permitted use therefore, a rezoning to the L-P District is the most appropriate designation for the proposed use indicated by the applicant.
9. **Length of time the subject property has remained vacant under the current zoning designation** - Based upon available aerial photography, the property has been used for agricultural purposes in unincorporated Johnson County dating back to at least 2006.
10. **The extent to which the zoning amendment may detrimentally affect nearby property** - The City's Unified Development Code (UDC) states the purpose of the L-P District is to create a limited multimodal industrial zone that provides for modern types of industrial uses or an industrial park. Limitations are placed on uses in the district to significantly restrict outside activities and the outside storage of materials, noise, vibration, etc. This parcel is

located in the middle of Logistics Park Kansas City and several adjoining parcels already contain an L-P zoning designation. The Site Plan review process can mitigate impacts to adjacent properties with the proper attention to buffering and setbacks, stormwater management, and transition of uses.

11. **Consideration of rezoning applications requesting Planned Development Districts (PUD) for multifamily and non-residential uses should include architectural style, building materials, height, structural mass, siting, and lot coverage** - This is not a request for a PUD.
12. **The availability and adequacy of required utilities and services to serve the uses allowed in the proposed zoning. These utilities and services include, but are not limited to, sanitary and storm sewers, water, electrical and gas service, police and fire protection, schools, parks and recreation facilities and services, and other similar public facilities and services** – Sanitary sewer, electric, and gas utilities are located in the right-of-way adjacent to this property. Water service is currently provided to the adjacent parcel to the east where current operations exist. The developer of the property will be responsible for any extension of any needed utility to the parcel.
13. **The extent to which the uses allowed in the proposed zoning would adversely affect the capacity or safety of that portion of the road network influenced by the uses, or present parking problems in the vicinity of the property** – Homestead Lane and 191st Street have been constructed to accommodate the traffic that will accompany any development on this parcel. During the Site Plan review process, both the type and volume of traffic associated with a new development are evaluated, often with the requirement that a traffic study be performed as part of the applicant's due diligence. This includes evaluating the transportation network in the area and any current and future access points to the parcel. Infrastructure upgrades to accommodate the new development's traffic volume and type are required and adequate off-street parking must be provided as on-street parking is not allowed.
14. **The environmental impacts that the uses allowed in the proposed zoning would create (if any) including, but not limited to, excessive storm water runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting or other environmental harm** - The City will follow National Pollutant Discharge Elimination System (NPDES) guidelines and stormwater management requirements which require any application to address runoff and water pollution mitigation measures as part of the development of the property. Any construction that occurs on site will be required to get a NPDES permit from the State of Kansas and a land disturbance permit from the City. Those permits require a stormwater pollution prevention plan that is reviewed by the City and the State. Mitigation of pollution in the form of air, noise, light, etc., will be addressed as part of the Site Plan review process.
15. **The economic impact on the community from the uses allowed in the proposed zoning** - Uses allowed in the L-P District, have the potential to benefit the residents and the community in a positive way by providing jobs, economic opportunities, and tax revenues to respective jurisdictions. During the Covid-19 pandemic, supply chain logistics were instrumental to delivering food and supplies to areas across the United States. This type of commercial industry continues to be an important contributor to the economy of this area.
16. **The relative gain (if any) to the public health, safety, and welfare from a denial of the rezoning application as compared to the hardship imposed upon the rezoning applicant from such denial** - There would be little relative gain, if any, to the public health, safety, and welfare from the denial of these zoning applications. However, the City and community would be adversely impacted due to the lost opportunities for jobs, economic

activity, and tax revenue if the anticipated logistics park uses and facilities were to locate in another community.

17. **Consistency with the Comprehensive Plan, Capital Improvement Plan, ordinances, policies, and applicable City Code of the City of Edgerton** - The Comprehensive Plan for the City of Edgerton has the area which the property is in designated as appropriate for zoning and uses associated with business park and industrial zoning. City Staff believes that the requested rezoning is compatible with the spirit and intent of future development outlined in the Comprehensive Plan and Future Land Use Map.
18. **The recommendation of professional staff** - See Recommendation below.

Recommendation:

Based on factors 1 through 17 above, City Staff recommends **approval** of proposed rezoning **Application ZA2021-06** from Johnson County Rural (RUR), to City of Edgerton Logistics Park District (L-P) with the following stipulations:

1. All infrastructure requirements of the City for a property located in the "L-P" Logistics Park District shall be met.
2. All platting requirements of the City for a property located in the "L-P" Logistics Park District shall be met.
3. All Site Plan application requirements of the City for a property located in the "L-P" Logistics Park District shall be met.
4. Prior to issuance of building permits, the property shall have a Site Plan which has been reviewed and approved by the City.

Attachments:

- Rezoning Application ZA2021-06.
- City of Edgerton Future Land Use Map

LOCATION OR ADDRESS OF SUBJECT PROPERTY: SE Corner of W 191st Street and Homestead Lane. Reference attached exhibits for location and property boundariesPURPOSE FOR REZONING: For the purpose of constructing and operating an expansion to the adjacent cargo container storage, repair, and maintenance facilityREQUESTED REZONING CHANGE: FROM A-G Agricultural TO L-P Logistics Park
(Current Zoning) (Proposed Zoning)LEGAL DESCRIPTION: see attached descriptionCURRENT LAND USE: Vacant - material stockpilePROPERTY OWNER'S NAME(S): Omar J Holtgraver PHONE: 913-980-8310COMPANY: N/A FAX: _____MAILING ADDRESS: 1979 Haskell Rd., Ottawa, KS 66067
Street City State ZipAPPLICANT/AGENTS NAME(S): Joshua Cooley PHONE: 913-287-2752COMPANY: CY Edgerton, LLC FAX: _____MAILING ADDRESS: 32355 W. 191st St., Edgerton, KS 66201
Street City State ZipENGINEER/ARCHITECT'S NAME(S): Clint Loumaster PHONE: 913-577-8266COMPANY: George Butler Associates, Inc. FAX: _____MAILING ADDRESS: 9801 Renner Boulevard Suite 300, Lenexa, KS 66219-
Street City State Zip

SIGNATURE OF OWNER OR AGENT: _____

If not signed by owner, authorization of agent must accompany this application.

FOR OFFICE USE ONLYCase No.: RZ 2A2021-06 Amount of Fee Paid: \$ 250 Date Fee Paid: 3-4-21 Receipt # 10136771Received By: Veronica Huffman Date of Hearing: 4-13-21**REZONING INSTRUCTIONS****CERTIFIED LETTERS:** The applicant will be responsible for mailing notices (see attached Property Owner Notification Letter) of the public hearing for the requested rezoning by certified mail, return receipt requested, to all owners of land within the notification area: two hundred (200) feet within the city limit, one thousand (1,000) feet in the unincorporated area of the subject property. These notices must be sent a minimum of twenty (20) days prior to the public hearing. Information regarding ownership

vs. 12.28.20

of the land within the notification area can be obtained from the Johnson County Department of Records and Tax Administration, or through a title insurance company (preferred method). A list of property owners within the notification area must be submitted with the application. In addition, the responsible fire protection district (if any), affected school districts, affected park districts and affected sanitary and/or drainage district shall appear on a separate list of notification. Additional parties, specified by the applicant, may appear on the notification list.

AFFIDAVIT OF COMPLIANCE: An affidavit (see attached Property Owner Notification Affidavit) concerning the mailing of property owner notification letters must be returned to the office of the City Clerk by no later than the Thursday preceding the public hearing.

PLANNING COMMISSION REVIEW AND DECISION: The Edgerton Planning Commission meets in the City Hall on the second Tuesday of every month. The agenda and staff reports will be available prior to the public hearing. The chairperson will open the public hearing for each case to hear presentations by the City staff, the owner or authorized agent, and the audience, respectively. After everyone has had the opportunity to speak, the Planning Commission will close or continue the public hearing to a later date. After the public hearing is closed, discussion will be limited to the Planning Commission and action will be taken in the form of a recommendation for approval or denial to the Governing Body.

PROTEST PERIOD: After the conclusion of the public hearing, a fourteen (14) day protest period begins. During the protest period, property owners within the notification area of the subject property may file a petition indicating their protest to the requested rezoning in the office of the City Clerk. The submission of valid protest petitions from property owners of twenty (20) percent of the land within the notification area of the subject property within the allotted time will require a three-quarter (¾) vote for approval by the Governing Body.

GOVERNING BODY ACTION: After the protest period has concluded, the application will be placed on an agenda for the Governing Body Action (typically within thirty (30) days after the conclusion of the public hearing). The Governing Body will review the transcript of the public hearing and the recommendation of the Planning Commission and will take action by concurring with or overriding the Planning Commission recommendation, or by returning the request to the Planning Commission.

CHECKLIST

The following items shall be submitted with the rezoning application. All materials shall be submitted by applicant to the City Clerk at least 30 days in advance of a public hearing.

- ☐ Title or other suitable proof of ownership to the subject property.
- ☐ Legal description of the subject property either in the form of a certificate of survey or a lot and block reference to the official City Map.
- ☐ Sketch of the subject property drawn to scale that details the lot lines, existing features or building, drives and adjacent buildings, and the current use of existing buildings.
- ☐ Any supporting material as requested by the Zoning Administrator depending on the magnitude of the change and the possibility of detrimental effects on surrounding properties. Supporting materials may include, but are not limited to:
 - ☐ Topography at an appropriate scale
 - ☐ A Certificate of Survey
 - ☐ Environmental assessment
 - ☐ Surface water discharge analysis
 - ☐ Facilities and utilities suitability analysis
 - ☐ An analysis of existing wells, tanks and other sub-structures
 - ☐ Traffic and parking analysis
- ☐ List of the names and addresses of owners of all property situated within two hundred (200) feet of the property lines of the subject site. See details in instructions

PROPERTY OWNER NOTIFICATION LETTER

Case No.: RZ- _____

Dear Sir or Madam:

This letter is to notify you that a public hearing will be held at the Edgerton Community Building, 404 E. Nelson St., Edgerton, Kansas, to consider a rezoning change request from A-G Agricultural

(current zoning) to L-P Logistics Park

(proposed zoning), on the following described tract of land:

Legal Description: see attached

General Location: The area proposed to be rezoned is generally located at the Southeast corner of the intersection of 191st Street and Homestead Lane

A public hearing will be held to consider the rezoning request on the above-described tract at 7:00 p.m. on April 13, 20 21. Any interested persons or property owners are invited to attend. Information regarding this rezoning application is available in the office of the City Clerk at City Hall or by phone at (913) 893-6231. You may also contact the undersigned for additional information regarding this rezoning request.

A fourteen (14) day protest period begins at the conclusion of the public hearing during which you may file a protest petition in the office of the City Clerk. If valid protest petitions are received from twenty (20) percent of the property owners within the notification area, a three-quarters ($\frac{3}{4}$) vote of the Governing Body is required to approve this rezoning request.

Respectfully,

Joshua Cooley

Applicant (or Owner or Agent)

ADDRESS: 32355 W. 191st St., Edgerton, KS 66201

Street

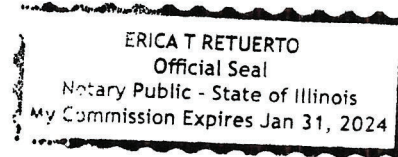
City

State

Zip

PROPERTY OWNER NOTIFICATION AFFIDAVITCase No.: RZ- ZA2021-06I, Joshua Cooley, of lawful age being first duly sworn upon oath, state:That I am the Owner (agent, owner, attorney) for the property for which the application was filed and did, not later than twenty (20) days prior to the date of the public hearing scheduled before the Edgerton Planning Commission, mail certified notice to all persons owning property within the notification area (two hundred (200) feet in the City of Edgerton, one thousand (1,000) feet in the unincorporated area of the subject property) in compliance with the Unified Development Code.These notices were mailed on the 24th day of March, 2021.

Signature of Agent, Owner or AttorneySubscribed and sworn to before me this 24th day of March, 2021.

Notary PublicMy Commission Expires: 1-31-2024 (SEAL)
Date



Johnson Co AIMS Map

LEGEND

AIMS Imagery: 2020

Property

Edgerton

Gardner

56

35

Disclaimer: No person shall sell, give, reproduce, or receive for the purpose of selling or offering for sale, any portion of the data provided herein. Johnson County makes every effort to produce and publish the most current and accurate information possible. Johnson County assumes no liability whatsoever associated with the use or misuse of such data, and disclaims any representation or warranty as to the accuracy and currency of the data.

JOHNSON COUNTY
KANSAS

AIMS GIS & Mapping

3/9/2021

©2021 Johnson Co. AIMS - aims.jocogov.org

Property Information for BF221503-1001

<i>Tax Property ID</i>	BF221503-1001	<i>KS Uniform Parcel #</i>	0462020302001004000
<i>Situs Address</i>	Not Available	<i>Acres</i>	29.39 (1,280,225.21 ft ²)
<i>Owner1 Name</i>	OMAR J HOLTGRAVER REVOCABLE TRUST	<i>Owner2 Name</i>	INDIA L HOLTGRAVER REVOCABLE TRUST
<i>Owner Address</i>	1979 HASKELL RD , OTTAWA, KS 66067	<i>Year Built</i>	0
<i>Class</i>	V	<i>Neighborhood Code</i>	442.N
<i>LACS</i>	9950	<i>Taxing Unit</i>	0591
<i>Zoning</i>	A-G		
<i>City</i>	Edgerton	<i>Zip Code</i>	66021
<i>AIMS Map No.</i>	U03 (T-R-S: 15-22-03)	<i>Quarter Section</i>	NW
<i>Fire Dist.</i>	JoCo FD #1	<i>Sheriff Dist.</i>	0
<i>Commissioner Dist.</i>	6 (Shirley Allenbrand)	<i>FEMA Flood Panel #</i>	20091C0134G
<i>School District</i>	Gardner-Edgerton	<i>High School</i>	Gardner-Edgerton
<i>Middle School</i>	Trail Ridge	<i>Elementary School</i>	Nike
<i>Legal Desc. (abbreviated)</i>	3-15-22 NW1/4 EX 80 AC EX 2.5 AC EX 18.789 AC IN HWY & EX 29.211 AC 29.5 ACS M/L EDC 191		

Property Map for BF221503-1001



[Hide map](#)

[Hide photo](#)

PROPERTY BOUNDARY LEGAL DESCRIPTION
FROM J&J SURVEY DATED: FEBRUARY 5, 2021

PROJECT: Arrowhead Intermodal - 3
20,000 SF New BTS
ARCO Job No. K-710

LOCATION: 32355 W. 191st Street
Edgerton, KS 66021

DATE: February 5, 2021

Deed descriptions

Book 5963, Page 691

A part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas, More Particularly described as follows:

Beginning at the Northwest corner of said Northwest Quarter; Thence North 90° East, along the North line of said Northwest Quarter, a distance of 1035.25 feet, Thence South 0° East, a distance of 740.36 feet; Thence South 90° East, a distance of 282.28 feet; Thence South 0°18'01" West, a distance of 1914.73 feet to a point on the South line of said Northwest Quarter; Thence North 89°44'38" West a distance of 1291.75 feet to the Southwest corner of said Northwest Quarter, Thence North 0°20'27" West, a distance of 2649.33 feet, to the point beginning, containing 74.72 acres.

Also, Lot1, Final PLAT of C Y EDGERTON, part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas

AND EXCEPT:

QUITCLAIM DEED Book 201204, Page 001961

a tract of land in the Northwest Quarter of Section 3, Township 15 South, Range 22 East of the 6th P.M., described as follows: Beginning at the Southwest corner of said Quarter Section: First course, Thence on an assumed bearing of North 88°26'03" East, 300.63 feet along the South line of said Quarter Section; Second course, Thence North 01°49'33" West, 319.56 feet; Third course, Thence North 23°37'38" West 53.85 feet; Fourth course, Thence North 01°49'33" West, 2148.99 feet; Fifth course, Thence North 43°14'32" East, 102.62 feet; Sixth course, Thence North 88°10'23" East 666.09 feet to the West line of a tract of land described in a deed recorded in Book 3047, Page 6 in the Register of Deeds office. JOHNSON COUNTY, KANSAS; Seventh course, Thence North 01°49'37" West, 30.00 feet along said West line; Eighth course, Thence North 88°10'23" East, 306.00 feet to the East line of said tract of land; Ninth course, Thence North 01°49'37" West 30.00 feet along said East line to the North line of said Quarter Section; Tenth course, Thence South 88°10'23" West, 1341.25 feet along said North line to the Northwest corner of said Quarter Section; Eleventh course, Thence South 02°10'09" East, 2649.70 feet along the West line of said Quarter Section to the point of beginning. The above described tract contains 19.00 acres, which includes 1.82 acres of existing right of way, resulting in an acquisition of 17.18 acres, more or less.

March 10, 2021

City of Edgerton
404 E. Nelson St.
Edgerton, KS 66021

Re: Parcel Listings for Certified Letters
ARCO National Construction-KC, LLC
Project: Arrowhead Intermodal
Edgerton, Kansas
ARCO No. K-710

City of Edgerton:

Per application requirements, below is a listing of all owners of land within the notification area (two hundred feet within the city limit) that are to be sent the notices of public hearing for the development in relation to this application. These notices are to be sent by certified mail and a return receipt will be requested.

	PARCEL/SITE ADDRESS	OWNER'S INFORMATION
1.	32355 W. 191 st St. Edgerton, KS 66021	CY Edgerton LLC 20012 W. South Arsenal Rd. Wilmington, IL 60481
2.	32350 W. 199 th St. Edgerton, KS 66021	Prairie Tree, LLC 6701 W. 167 th St. Stilwell, KS 66085
3.	Property ID: BF221504-3002	Widmer Farms, LLC 10841 Beverly St. Overland Park, KS 66211
4.	32901 W. 193 rd St. Edgerton, KS 66021	ELHC XXII LLC 4825 NW 41 st St., Apt. 500 Riverside, MO 64150
5.	Property ID: BF221434-2008	BNSF Railway Company PO Box 961089 Fort Worth, TX 76131
6.	32612 W. 191 st St. Edgerton, KS 66021	City of Edgerton PO Box 255 Edgerton, KS 66021
7.	Property ID: BP25300000 0001A	Delong Co., Inc. (The) PO Box 552 214 Allen St. Clinton, WI 53525
8.	Property ID: BR221504-3003	Johnson County Board of Commissioners 111 S. Cherry St. Olathe, KS 66061

9.	Property ID: BF221504-4002	Edgerton Land Holding Company LLC 4825 NW 41 st St., Suite 500 Riverside, MO 64150
10.	32180 W. 191 st St. Edgerton, KS 66021	Dot's Pretzels LLC PO Box 9739 Fargo, ND 58106
11.	32285 W. 191 st St. Edgerton, KS 66021	Prairie Tree II LLC 6701 W. 167 th St. Stilwell, KS 66085

Sincerely,

ARCO National Construction-KC, LLC

Alex Bruggen
Project Manager

STAFF REPORT

April 13, 2021

To: Edgerton Planning Commission
Fr: Chris Clinton, Planning and Zoning Coordinator
Re: **PP2021-02** Preliminary Plat for *CY Edgerton Second Plat* located at 32355 W. 191st Street, Edgerton, Kansas.

APPLICATION INFORMATION

Applicant: CY Edgerton, LLC
32355 W 191st St
Edgerton, KS 66021

Property Owner: CY Edgerton, LLC
20012 W South Arsenal Rd
Wilmington, IL 60481

And

Omar Holtgraver
1979 Haskell Road
Ottawa, KS 66067

Requested Action: Preliminary Plat approval for *CY Edgerton Second Plat*

Legal Description: NW ¼ of Section 13, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas; see attached application for complete legal description.

Site Address/Location: 32355 W 191st Street, Edgerton, KS 66021

Existing Zoning and Land Uses: L-P (Logistics Park) District Zoning – Cargo Container Storage and A-G (Agricultural) District Zoning – Vacant

Existing Improvements: Cargo Container Storage

Site Size: Approximately 60.50 acres including right-of-way.

DESCRIPTION

Application **PP2021-02** requests approval to plat two (2) parcels in the City of Edgerton located near 32355 W 191st Street into one (1) lot. The current parcels are 31.11 and 29.39 acres respectively. The proposed new lot will be 60.50 acres. These parcels are being platted into one lot in preparation of an expansion of cargo container storage operations on the eastern parcel.

INFRASTRUCTURE AND SERVICES

1. Access to the parcels is from one access point along 191st Street.
2. Utilities and service providers.
 - a. Water Service – City of Edgerton
 - b. Sanitary Sewer – City of Edgerton
 - c. Electrical Service – Evergy
 - d. Gas Service – Kansas Gas Service
 - e. Police protection is provided by the City of Edgerton through the Johnson County Sheriff's Office.
 - f. Fire protection is provided by Johnson County Fire District #1.
3. Parcel is located within the Bull Creek watershed.

PRELIMINARY PLAT REVIEW

Staff has reviewed the Preliminary Plat submittal for compliance with the Approved Preliminary Plat requirements in Article 13, Section 13.3 of the Edgerton Unified Development Code. Review comments are listed below.

Content of Preliminary Plat

1. Ownership of parcel. *The sale of the parcel from Omar and India Holtgraver has not been finalized so the Preliminary Plat should reflect two property owners. **Update Preliminary Plat.***
2. Date surveyed. *The date of when the survey was completed is not provided. **Update Preliminary Plat.***
3. Signature block and date for review of Zoning Administrator. *Signature block is not provided. **Update Preliminary Plat.***
4. Signature block and date for review of City Engineer. *Signature block is not provided. **Update Preliminary Plat.***
5. Signature block and date for review of Chair of Planning Commission. *Signature block is not provided. **Update Preliminary Plat.***
6. Signature block and date for review of Mayor. *Signature block is not provided. **Update Preliminary Plat.***
7. Complete outline drawing of all boundaries, lots, and streets, together with courses, distances and areas. Boundaries must be shown as solid lines and all easements as dashed lines. *Existing easements for the existing sanitary sewer have not been shown. **Update Preliminary Plat.***
8. Rights-of-way and/or easements proposed to be created for all drainage purposes, utilities, walkways, access, and other purposes. *No proposed easements have been shown. A drainage and trail easement must be provided over the floodplain on the western half of the proposed preliminary plat that matches the drainage and trail easement on CY Edgerton Final Plat recorded with the Johnson County RTA on August 18, 2017. Additional utility easements may be necessary, and the plat should be reviewed by utility providers to confirm their requirements. **Update Preliminary Plat.***

9. Proposed location of streets, sidewalks, sanitary sewers, storm water sewers, water mains, and fire hydrants. Plat must show that the water distribution system and the sanitary sewer collection system touch upon each lot, or in an easement appurtenant to each lot. *An agreement not to protest a benefit district for the installation of sidewalk along 191st Street and Homestead Lane will need to be executed. Additionally, the City Engineer has indicated that a walkway needs to be provided from the building to the future 191st Street sidewalk. The existing waterline and proposed utilities have not been shown. **Update Preliminary Plat.***
10. Contours at vertical intervals of 4 feet or less. *The contours have not been shown. **Update Preliminary Plat.***
11. Setbacks, yards and any entrance restrictions. Setbacks shall be shown as a building envelope representing that portion of the lot within the yards and setbacks that can reasonably contain, depending upon watercourses, topography or geology the principal structure and the lateral field (if a lateral field is used). *The setbacks have not been shown. **Update Preliminary Plat.***
12. A copy of the proposed restrictive covenants. ***None have been provided with this application. If there are proposed restrictive covenants, they must be provided with the Final Plat.***

RECOMMENDATION

City staff recommends **approval** of Application **PP2021-02** Preliminary Plat for *CY Edgerton Second Plat*, subject to compliance with the following stipulations:

1. All Preliminary Plat requirements of the City listed above shall be met or addressed.
2. Preliminary Plat shall be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission upon submittal and approval of a written request may grant a one-year extension on the approval of the preliminary plat.

ATTACHMENTS

- Application PP2021-02
- Preliminary Plat for *CY Edgerton Second Plat*

☒ INITIAL SUBMISSION☐ RE-REVIEWNAME OF PROPOSED SUBDIVISION: Arrowhead Phase IIILOCATION OR ADDRESS OF SUBJECT PROPERTY: W 191st Street and Homestead LaneLEGAL DESCRIPTION: Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, KansasCURRENT ZONING ON SUBJECT PROPERTY: Agricultural CURRENT LAND USE: VacantTOTAL AREA: 29.3 Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: N/A Sq. Ft.DEVELOPER'S NAME(S): Joshua Cooley PHONE: 913-287-2752COMPANY: CY Edgerton, LLC FAX: _____MAILING ADDRESS: 32355 W. 191st St., Edgerton, Kansas 66201
Street City State ZipPROPERTY OWNER'S NAME(S): Omar J Holtgraver PHONE: 913-980-8310COMPANY: N/A FAX: _____MAILING ADDRESS: 1979 Haskell Rd., Ottawa, KS 66067
Street City State ZipENGINEER'S NAME(S): Clint Loumaster PHONE: 913-577-8266COMPANY: George Butler Associates, Inc. FAX: _____MAILING ADDRESS: 9801 Renner Boulevard Suite 300, Lenexa, KS 66219-9745
Street City State Zip

SIGNATURE OF OWNER OR AGENT: _____

If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.

FOR OFFICE USE ONLYApplication No.: PP2021-02 Application Fee Paid: \$310* Date Fee Paid: 3/4/21 Receipt # 10136771Publication Fee Paid: \$172.50 Date Fee Paid: 4/1/21 Receipt # 33682337Received By: Veronica Hoffman***300+\$10 per lot**

PRELIMINARY PLAT INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-five (45) days prior to a scheduled meeting.

NOTICE REQUIREMENTS: The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper.

PLANNING COMMISSION REVIEW AND DECISION: The Edgerton Planning Commission meets in the City Hall on the second Tuesday of every month. The Planning Commission shall review the preliminary plat and other material submitted with it to determine conformity with the comprehensive plan and these regulations. The Planning Commission shall act upon the plat within ninety (90) days after submission, unless the subdivider shall waive or consent to an extension of the ninety (90) day period. If the subdivider submits the preliminary and final plats concurrently, the time period shall be ninety (90) days.

APPROVAL LIMITATIONS: The Planning Commission shall approve or deny the preliminary plat as submitted or may approve the plat as submitted subject to specified changes. Upon denial, the Planning Commission must give reason for the denial. If a preliminary plat is denied the applicant shall not submit the same proposal again for a period of one year without written approval of the Planning Commission. Tentative approval shall not constitute a final acceptance of the plat, but authorizes preparation of the final plat. No grading for streets or construction of improvements shall take place in the subdivision prior to approval and endorsement of the final plat and the submittal to and approval of construction plans and drainage plans by the Governing Body. The preliminary plat shall be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission upon submittal and approval of a written request may grant a one-year extension on the approval of the preliminary plat.

GENERAL DESIGN STANDARDS

1. Rights-of-way must conform to the current standards of the American Public Works Association, and greater widths may be required by the Zoning Administrator after preliminary review; utility easements must be a minimum of fifteen (15) feet wide or seven and one-half (7.5) feet for appurtenant utility easements on interior lots. Street lighting and fire hydrants must be indicated in areas planned for residential use. Cul-de-sacs are limited to eight hundred (800) feet in length.
2. All portions of the tract being subdivided shall be taken up in lots (or phases), streets, planned open areas or other uses so that remnants and landlocked areas are not created.
3. All lots must front on a public right-of-way. The Zoning Administrator may grant a waiver from this requirement and allow permanent travel easements when appropriate. When a subdivision is located along arterial roads, adequate buffers must be maintained between the right-of-way and the building line. Residential structures shall have their front on interior roads.
4. Corner lots shall have minimum side-yard setbacks of twenty (20) feet to the street right-of-way and nine (9) feet to the property line of the adjacent interior lot unless approved by the Zoning Administrator.
5. Side lot lines shall be substantially at right angles to street lines.
6. Drainage and watercourse easements are required. Building setbacks from watercourses should be measured from the thread of the stream. Flowage easements may be used to calculate required minimum lot sizes.
7. The lot depth to front lot width ratio shall be no more than 3 to 1.
8. If the development is to be served with public water or sewer, the plat must bear a notation that the subdivision is to be served by these facilities. The Zoning Administrator may not issue a building permit for a lot notated "SERVICED BY PUBLIC WATER/SEWER" without written verification from the public water or sewer district that all distribution or collection lines have been installed and that all lots are either connected or are capable of being connected to central utilities.

The following items shall be included on the preliminary plat.

A North point and scale which is appropriate to the size of the development: one inch equals 50, 100, 150 or 200 feet is typical.

A legal description and current zoning.

- ☐ Names of: Applicant, Subdivision & Streets.
- ☐ Name and seal of surveyor/engineer.
- ☐ Date surveyed.
- ☐ Adequate legend and vicinity map.
- ☐ Signature blocks and date of review of Zoning Administrator, City Engineer, Chair of Planning Commission and Mayor.
- ☐ Complete outline drawing of all boundaries, lots and streets, together with courses, distances and areas. Boundaries must be shown as solid lines and all easements as dashed lines.
- ☐ Rights-of-way and/or easements proposed to be created for all drainage purposes, utilities, walkways, access and other purposes.
- ☐ Proposed location of streets, sidewalks, sanitary sewers, storm water sewers, water mains and fire hydrants. Plat must show that the water distribution system and the sanitary sewer collection system touch upon each lot, or in an easement appurtenant to each lot.

Total acreage and size of each lot.

Contours at vertical intervals of 4 feet or less.

- ☐ Setbacks, yards and any entrance restrictions. Setbacks shall be shown as a building envelope representing that portion of the lot within the yards and setbacks that can reasonably contain, depending upon watercourses, topography or geology, the principal structure and the lateral field (if a lateral field is used).

A copy of the proposed restrictive covenants.

☐

PROPERTY BOUNDARY LEGAL DESCRIPTION
FROM J&J SURVEY DATED: FEBRUARY 5, 2021

PROJECT: Arrowhead Intermodal - 3
20,000 SF New BTS
ARCO Job No. K-710

LOCATION: 32355 W. 191st Street
Edgerton, KS 66021

DATE: February 5, 2021

Deed descriptions

Book 5963, Page 691

A part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas, More Particularly described as follows:

Beginning at the Northwest corner of said Northwest Quarter; Thence North 90° East, along the North line of said Northwest Quarter, a distance of 1035.25 feet, Thence South 0° East, a distance of 740.36 feet; Thence South 90° East, a distance of 282.28 feet; Thence South 0°18'01" West, a distance of 1914.73 feet to a point on the South line of said Northwest Quarter; Thence North 89°44'38" West a distance of 1291.75 feet to the Southwest corner of said Northwest Quarter, Thence North 0°20'27" West, a distance of 2649.33 feet, to the point beginning, containing 74.72 acres.

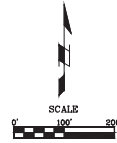
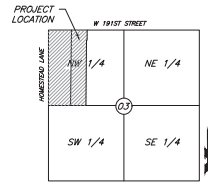
Also, Lot1, Final PLAT of C Y EDGERTON, part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas

AND EXCEPT:

QUITCLAIM DEED Book 201204, Page 001961

a tract of land in the Northwest Quarter of Section 3, Township 15 South, Range 22 East of the 6th P.M., described as follows: Beginning at the Southwest corner of said Quarter Section: First course, Thence on an assumed bearing of North 88°26'03" East, 300.63 feet along the South line of said Quarter Section; Second course, Thence North 01°49'33" West, 319.56 feet; Third course, Thence North 23°37'38" West 53.85 feet; Fourth course, Thence North 01°49'33" West, 2148.99 feet; Fifth course, Thence North 43°14'32" East, 102.62 feet; Sixth course, Thence North 88°10'23" East 666.09 feet to the West line of a tract of land described in a deed recorded in Book 3047, Page 6 in the Register of Deeds office. JOHNSON COUNTY, KANSAS; Seventh course, Thence North 01°49'37" West, 30.00 feet along said West line; Eighth course, Thence North 88°10'23" East, 306.00 feet to the East line of said tract of land; Ninth course, Thence North 01°49'37" West 30.00 feet along said East line to the North line of said Quarter Section; Tenth course, Thence South 88°10'23" West, 1341.25 feet along said North line to the Northwest corner of said Quarter Section; Eleventh course, Thence South 02°10'09" East, 2649.70 feet along the West line of said Quarter Section to the point of beginning. The above described tract contains 19.00 acres, which includes 1.82 acres of existing right of way, resulting in an acquisition of 17.18 acres, more or less.

PRELIMINARY PLAT
CY EDGERTON SECOND PLAT
A REPLAT OF LOT 1, CY EDGERTON
AND PART OF THE NW 1/4, SEC. 3, T. 15 S., R. 22 E.
CITY OF EDGERTON, JOHNSON COUNTY, KANSAS



- LEGEND**
- △ - SECTION CORNER AS NOTED
 - - MONUMENT FOUND AS NOTED
 - - FOUND 1/2" IRON BAR AT CORNER UNLESS OTHERWISE NOTED
 - (P) - PLATTED DISTANCE
 - (M) - MEASURED DISTANCE
 - U/E - UTILITY EXISTENCE
 - B/L - BUILDING LINE
 - D/E - DRAINAGE EXISTENCE
 - T/E - TRAIL EXISTENCE
 - - SANITARY MANHOLE
 - - CLEAN OUT
 - - STORM INLET ROUND
 - ⊕ - POWER POLE
 - ⊕ - TRAFFIC SIGNAL POLE
 - ⊕ - GUY WIRE
 - ⊕ - TELEPHONE PEDESTAL
 - ⊕ - ELECTRIC TRANSFORMER
 - ⊕ - SIGN AS NOTED
 - CHAIN LINK FENCE
 - x—x—x— BARRIED WIRE FENCE
 - s—s—s— SANITARY SEWER LINE
 - s—s—s— STORM LINE
 - o—o—o— OVERHEAD ELECTRIC
 - e—e—e— UNDERGROUND ELECTRIC
 - g—g—g— UNDERGROUND GAS
 - t—t—t— TELEPHONE
 - f—f—f— FIBER OPTIC LINE
 - w—w—w— FENCE WAIN
 - z—z—z— ZONE AE
 - z—z—z— ZONE X

CLIENT:
Alex Bruggen
ARCO CONSTRUCTION
5015 NW Canal Street
Riverside, Mo 64150
Ph. No: (816) 278-1034

OWNER:
CY EDGERTON LLC
20012 W South Arsenal Road
Wilmington, IL 60461
Phone Number: ()

PROPERTY ADDRESS:
32355 W 191st & Homestead Road
Gardner, Kansas 66630

PROPERTY DESCRIPTION:

A Tract of land being part of Lot 1, in the subdivision of CY EDGERTON, in the Northwest Quarter of Section 3, Township 15 South, Range 22 East, Edgerton, Johnson County, Kansas, being more or particularly described as follows:

Beginning at the Northeast corner of said Lot 1; Thence South 01°49'51" East, along the East line of said Lot 1 294.95 feet; Thence South 88°10'11" West 21.73 feet; Thence South 01°31'31" East along the East line of Lot 1 to the Southeast corner of established South line Northwest Quarter Section 3, Township 15 South, Range 22 East as established; Thence South 88°26'21" West, along the South line of Northwest Quarter Section 3, Township 15 South, Range 22 East to the Right-of-Way of Homestead Road; Thence North 01°51'34" West, 318.65 feet; Thence North 23°31'21" West, 53.61 feet; Thence North 01°49'41" West, along the East Right-of-Way of Homestead Road, 2149.02 feet; Thence North 43°08'42" East 102.51 feet; Thence North 88°10'24" East, along the South Right-of-Way of 191st Street, 972.08 feet; to Point of Beginning. Contains 2,635,394 square feet or 60.50 acres

GENERAL SURVEY NOTES:

- 1.) The plat of CY EDGERTON FINAL PLAT part of the NORTHWEST QUARTER of SECTION 3, TOWNSHIP 15 SOUTH, RANGE 22 EAST, in the City of Edgerton, JOHNSON COUNTY, KANSAS is recorded in Plat Book 201708 at Page 006484 in the Register of Deeds Office in Johnson County, Kansas.
- 2.) Title Report # 1087335 dated January 8, 2021 at 8:00 AM provided by Stewart Title Company was provided by client.
- 3.) Bearings used on this survey are based on the KANSAS STATE PLANE NORTH ZONE of PT. of NW 1/4 SECTION 3-15-22 JOHNSON COUNTY, KANSAS SURVEY.
- 4.) The subject property is located in Zone AE & Zone X areas. Zone X is determined to be outside the 0.2% annual chance floodplain, as well as other flood areas. Zone X, defined as areas of 1% annual chance of flood based on future conditions hydrology. No base flood elevations determined. Is determined as shown on Flood Insurance Rate Map (FIRM) 25091C01340, effective August 3, 2009. Special Flood Hazard Areas (SFHAs) subject to inundation by 1% annual chance of flood, ZONE AE defined as base flood elevations determined.
- 5.) ZONING: The East half ZONED Industrial (L-P Logistics Park) West half ZONED Agricultural (A-G)

UTILITY NOTE:

The utilities on this survey are shown based on source information from plans and markings and were correlated with observed evidence of utilities pursuant to Section 5.2.1b to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately determined, and reliability depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.

CERTIFICATION:

I hereby certify that this drawing is based on an actual field survey made by me or under my direct supervision on the 5th day of February, 2021 and that the results are correctly shown and said survey meets or exceeds the current Kansas Minimum Standards for a Plat or Certificate of Survey, to the best of my knowledge and belief.

SHEET 1 OF 1

1	INITIAL SUBMITTAL	2-18-21
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		
51		
52		
53		
54		
55		
56		
57		
58		
59		
60		
61		
62		
63		
64		
65		
66		
67		
68		
69		
70		
71		
72		
73		
74		
75		
76		
77		
78		
79		
80		
81		
82		
83		
84		
85		
86		
87		
88		
89		
90		
91		
92		
93		
94		
95		
96		
97		
98		
99		
100		

Location: S\21.026-191st & Homestead\DRAWINGS\PRELIMINARY\PLAT.dwg- Feb 24, 2021-2:49pm



2-24-21
John B. Young LS-1298

STAFF REPORT

April 13, 2021

To: Edgerton Planning Commission
Fr: Chris Clinton, Planning and Zoning Coordinator
Re: **FP2021-02** Final Plat for *CY Edgerton Second Plat (Arrowhead)* generally located at the southeast corner of Homestead Lane and 191st Street.

APPLICATION INFORMATION

Applicant: CY Edgerton
32355 W 191st Street
Edgerton, KS 66201

Property Owner: CY Edgerton, LLC
20012 W South Arsenal Rd
Wilmington, IL 60481

And

Omar Holtgraver
1979 Haskell Road
Ottawa, KS 66067

Requested Action: Final Plat approval for *Arrowhead*.

Legal Description: NW ¼ Section 3, Township 15 S, Range 22 E, in the City of Edgerton, Johnson County, Kansas; see attached application for complete legal description.

Site Address/Location: Southeast corner of Homestead Lane and 191st Street

Existing Zoning and Land Uses: L-P (Logistics Park) District Zoning

Existing Improvements: None

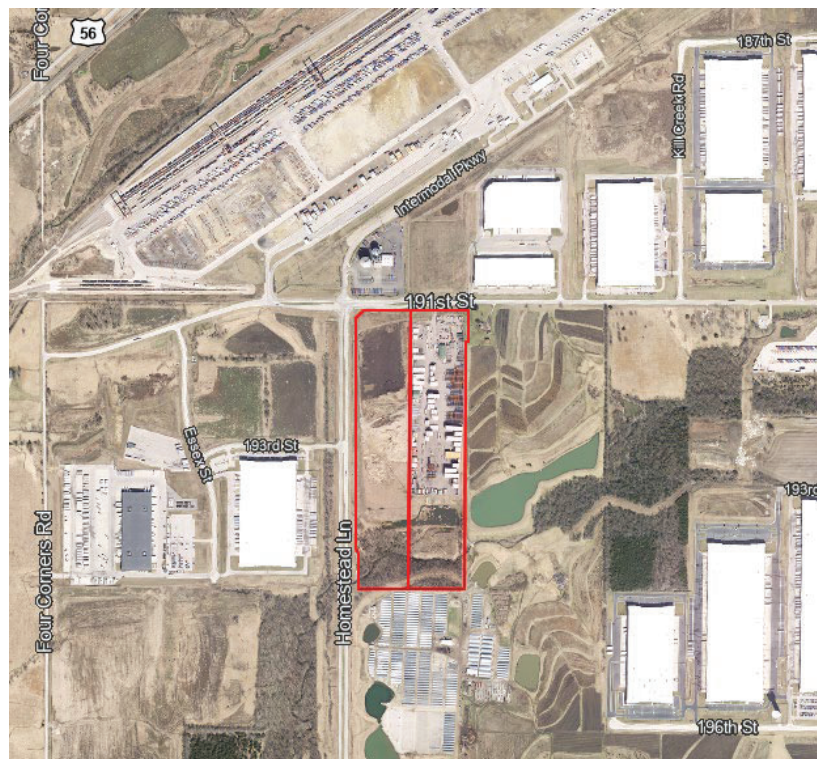
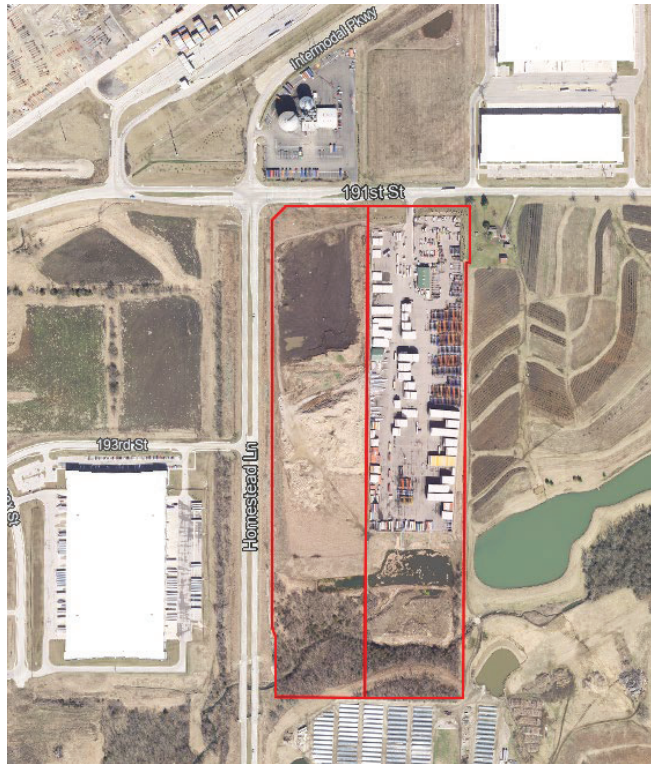
Site Size: Approximately 60.50 acres

PROJECT DESCRIPTION

Application **FP2021-02**, Final Plat for *Arrowhead*, requests approval for the platting of one (1) lot. The new lot would have frontage along the south side of 191st Street right-of-way and the east side of Homestead Lane right-of-way. This Final Plat request is being made in preparation to expand the existing cargo container storage lot that is currently located on the eastern parcel. This Final Plat request aligns with the request made with Preliminary Plat Application PP2021-02, also

presented to the Planning Commission on April 13, 2021. This Final Plat application combines two (2) lots, one of which has been platted prior and one that has not.

Subject Property



INFRASTRUCTURE AND SERVICES

1. Current access to the parcels is from 191st Street.
2. Utilities and service providers.
 - a. Water Service – City of Edgerton.
 - b. Sanitary Sewer – City of Edgerton.
 - c. Electrical Service – Evergy.
 - d. Gas Service – Kansas Gas Service.
 - e. Police protection is provided by the City of Edgerton through the Johnson County Sheriff's Office.
 - f. Fire protection is provided by Johnson County Fire District #1.
3. Parcel is located within the Bull Creek watershed.

FINAL PLAT REVIEW

Staff has reviewed the Final Plat submittal for compliance with the Approved Final Plat requirements in Article 13, Section 13.3 of the Edgerton Unified Development Code. Review comments are listed below.

1. Ownership of parcel. *The sale of the parcel from Omar and India Holtgraver has not been finalized so the Final Plat should reflect two property owners. **Update Final Plat.***
2. The instrument of survey which shows the point of beginning, corners, bearings, courses, distances, exterior boundaries, interior lot boundaries, abandoned lot lines, pins, monuments found or set. All P.I.'s corners must be monumented with a 2" x 24" metal bar. *All corners should be shown with set or found monuments and it must be confirmed that all the monuments have been set. The SE corner of the NW ¼, (3-15-22) is a supporting section corner. It is shown as calculated but the City Engineer believes the corner exists and reference ties also exist. This corner should be found or reset according to those ties. The plat should be revised based upon the location of this section corner. Additionally, Lot 1 needs to be labeled in the southeast corner. **Update Final Plat.***
3. A boundary survey of third order surveying accuracy (maximum closure error one in five thousand (1' in 5,000)), with bearings and distances referenced to section or fractional section corners or other base line shown on the plat and readily reproducible on the ground. *City Engineer has indicated the closure error has not been provided. **Update Final Plat.***
4. Individual notation and a TABLE showing: lot area, setbacks, and building envelopes. *This table is missing and there is a building line setback going down the middle of the plat that needs to be removed as the set back is from the property lines. **Update Final Plat.***
5. All easements with widths, and roads with curve data. *Existing easements for the sanitary sewer pump station, force mains, and gravity sewer have not been shown. Additionally, a drainage and trail easement must be provided over the floodplain on the western half of the proposed plat that matches the drainage and trail easement on CY Edgerton Final Plat recorded with the Johnson County RTA on August 18, 2017. Additional utility easements may be necessary, and the plat should be reviewed by utility providers to confirm their requirements. **Update Final Plat.***
6. A written legal description from the survey. *Review legal description – phrase "SECOND PLAT" should be removed. **Update Final Plat.***
7. An instrument of dedication for all roads and easements. *There are typos in the dedication portion. **Update Final Plat.***

8. Private travel easements. *There is an existing access easement. Is this easement still needed or can it be vacated with this Final Plat? **Update Final Plat as needed.***
9. Certificate of the Governing Body with City Clerk's attest and Seal. *The City Clerk is not correct. **Update Final Plat.***
10. Edgerton City Planning Commission chair and secretary approval. *The names shown are not correct. **Update Final Plat.***
11. Certificate of the Register of Deeds. *Certificate needs to be added to plat. **Upon filing Final Plat with Johnson County Records and Tax Administration the Book/Page information will be added.***
12. Certificate of the Zoning Administrator. *The name of the Zoning Administrator is not correct. **Update Final Plat.***

OTHER COMMENTS

1. The Johnson County RTA limits plat document size to 36" x 30". *Submitted document is 42" x 30". **Submit document correctly sized for recording.***
2. The property address is incorrectly listed as Gardner, Kansas. ***Update Final Plat.***
3. A phone number needs to be provided for the property owner. ***Update Final Plat.***
4. There are several typographical errors which need to be corrected. ***Update Final Plat.***

RECOMMENDATION

City staff recommends **approval** of Application **FP2021-02** Final Plat for *Arrowhead*, subject to compliance with the following stipulations:

1. The commencement of any improvements shall not occur prior to the approval and endorsement of the Final Plat by the Governing Body and the submittal and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the Final Plat. The property owner and/or developer shall work with City staff to determine the best possible placement for a storm water easement and shall dedicate said storm water easement on the submitted Final Plat.
2. The applicant shall meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton Unified Development Code.
3. The applicant shall meet all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton Unified Development Code.
4. All City Engineer comments related to the Stormwater Management Plan must be addressed.
5. All Final Plat requirements of the City listed above shall be met or addressed prior to recording of the Plat.
6. If the Final Plat is not recorded with the Johnson County Register of Deeds within one year after acceptance by the Governing Body, the plat will expire. Planning Commission re-approval and Governing Body re-acceptance is required for expired Final Plats.

ATTACHMENTS

- Application FP2021-02
- Final Plat, *Arrowhead*

☒ INITIAL SUBMISSION☐ RE-REVIEW

NAME OF PROPOSED SUBDIVISION: Arrowhead Phase III

LOCATION OR ADDRESS OF SUBJECT PROPERTY: W 191st Street and Homestead Lane

LEGAL DESCRIPTION: Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas

CURRENT ZONING ON SUBJECT PROPERTY: 29.3 Agricultural CURRENT LAND USE: 1 Vacant

TOTAL AREA: _____ Acres NUMBER OF LOTS: _____ AVG. LOT SIZE: N/A Sq. Ft.

DEVELOPER'S NAME(S): Joshua Cooley PHONE: 913-287-2752

COMPANY: CY Edgerton, LLC FAX: _____

MAILING ADDRESS: 32355 W. 191st St., Edgerton, Kansas 66201

PROPERTY OWNER'S NAME(S): Omar J Holtgraver PHONE: 913-980-8310

COMPANY: N/A FAX: _____



MAILING ADDRESS: 179 Haskell Rd., Ottawa, KS 66067

ENGINEER'S NAME(S): Clint Loumaster PHONE: 913-577-8266

COMPANY: George Butler Associates, Inc. FAX: _____

MAILING ADDRESS: 9801 Renner Boulevard Suite 300, Lenexa, KS 66219-9745

Street	City	State	Zip
9801 Renner Boulevard Suite 300	Lenexa	KS	66219-9745

SIGNATURE OF OWNER OR AGENT:  
If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 ½ x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

Application No.: FP2021-02 Application Fee Paid: \$ 310* Date Fee Paid: 3/4/21 Receipt # 10136771

Publication Fee Paid: \$ 172.50 Date Fee Paid: 4/1/21 Receipt # 33682337

Received By: Veronica Hoffman

*300+\$10 per lot

FINAL PLAT INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-five (45) days prior to a scheduled meeting. If the final plat complies with the preliminary plat, Planning Commission and Governing Body may consider approval without notice or public hearing.

PLANNING COMMISSION REVIEW AND DECISION: The Edgerton Planning Commission meets in the City Hall on the second Tuesday of every month. The Planning Commission shall review the final plat and other material submitted with it to determine conformity preliminary plat. The Planning Commission shall act upon the final plat within ninety (90) days after submission, unless the subdivider shall waive or consent to an extension of the ninety (90) day period.

GOVERNING BODY APPROVAL: Following the approval of a final plat by the Planning Commission, the Governing Body shall review the instrument for dedications and reservations and assure that the final plat and construction plans for all proposed streets, sidewalks, storm water sewers, sanitary sewers and water mains meet the standards of the City of Edgerton. The Governing Body may either approve the final plat, return the final plat and/or construction plans to the applicant with instructions and specifications to conform to City standards, or deny the final plat and/or construction plans with a refusal to accept dedication. If the Governing Body denies the final plat and/or construction plans, a set of written findings must be given to the applicant within 30 (thirty) days.

RECORDING OF FINAL PLAT: Upon approval of a final plat by the Governing Body, the applicant shall record the plat with the Register of Deeds within a period of one year. If the final plat is not recorded within one year from the date of approval by the Governing Body, it shall be considered null and void. Before any final plat shall be signed by the Zoning Administrator and filed by the Register of Deeds, the applicant shall submit a certificate of title indicating the ownership of all property within the bounds of the subdivision.

The applicant shall provide the Zoning Administrator with one copy of the final plat that was approved by the Governing Body on Mylar®. The applicant shall also return one copy of the final plat that was recorded by the Register of Deeds.

FEES DUE BEFORE ENDORSEMENT OF FINAL PLAT: Article 10 of Chapter IV of the Edgerton City Code imposes an excise tax \$0.10 per square foot of Final Plat. Prior to endorsement of any final plat, all excise taxes must be paid or City staff must determine that an exemption from payment prior to platting is applicable, all in accordance with Article 10 of Chapter IV of the City Code. In addition, a New Street Light Fee of \$250 each shall be submitted prior to the endorsement of any final plat.

VESTING AND CONFLICTING REQUIREMENTS: Initial rights for a final plat shall vest for a period of three (3) years. If all streets, sidewalks, storm water sewers, sanitary sewers and water mains have not been installed and the development of structures commenced after three (3) years, the final plat shall be considered null and void.

The requirements and standards in force at the time of the adoption of a final plat shall remain and shall continue to govern and not be set aside by the adoption of subsequent standards. Standards (such as setbacks) appearing on a plat which are greater than those imposed by this ordinance are valid, and shall be duly noted and enforced by building permits. Restrictive covenants are private instruments between buyer and seller. The Zoning Administrator does not enforce restrictive covenants unless such restrictions are part of a Planned Unit Development, or unless the City itself, as a condition of platting, is a party to such agreements. Nothing contained in these regulations is intended to void the obligation of any party to adhere to the terms of all contracts, conditions, and covenants of record.

ASSURANCES: Developers are required to install all streets, storm water sewers, sanitary sewers and water mains and other services to all lots (in a designated phase) as they appear on the final plat and/or construction plans prior to receiving a building permit from the Zoning Administrator. Developers are required to install all sidewalks on a lot as they appear on the final plat and/or construction plans prior to receiving a certificate of occupancy from the Zoning Administrator. Developers are also required to reimburse the City of Edgerton for the cost of all street signs, stop signs and speed limit signs.

Exceptions: The Zoning Administrator may issue building permits for lots in an approved subdivision when such lots have direct access to an existing public right-of-way and when, in his/her opinion, building construction would not interfere with the orderly process of the installation of facilities and utilities.

Financial Assurance: Prior to the commencement of any improvements, all required infrastructure (streets, sidewalks, storm water sewers, sanitary sewers, and water mains) must be assured by a financial instrument (performance and maintenance bond

vs. 12.12.19

or special benefit district). Financial assurances must be made in a form and amount acceptable and approved by the City Attorney. Unless otherwise indicated by special resolution of the Governing Body, financial assurances shall be equal to the contract cost of purchase and installation of all facilities and utilities and valid for a period ending no less than two years after acceptance by the City of Edgerton. If substantial progress in installing the infrastructure is not evident within two hundred eighty (280) days after the approval of the final plat by the Governing Body, the City of Edgerton shall take appropriate action to exercise the financial assurance.

Public Improvement Inspection Fee: If a Developer is required to construct any public improvements, including streets, sidewalks, storm water sewers, sanitary sewers and water mains, that construction must be inspected by city staff or their designee. Developers are required to pay 3% of construction costs to the City for those inspections.

As Builts: Prior to acceptance of public improvements by the City, the developer shall provide two (2) sets of prints for all public improvement projects, excluding sidewalks, corrected to show the project as constructed and shall accurately and completely denote all changes made during the construction. Each sheet within the prints shall be clearly marked as "Conforming to Construction Records" and shall include the date of revision and certifications by a Kansas licensed engineer. This set of plans shall be substantially similar to the set of construction plans that was approved by the Governing Body.

CHECKLIST

The following items shall be included on the final plat.

- ☐ Scale, the same used for the preliminary plat; North point; vicinity map.
- ☐ The words "FINAL PLAT" followed by the name of the subdivision at the top of the sheet, and then followed by a metes and bounds description of the tract.
- ☐ The instrument of survey which shows the point of beginning, corners, bearings, courses, distances, exterior boundaries, interior lot boundaries, abandoned lot lines, pins, monuments found or set. All P.I.'s corners, boundaries must be monumental with a 2" x 24" metal bar.
- ☐ A boundary survey of third order surveying accuracy (maximum closure error one in five thousand (1 in 5,000), with bearings and distances referenced to section or fractional section corners or other base line shown on the plat and readily reproducible on the ground.
- ☐ Individual notations and a TABLE showing: lot area, setbacks, and building envelopes.
- ☐ A number for each lot, starting (if practical) in the northwest corner.
- ☐ All easements with widths, and roads with curve data.
- ☐ Ingress/egress limitations, if required.
- ☐ The location of existing utility easements.
- ☐ A written legal description from the survey.
- ☐ An instrument of dedication for all roads and easements.
- ☐ Special notations required as a condition of platting by the Planning Commission.
- ☐ Approved phases – clearly delineated.
- ☐ Private travel easements.
- ☐ The Owner's Certificate with Notary Seal.
- ☐ Certificate of the Governing Body with City Clerk's attest and Seal.
- ☐ Edgerton City Planning Commission chair and secretary approval.
- ☐ Certificate of the Register of Deeds.
- ☐ Surveyor's Certificate and Seal and certificate for survey review by the County Surveyor or designated Land Surveyor.
- ☐ Certificate of the Zoning Administrator.

vs. 12.12.19

PROPERTY BOUNDARY LEGAL DESCRIPTION
FROM J&J SURVEY DATED: FEBRUARY 5, 2021

PROJECT: Arrowhead Intermodal - 3
20,000 SF New BTS
ARCO Job No. K-710

LOCATION: 32355 W. 191st Street
Edgerton, KS 66021

DATE: February 5, 2021

Deed descriptions

Book 5963, Page 691

A part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas, More Particularly described as follows:

Beginning at the Northwest corner of said Northwest Quarter; Thence North 90° East, along the North line of said Northwest Quarter, a distance of 1035.25 feet, Thence South 0° East, a distance of 740.36 feet; Thence South 90° East, a distance of 282.28 feet; Thence South 0°18'01" West, a distance of 1914.73 feet to a point on the South line of said Northwest Quarter; Thence North 89°44'38" West a distance of 1291.75 feet to the Southwest corner of said Northwest Quarter, Thence North 0°20'27" West, a distance of 2649.33 feet, to the point beginning, containing 74.72 acres.

Also, Lot1, Final PLAT of C Y EDGERTON, part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas

AND EXCEPT:

QUITCLAIM DEED Book 201204, Page 001961

a tract of land in the Northwest Quarter of Section 3, Township 15 South, Range 22 East of the 6th P.M., described as follows: Beginning at the Southwest corner of said Quarter Section: First course, Thence on an assumed bearing of North 88°26'03" East, 300.63 feet along the South line of said Quarter Section; Second course, Thence North 01°49'33" West, 319.56 feet; Third course, Thence North 23°37'38" West 53.85 feet; Fourth course, Thence North 01°49'33" West, 2148.99 feet; Fifth course, Thence North 43°14'32" East, 102.62 feet; Sixth course, Thence North 88°10'23" East 666.09 feet to the West line of a tract of land described in a deed recorded in Book 3047, Page 6 in the Register of Deeds office. JOHNSON COUNTY, KANSAS; Seventh course, Thence North 01°49'37" West, 30.00 feet along said West line; Eighth course, Thence North 88°10'23" East, 306.00 feet to the East line of said tract of land; Ninth course, Thence North 01°49'37" West 30.00 feet along said East line to the North line of said Quarter Section; Tenth course, Thence South 88°10'23" West, 1341.25 feet along said North line to the Northwest corner of said Quarter Section; Eleventh course, Thence South 02°10'09" East, 2649.70 feet along the West line of said Quarter Section to the point of beginning. The above described tract contains 19.00 acres, which includes 1.82 acres of existing right of way, resulting in an acquisition of 17.18 acres, more or less.

PROJECT LOCATION

HOMESTEAD LANE

W 191ST STREET

NE 1/4

SE 1/4

SW 1/4


NW 1/4

0.3

VICINITY MAP
SEC. 03-15-22
N.T.S.

I hereby certify that this drawing is based on an actual field survey made by me or under my direct supervision on the 5th day of February, 2021 and that the results are correctly shown and said survey meets or exceeds the current Kansas Minimum Standards for a Plat or Certificate of Survey, to the best of my knowledge and belief.

2-24-21
Date



John B. Young LS-1298

STAFF REPORT

April 13, 2021

To: Edgerton Planning Commission
Fr: Chris Clinton, Planning and Zoning Coordinator
Re: **FS2021-05** Final Site Plan Application for *CY Edgerton, Second Plat (Arrowhead Phase III)*
generally located at the southeast corner of 191st Street and Homestead Lane.

APPLICATION INFORMATION

Applicant: CY Edgerton, LLC
32355 W 191st Street
Edgerton, KS 66021

Property Owner: CY Edgerton, LLC
20012 W South Arsenal Rd
Wilmington, IL 60481

And

Omar Holtgraver
1979 Haskell Road
Ottawa KS, 66067

Requested Action: Final Site Plan approval for *Arrowhead Phase III*.

Legal Description: NW ¼ of Section 15, Township 15 S, Range 22 E; see full legal description attached.

Site Address/Location: Southeast corner of 191st Street and Homestead Lane

Existing Zoning and Land Uses: L-P (Logistics Park) District cargo container storage lot and stockpile storage.

Existing Improvements: None.

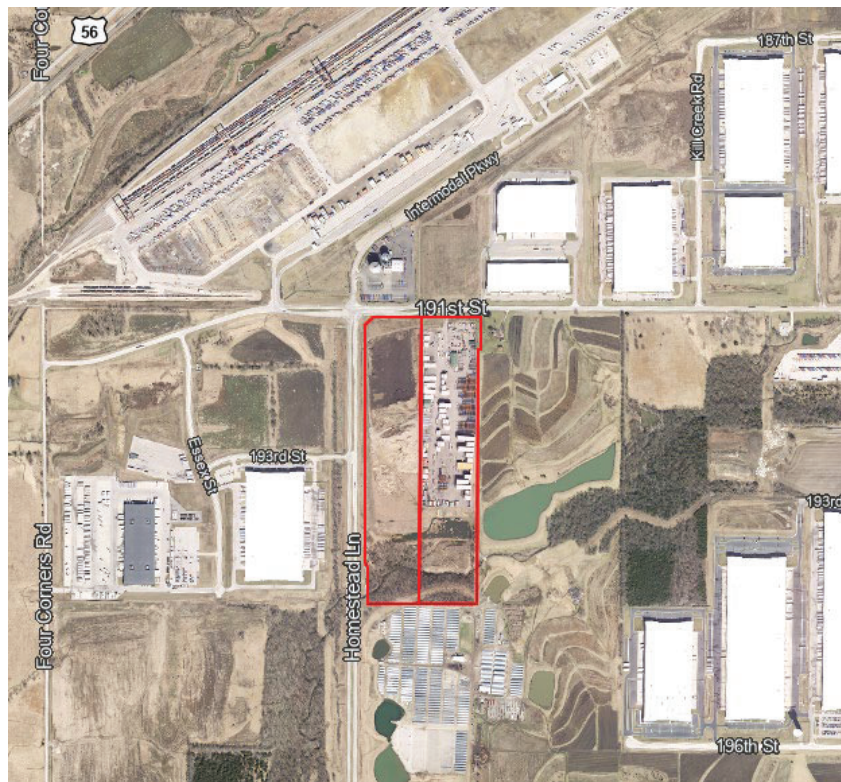
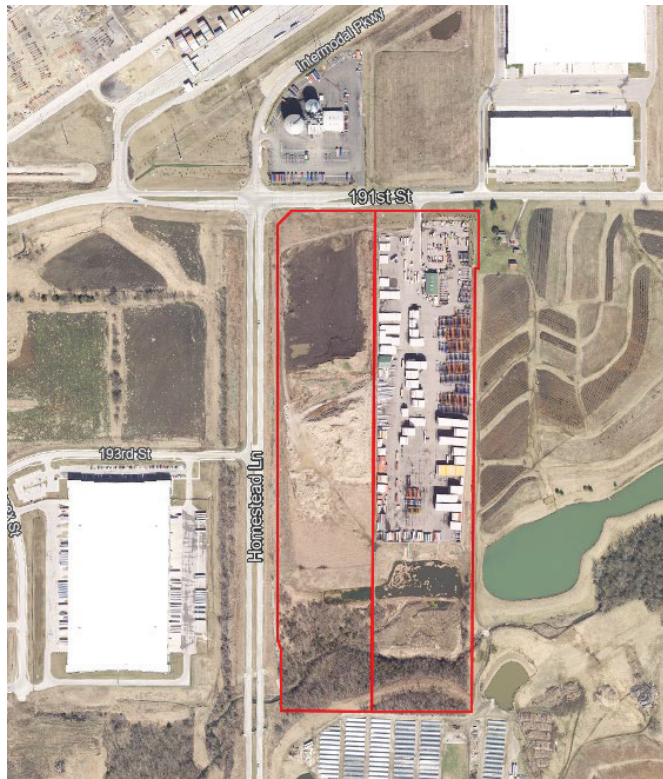
Site Size: Approximately 17.18 Acres

PROJECT DESCRIPTION

Application **FS2021-05** is a request to for a Final Site Plan *CY Edgerton, Second Plat*, also known as Arrowhead Phase III. This parcel is on the southeast corner of Homestead Lane and 191st Street and is being filed in conjunction with Applications PP2021-02 and FP2021-02 also being presented to the Planning Commission on April 13, 2021. The Final Site Plan is for the expansion of a cargo container storage lot and supporting infrastructure. The current cargo container storage lot

is on the eastern parcel in the map below and the expansion will take place to the west of that existing lot.

Subject Property



INFRASTRUCTURE AND SERVICES

1. Access to the existing operations and the expansion area is from 191st Street.
2. Utilities and service providers.
 - a. Water - Johnson County Water District #7
 - b. Sanitary Sewer - City of Edgerton
 - c. Electrical Service - Evergy
 - d. Gas Service – Kansas Gas Service
 - e. Police service is provided by the city of Edgerton through the Johnson County Sheriff's Office.
 - f. Fire protection is provided by Johnson County Fire District #1.
3. Development proposal is located within the Bull Creek watershed.

FINAL SITE PLAN REVIEW

Staff has reviewed the Final Site Plan submittal for compliance with the requirements of Article 10, *Site Plans and Design Standards*, Section 5.2, *L-P Logistics Park District* of the Edgerton Unified Development Code (UDC).

Article 10 – Section 10.1 Site Plans

1. Ownership of parcel. *The sale of the parcel from Omar and India Holtgraver has not been finalized thus the Site Plan cover sheet should reflect two property owners. Update Final Site Plan.*
2. A scale vicinity map showing the relationship of the site to surrounding neighborhoods, zoning of surrounding properties, roads and other physical features. *The zoning of surrounding properties has not been provided. Update Final Site Plan.*
3. A project title, zoning designation and applicant name. *Remove 'Preliminary' from the title sheet and update to 'Final' Site Plan. Update Final Site Plan.*
4. A data table which, at a minimum, includes: acreage of the site and number of units per acre (if applicable), gross square feet of the building(s) area, the proposed use of each building, number of employees and the total number parking spaces to be provided. *The provided data table does not include the area of the building. Update Final Site Plan.*
5. Parking areas, paths, sidewalks with sizes and surface material specifications. *An agreement not to protest a benefit district for the installation of sidewalk along 191st Street and Homestead Lane will need to be executed. A walkway from the new building to the future 191st Street sidewalk must be shown on the Site Plan as a future sidewalk connection. Update Final Site Plan.*
6. Site entrance and connections to streets. *Due to the volume of truck traffic at this site, the applicant is required to install an auxiliary lane on the south side of 191st Street to handle the stacking of trucks entering the site. Should the applicant wish to not install this auxiliary lane, a traffic study and further evaluation by City Staff is needed. The applicant is limited to one access point to the site from 191st Street. Update Final Site Plan and submit auxiliary lane plans to the City for review and approval.*
7. The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right-of-way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. *Include type of screening that will be used around equipment. City Staff will monitor the site to ensure all equipment is properly screened. Update Final Site Plan.*

Article 5 – Section 5.2 L-P Logistic Park District

1. Setback, Yard and Area Regulations

- a. Accessory Building and Structure Regulations. Accessory uses shall only be permitted in accordance with the Use Regulations set forth in Exhibit 1, Use Matrix, for the LP Sub-district. Any accessory building shall have a façade similar in character with the façade of the main building, including the utilization of similar fenestration of metal where the accessory building directly faces a public street, residential use or public open space.
The applicant has indicated there will be a guard shack onsite and has proposed an entrance canopy over the guard shack and the onsite inbound/outbound lanes. All accessory structure surfaces must be finished with the approved building materials outlined in Section 5.2 (J)(3). Elevations have not been provided to show the façade and supporting structure of either accessory use. Staff is unable to determine if structures meet UDC requirements. Update Final Site Plan

2. Architectural Design Standards

- a. Horizontal Articulation. Walls facing a public right-of-way, or a residentially zoned property shall not extend for a distance greater than four (4) times the wall's height without having an off-set of ten percent (10%) of the wall's height (maximum of five (5) feet); the new plane shall extend for a distance equal to a minimum of twenty percent (20%) of the maximum length of the first plane. The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. Walls not facing a public right-of-way or a residentially zoned property and loading dock doors are exempt from the horizontal articulation requirement. ***Horizontal articulation meets the UDC requirements on the north, east, and west façades. This building may be visible from the public trail system and adjacent property to the south. Additional articulation is needed on the south façade. Update Final Site Plan.***
- b. Vertical Articulation. Walls facing a public right-of-way, or a residentially zoned property shall not extend for a distance greater than four (4) times the height of the wall without changing height by a minimum of ten percent (10%) of the wall's height (maximum of five (5) feet). The City may allow exceptions to this requirement upon review and approval of a typical façade elevation. Walls not facing a public right-of-way or residentially zoned properties are exempt from the vertical articulation requirement. ***The north façade meets the requirements set by the UDC. The east, south, and west façades require more articulation. The south façade does not include parapets. There is a Johnson County RUR parcel to the south along with a proposed public trail easement. Articulation should be added to increase the screening of potential roof-top units (RTUs). The east and west façades need additional articulation due to facing of public right-of-way on the west façade and facing the Johnson County RUR parcel on the east façade. Update Final Site Plan.***

3. Photometrics

- a. Parking Lot lighting facilities shall provide illumination within parking areas not to exceed a maintained average of one and one half (1.5) foot candles at ground level and shall not distribute more than one half (0.5) foot candles of light at the property line and two tenths of one (0.2) foot candle of light upon any adjacent single family residential property. For uses with 24 hour operations or uses that operate during the evening and night, a maximum maintained average of two and one half (2.5) foot

candles at ground level shall be allowed; such uses shall distribute not more than one half (0.5) foot candles of light at the property line and two tenths of one (0.2) foot candle of light upon any adjacent single family residential property. A minimum average of the greater of either one (1) foot candle (maintained) or that required by applicable IESNA practice shall be required to be maintained. Article 10, Section 1.1(G)(9)(e) states the maximum height for luminaries shall not exceed 25 feet as measured between the bottom of the luminaire and grade. *The applicant has provided a preliminary photometric plan that does not extend to the property lines. Additionally, the height of the light poles to be used on site is listed at thirty (30) and forty-five (45) feet. Both of these heights are significantly taller than what is allowed per Site Plan requirements. Update Final Site Plan.*

4. Landscape Standards. – The UDC has specific requirements related to size of plantings at installation, spacing distance, number required, and variation between species. Applicant should refer to Article 5, Section 5.2(O) when completing the below required updates to the Final Site Plan:

- a. Perimeter Landscape Buffer Requirements. Perimeter landscape buffers are required, and the type of buffer required is based upon adjacent land uses.
 - i. North side of the project: Applicant has utilized a standard Type 1 Perimeter Landscape Buffer. The north side of this project is adjacent to 191st Street and instead requires a Right of Way Buffer. 191st Street is a two-lane divided road and as such the buffer must be 10 feet wide with 1 tree per 50 linear feet of R/W frontage and one hedge or shrub evergreen planted every 48 inches. *Along the 191st Street right of way, trees are shown adjacent to the applicant's vehicle parking area with an indication that native seed mix will also be used. Landscaping shown does not meet the UDC requirements. Installed shrubs are required to be a minimum 24" sized shrub at installation with the actual location, count and type indicated in a landscaping table. No berming has been shown. At a minimum, berming must occur from where the new building's east edge to the existing berm which is screening current operations. Applicant must provide a complete landscaping plan with line of sight drawings showing proposed landscaping. Update Final Site Plan.*
 - ii. West side of the project: Applicant has utilized a standard Type 1 Perimeter Landscape Buffer. The west side of this project is adjacent to Homestead Lane and instead requires a Right of Way Buffer. Homestead Lane is a four-lane divided roadway and as such the buffer must be 15 feet wide with 1 tree per 50 linear feet of R/W frontage and one hedge or shrub evergreen planted every 48 inches. *The applicant has indicated a berm height of 6 feet in the northwest corner of the project increasing to a berm of ten (10) feet towards the middle of the western perimeter and decreasing to approximately 3 feet in the southwest corner of the project. Landscaping shown does not meet the UDC requirements. Installed shrubs are required to be a minimum 24" sized shrub at installation with the actual location, count and type indicated in a landscaping table. Typically, a minimum 6' berm height is required along the entire perimeter of the property. The applicant has requested that at the southwest corner of the site plan area, north of the creek and along Homestead Lane, they not be required to add an additional berm due to the topography of the parcel in that area. That particular area sits above the grade of Homestead Lane and the applicant has indicated that adding additional berming would take away space from the proposed*

operations area. Applicant must provide a complete landscaping plan with line of sight drawings showing proposed landscaping. Update Final Site Plan.

- iii. South side of the project: Applicant has utilized a standard Type 1 Perimeter Landscape Buffer. Per the UDC, this type of buffer is utilized adjacent to Industrial and Utilities/Transportation uses. *This is not the appropriate buffer type for this side of the project. The adjacent parcel to the south is currently zoned Johnson County RUR with residential uses permitted. A Type 4 Perimeter Landscape Buffer is required. The applicant has indicated that they would like to remove some of the tree line and add a berm south of the creek to help screen operations from view. Crossing the creek will require a review of proposed plans and permits from the Division of Water Resources. In order to maintain any berming placed there, a permanent creek crossing would need to be requested and approved. Proposed landscaping will need to screen operations from view of the public trail system and may not be placed in an area that would preclude trail development in the future. Applicant must provide a complete landscaping plan with line of sight drawings which include the proposed berm placement and height along with any vegetation that is to be kept and any new landscaping that is proposed. Update Final Site Plan.*
- iv. East side of project: Applicant completed requirements on east side of parcel when first phase of development was performed. No additional landscape work is required.
- b. Dumpster and Compactor Screening. All dumpsters and compactors visible from public right-of-way and/or abutting residential, commercial, public, or civic property shall be screened with a consistent six (6) foot opaque screening wall with a solid metal gate. Chain link fences or wooden fences are not acceptable. Dumpsters shall be set back a minimum of twenty-five (25) feet from adjacent residential uses. *Final Site Plan does not contain any information regarding dumpster location and screening materials to be used. Prior to issuance of Building Permit for Tenant Finish, this information must be provided to ensure adequate landscaping and buffering, especially due to the adjacency of RUR zoned property.*
- c. Fencing. All fencing visible from a public right-of-way shall be either masonry of a type and style complementary to the primary material of the building, wrought iron, decorative metal, living plat material or a combination of these. Fencing containing barbed wire, razor wire, or an equivalent shall be prohibited where adjacent to a residential use or visible from a public right-of-way. No fencing from a public right-of-way shall be located within a Parkway Buffer or a Right-of-Way Buffer as described in this section. *The applicant has proposed the used of barbed wire atop an eight (8) foot tall, galvanized chain link fence with two (2) inch mesh. During the initial approval process for the current operations, the applicant requested to use 1" vinyl coated mesh fencing with 3 strand barbed wire on top. This request for a deviation was made in order to meet U.S. Customs and Border Control requirements and was approved by the Planning Commission on June 9, 2015. At a minimum, fencing around the expanded operations should match those provided on the first Phase as noted above – 1" vinyl coated mesh. If a deviation is requested for the addition of barb wire atop the vinyl coated mesh fencing, a formal request should be made. Update Final Site Plan.*

5. Diesel Emission Requirements. No electrical hookups have been shown as they relate to the elimination of excessive truck idling. ***Refer to Article 5, Section 5.2.Q to ensure all requirements are met regarding diesel emissions and idling. Applicant acknowledges and will address if necessary.***

OTHER COMMENTS

1. There is a force main located at the northwest corner of this property. Fill from pad site grading may not exceed 3 (three) feet over the force main line.
2. General note #23 does not appear to apply to this project. ***Update Final Site Plan.***
3. This application is also accompanied by **Application CU2021-02** for a cargo container and chassis storage facility. The applicant needs to definitively indicate on the site plan where the stacking of containers and chassis will occur and the height they will be stacked at so that staff may confirm the setbacks required by Article 7, Section 7.2(G)(7) are met. A formal delineation of the area is required rather than a general statement with no outline. ***Update Final Site Plan.***
4. A storm water management report has been submitted. The following comments should be addressed prior to approval:
 - a. Provide additional information for existing and proposed scenarios:
 - i. Drainage maps for each scenario including time of concentration paths
 - b. Provide time of concentration calculations.
 - c. Provide composite curve number calculations.
 - d. Why did the South Basin Drainage time of concentration increase from existing?
 - e. Report shall be sealed by a professional engineer licensed in the State of Kansas.

RECOMMENDATION

City staff recommends **approval** of **FS2021-05** Final Site Plan for *Arrowhead Phase III*, subject to compliance with the following stipulations:

1. The staff recommendations and comments noted related to infrastructure, landscaping, the stormwater plan and all else discussed as included in this Staff Report are included as stipulations as part of approval of this Final Site Plan. The landscaping plans provided must meet or exceed UDC requirements.
2. No signage is proposed with this application. Signage proposed later shall receive separate approval according to the provisions of the UDC.
3. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City. The property owner and/or developer shall work with City staff to determine the best possible placement for a storm water easement and shall dedicate said storm water easement on the Final Plat.
4. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads, and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

ATTACHMENTS

- Application FS2021-05
- Final Site Plan FS2021-05

☒ PRELIMINARY SITE PLAN

☐ FINAL SITE PLAN

☐ REVISED SITE PLAN

☐ RE-REVIEW

 PROJECT NAME: Arrowhead Phase III

 LOCATION OR ADDRESS OF SUBJECT PROPERTY: W 191st Street and Homestead Lane

 LEGAL DESCRIPTION: Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas

 CURRENT ZONING ON SUBJECT PROPERTY: Agricultural CURRENT LAND USE: Vacant

 TOTAL AREA: 29.3 ACRES NUMBER OF LOTS: 1 AVG. LOT SIZE: N/A Sq. Ft.

 DEVELOPER NAME(S): Joshua Cooley PHONE: 913-287-2752

 COMPANY: CY Edgerton, LLC EMAIL: jcooley@illinoistransport.com

 MAILING ADDRESS: 32355 W. 191st St., Edgerton, Kansas 66201

Street City State Zip

 PROPERTY OWNER NAME(S): Omar J Holtgraver PHONE: 913-980-8310

 COMPANY: N/A EMAIL: holtgraverroj@hotmail.com

 MAILING ADDRESS: 1979 Haskell Rd., Ottawa, KS 66067

Street City State Zip

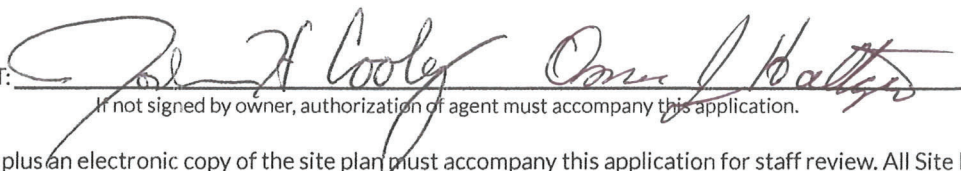
 ENGINEER NAME(S): Clint Loumaster PHONE: 913-577-8266

 COMPANY: George Butler Associates, Inc. EMAIL: cloumaster@gbateam.com

 MAILING ADDRESS: 9801 Renner Boulevard Suite 300, Lenexa, KS 66219-9745

Street City State Zip

SIGNATURE OF OWNER OR AGENT:



If not signed by owner, authorization of agent must accompany this application.

NOTE: Two (2) 34"x42" paper copies plus an electronic copy of the site plan must accompany this application for staff review. All Site Plan requirements may be found in Article 10 of the Edgerton Unified Development Code (UDC).

Applicant is to provide the legal description electronically as a Word document to the City of Edgerton.

FOR OFFICE USE ONLY

 Application No.: FS2021-05 Application Fee Paid: \$ 493** Date Paid: 3/4/21 Receipt #: 10136771

 Publication Fee Paid: \$ 172.50 Date Paid: 4/1/21 33682337

 Received By: Veronica Huffman
****200+\$10 per acre
 200+(10 x 29.3)=493**

SITE PLAN INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-five (45) calendar days prior to the public hearing.

NOTICE REQUIREMENTS: A public hearing is required for Site Plan applications at either the Preliminary or Final Site Plan stage, depending upon which is submitted first. If a public hearing is held for a Preliminary Site Plan, a public hearing does not need to be held for the Final Site Plan. The City shall publish notice of the public hearing at least twenty (20) days in advance of the hearing in the official City newspaper. One copy of the proposed Site Plan shall be made available for public inspection at least twenty (20) days prior of the public hearing.

DESIGN STANDARDS: Applicants should abide by the district zoning regulations and design standards set forth in the Edgerton UDC as noted in the appropriate Articles for the proposed development. These regulations and design standards include, but are not limited to, building placement, architectural design standards, parking and loading, access management, photometrics, landscaping, signage and diesel emissions.

PLANNING COMMISSION REVIEW: The Edgerton Planning Commission meets in the Edgerton City Hall on the second Tuesday of every month. The Planning Commission shall review the site plan to determine conformity with the design guidelines and other requirements included within the Edgerton UDC.

APPROVAL LIMITATIONS: The Site Plan approval expires after one year from the date of approval and becomes null and void unless the applicant has been issued a building permit for the project or has requested an extension of time from the Planning Commission.

CHECKLIST

The following items shall be included on the site plan, and the scale shall be a professionally acceptable standard suitable to the area of the proposed project:

- ☒ A scale vicinity map showing the relationship of the site to surrounding neighborhoods, zoning of surrounding properties, roads and other physical features.
- ☒ A project title, zoning designation and applicant name. A street, lot or tract address of the project.
- ☒ An index of content pages.
- ☐ The data table as outlined in Section 10.1, Subsection G of the UDC.
- ☐ The name of the architect, engineer, surveyor and landscape architect, all licensed in the State of Kansas, who prepared the Site Plan.
- ☐ Engineer's seal with original signature.
- ☐ A landscape plan sealed by a landscape architect licensed to practice in the state of Kansas which is in conformance with applicable zoning district requirements. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. The submitted landscape plan drawn to scale, shall show the requirements as shown in Section 10.1, Subsection G.
- ☒ Existing and proposed topography including contours at two (2) foot intervals unless the property is too flat and then spot elevations shall be provided.
- ☒ Exterior lot lines with any survey pins.
- ☒ Location of buildings, proposed and existing if existing buildings will remain.
- ☒ Parking areas, paths, sidewalks with sizes and surface material specifications.



- ☐ Exterior lighting specifications including a preliminary photometric plan. A final photometric plan will be required at the time the applicant applies for a Building Permit.
- ☒ Site entrance and connections to streets.
- ☒ The location of existing and proposed easements.
- ☐ Connection point for utilities and the location and size of all utility lines including but not limited to sewer lines and manholes; water lines and fire hydrants; telephone, cable, fiber, and electrical systems; and storm drainage systems including inlets, catch basins, lines and other appurtenances, existing and proposed.
- ☒ Vehicular and pedestrian circulation within the site, entrances and exits, loading and unloading areas, and adjacent curb cuts.
- ☐ Scale drawings of all proposed signage including location, height, size, area, materials and design to be used on the premises with construction drawings required when applying for a sign permit in accordance with Article 12, Sign Regulations, of the UDC.
- ☒ Features to facilitate handicapped access.
- ☒ Profile and detail for roads the location and width of sidewalks and the location of trails.
- ☐ Storm Drainage Systems and Facilities shall be provided in connection with the proposed development of land in accordance with the Kansas City Metropolitan chapter of the American Public Works Association Construction and Material Specifications Section 5600 Storm Drainage Systems and Facilities. Said Site Plan shall show, by use of directional arrows, the proposed flow of storm drainage from the site. A summary table shall be provided on the Site Plan in the format outlined in Section 10.1, Subsection G of the UDC.
- ☐ A Storm Water Pollution Prevention Plan (SWPPP) shall also be provided and shall meet the known requirements of the National and Kansas General Permit. A signed and dated copy of the NOI shall be provided to the City prior to any disturbance of the soil on the construction site.
- ☐ Scale drawing of building floor plans with dimensions and square foot calculations.
- ☐ Scale drawings in full color with dimensions of all building facades or elevations including the labeling of exterior materials and color.
- ☐ Roof pitch and materials.
- ☐ The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right of way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. Include type of screening that will be used around equipment.
- ☐ Areas or facilities used for trash, trash compacting, recycling containers, service and loading are to be located out of public view from streets, adjacent to residential properties, and other highly visible areas such as parking lots, access drives, and similar areas. Refer to the regulations in Section 10.1, Subsection G of the UDC.
- ☒ Layout and design of all property designed required parking and loading areas in accordance with Article 16, Parking and Loading Regulations, of the UDC.

POSSIBLE ADDITIONAL REQUIREMENTS

Depending upon circumstances the Zoning Administrator may require additional information related to business operations and their impact on adjacent properties including, but not limited to the requirement of additional information for hazardous material or other environmental impacts.

The Zoning Administrator may also require a detailed traffic impact study prepared by a Traffic Engineer, licensed in the State of Kansas, for large uses, mixed use and multi-tenant developments, or for developments in heavy traffic or congested areas to include:

- The projected number of motor vehicle trips to enter and leave the site, estimated for daily and peak hour traffic levels;
- The projected traffic flow pattern including vehicular traffic movements at all major intersections likely to be affected by the proposed use of the site;
- The impact of the proposed traffic upon existing, public and private ways in relation to existing and projected daily and peak hour road capacities;
- A recommendation of whether additional improvements would be needed such as turning lanes or traffic signals to accommodate the projected traffic;
- Any other information as determined by the City Engineer.

Outdoor Storage Requirements. Include adequate details on Site Plan to confirm individual District requirements are met.

- Permanent Outdoor Storage – If applicable and allowed within the zoning designation, permanent outdoor storage areas, attached to the main structure and enclosed with screening or fencing, may be allowed if the enclosure meets aesthetic guidelines. Permanent outdoor storage areas must be indicated on the Site Plan.
- Seasonal Outdoor Storage - If applicable and allowed within the zoning designation, placement and dimensions of Seasonal Outdoor Storage area must be shown on the Site Plan. Administrative approval for a Seasonal Outdoor Storage Permit is granted by the Zoning Administrator upon the submission of a permit application which includes, but is not limited to, parking implications, time parameters (hours of operation and duration of display), signage, pedestrian and vehicular traffic flow, lighting requirements, security, maintenance of merchandise, and fencing.
- Temporary Sales Area – Temporary Sales Areas may be allowed within certain zoning designations. If the applicant wishes to request a Temporary Sales Permit, the Temporary Sales Area must be indicated on the Site Plan.

PROPERTY BOUNDARY LEGAL DESCRIPTION
FROM J&J SURVEY DATED: FEBRUARY 5, 2021

PROJECT: Arrowhead Intermodal - 3
20,000 SF New BTS
ARCO Job No. K-710

LOCATION: 32355 W. 191st Street
Edgerton, KS 66021

DATE: February 5, 2021

Deed descriptions

Book 5963, Page 691

A part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas, More Particularly described as follows:

Beginning at the Northwest corner of said Northwest Quarter; Thence North 90° East, along the North line of said Northwest Quarter, a distance of 1035.25 feet, Thence South 0° East, a distance of 740.36 feet; Thence South 90° East, a distance of 282.28 feet; Thence South 0°18'01" West, a distance of 1914.73 feet to a point on the South line of said Northwest Quarter; Thence North 89°44'38" West a distance of 1291.75 feet to the Southwest corner of said Northwest Quarter, Thence North 0°20'27" West, a distance of 2649.33 feet, to the point beginning, containing 74.72 acres.

Also, Lot1, Final PLAT of C Y EDGERTON, part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas

AND EXCEPT:

QUITCLAIM DEED Book 201204, Page 001961

a tract of land in the Northwest Quarter of Section 3, Township 15 South, Range 22 East of the 6th P.M., described as follows: Beginning at the Southwest corner of said Quarter Section: First course, Thence on an assumed bearing of North 88°26'03" East, 300.63 feet along the South line of said Quarter Section; Second course, Thence North 01°49'33" West, 319.56 feet; Third course, Thence North 23°37'38" West 53.85 feet; Fourth course, Thence North 01°49'33" West, 2148.99 feet; Fifth course, Thence North 43°14'32" East, 102.62 feet; Sixth course, Thence North 88°10'23" East 666.09 feet to the West line of a tract of land described in a deed recorded in Book 3047, Page 6 in the Register of Deeds office. JOHNSON COUNTY, KANSAS; Seventh course, Thence North 01°49'37" West, 30.00 feet along said West line; Eighth course, Thence North 88°10'23" East, 306.00 feet to the East line of said tract of land; Ninth course, Thence North 01°49'37" West 30.00 feet along said East line to the North line of said Quarter Section; Tenth course, Thence South 88°10'23" West, 1341.25 feet along said North line to the Northwest corner of said Quarter Section; Eleventh course, Thence South 02°10'09" East, 2649.70 feet along the West line of said Quarter Section to the point of beginning. The above described tract contains 19.00 acres, which includes 1.82 acres of existing right of way, resulting in an acquisition of 17.18 acres, more or less.

Section 3-Township 15S-Range 22E
City of Edgerton
Johnson County, Kansas

Project Engineer	Project Landscape Architect
GSA architects engineers 9801 Renner Boulevard Lenexa, Ks. 66219	W.K. Urban Design, LLC 11437 Flint Overland Park, Ks. 66210
Project Architect	Project Surveyor
GMA Architect 900 N. Rock Hill Road Glenview, Mo. 64024	J & J Survey 6500 NW Tower Drive, Suite 101 Overland Park, Ks. 66210

DEED descriptions: 6891
Book 5983, Page 6891
"The Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas, More Particularly described as follows:
Beginning at the Northwest corner of Northwest Quarter, Thence North 30° East, along the North line of said Northwest Quarter, a distance of 1203.25 feet; Thence South 87° East, a distance of 740.36 feet; Thence South 90° East, a distance of 292.28 feet; Thence South 07°10' West, a distance of 174.73 feet; Thence along the South line of said Northwest Quarter, Thence North 20° East, a distance of 1291.75 feet; Thence North 20° East, a distance of 2649.33 feet, to the point of beginning, containing 74.28 acres."

Also: Final Plat of C. Y. DICKSTEIN, of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas

[illegible]

The plot of C. Y. EGGERTSON, FINAL BUILT-UP OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 15S, RANGE 23E, COUNTY OF LOGAN, JOHNSON COUNTY, KANSAS, is recorded in Plat Book 207109 of page 004684 in the City Register of Swedes Office in Johnson County, Kansas.

SECTION 15-15-23E, NORTH 23E PLANK, NORTH 23E of FT. of NW 1/4

SECTION 15-15-23E, JOHNSON COUNTY, KANSAS, SURVEY

The subject property is located in Zone AE of the 2006 USGS Flood Insurance Rate Map (FIRM) 2201010436, effective August 3, 2009. Zone AE is Special Flood Hazard Area (SFHA) subject to inundation by a 1% annual chance of flood based on long term conditions hydrologic. No base flood elevations determined is determined as shown on Flood Insurance Rate Map (FIRM) 2201010436, effective August 3, 2009.

Special Flood Hazard Area (SFHA) subject to inundation by a 1% annual chance of flood. Zone AE

1.) The survey used at the basis of these plans was produced by others. GBA does not warrant this accuracy or completeness of any survey information shown herein.

FLOODPLAIN:
According to "FPM," Map Number 2009/CO1134G, revised August 3, 2009, this tract project lies *in:*
OTHERS AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance flood.
OTHER FLOOD AREAS, ZONE X (Future Base Flood), defined as areas of 1% annual chance flood based on hydrology. No Base Flood elevations determined.
SPECIAL FLOOD HAZARD AREAS (SFHAS) Subject to inundation by the 1% Annual Chance Flood, ZONE AEC.

<i><u>Slit. No.</u></i>	<i><u>Description</u></i>
C1.1	Cover Sheet
C2.1	General Layout
C3.1	General Notes
C4.1 - C4.2	Demolition Plan
C5.1 - C5.5	Grading Plan
C6.1 - C6.4	Dimension Plan
C7.1 - C7.2	Utility Plan
C7.3	Storm Sewer Profiles
C7.4	Existing Drainage Map
C7.5	Proposed Drainage Map
C8.1 - C8.3	Construction Details
C9.1 - C9.4	Erosion Control Plan
C9.5 - C9.7	Erosion Control Details - Notes
L1.1 - L1.2	Landscape Plan
L1.3	Landscape Details
E1.1	Site Lighting Plan
A1	Office Plans
A2	Guard House Plans
A3	Elevations



Received and placed on record this _____ day of _____, 20____ by _____

John F. Daley, Chair of the Planning Commission

Applicant Signature: _____ Date: _____

Title: Organization

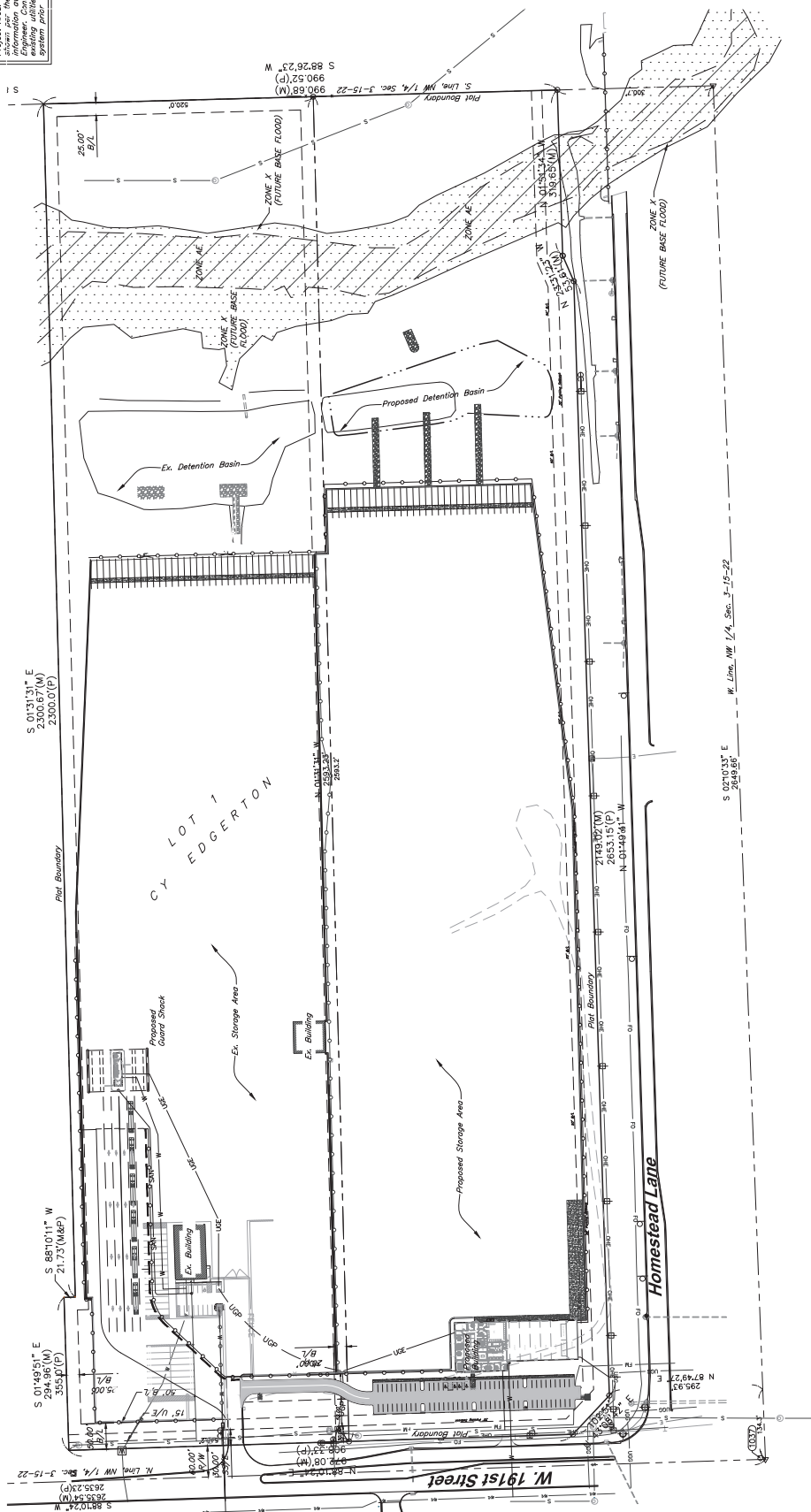
PREPARED & SUBMITTED BY:
GEORGE BUTLER ASSOCIATES, INC.
9801 RENNER BOULEVARD LENEXA,
KANSAS 66219
PHONE: 913-492-0400
CONTACT: CLINT LOUMASTER P.E.
EMAIL: cloumaster@gbateam.com

PROJECT ENGINEER: CLINT LOUMASTER. P.E. DATE:

02/26/2021 - 1st Sub.

CAUTION!
Numerous Existing Utilities in Project Area. Existing Utilities shown per the best information available to the Engineer. Contractor to locate existing utilities and irrigation

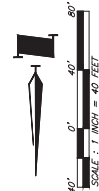
\\c:\14792\cml 3D\Production Drawings\Preliminary Site Plans\14792C0100.dwg Layout: C1:1 Cover Sheet -- Friday February 26, 2021, 1:46pm -- Copyright 2021, George Butler Associates, Inc



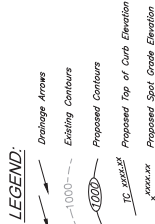
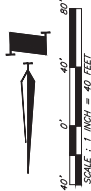
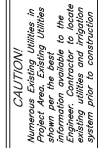
CAUTION!
Numerous Existing Utilities in Project Area. Existing Utilities ~~may~~ per the best information available to the Engineer. Contractor to locate existing utilities and irrigation

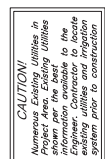
Fence Removal
NOTE: Fence posts to be removed unless salvageable.
Fence mesh to be salvaged and reused.

1. All material to be removed shall be disposed of off site by contractor. All disposal shall meet all applicable local, state, and federal guidelines.
2. Trees marked for removal shall be completely removed, including root balls.
3. 1. All pavement and concrete shall be cleanly sawcut prior to removal.
4. All demolition shall be as per these plans and shall adhere to all local, state, and federal laws, ordinances, codes, and statutes governing such demolition.
5. Contractor shall remove any existing facilities as required to complete the construction of all site improvements detailed on these plans.
6. Any Utility relocation shall be performed by respective Utility companies.

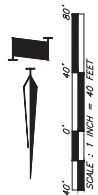


CAUTION!
Numerous Existing Utilities in Project Area. Existing Utilities shown per the best information available to the Engineer. Contractor to locate existing utilities and irrigation system prior to construction





Grading Plan



TC <u>xxxx.xx</u>	Proposed Top of Curb Elevation
x <u>xxxx.xx</u>	Proposed Spot Grade Elevation

LEGEND:

Montana Avenue

Existing Contours

Processed Contours

John Doe

XXXX.XX Deceased Sick Grade Elevation

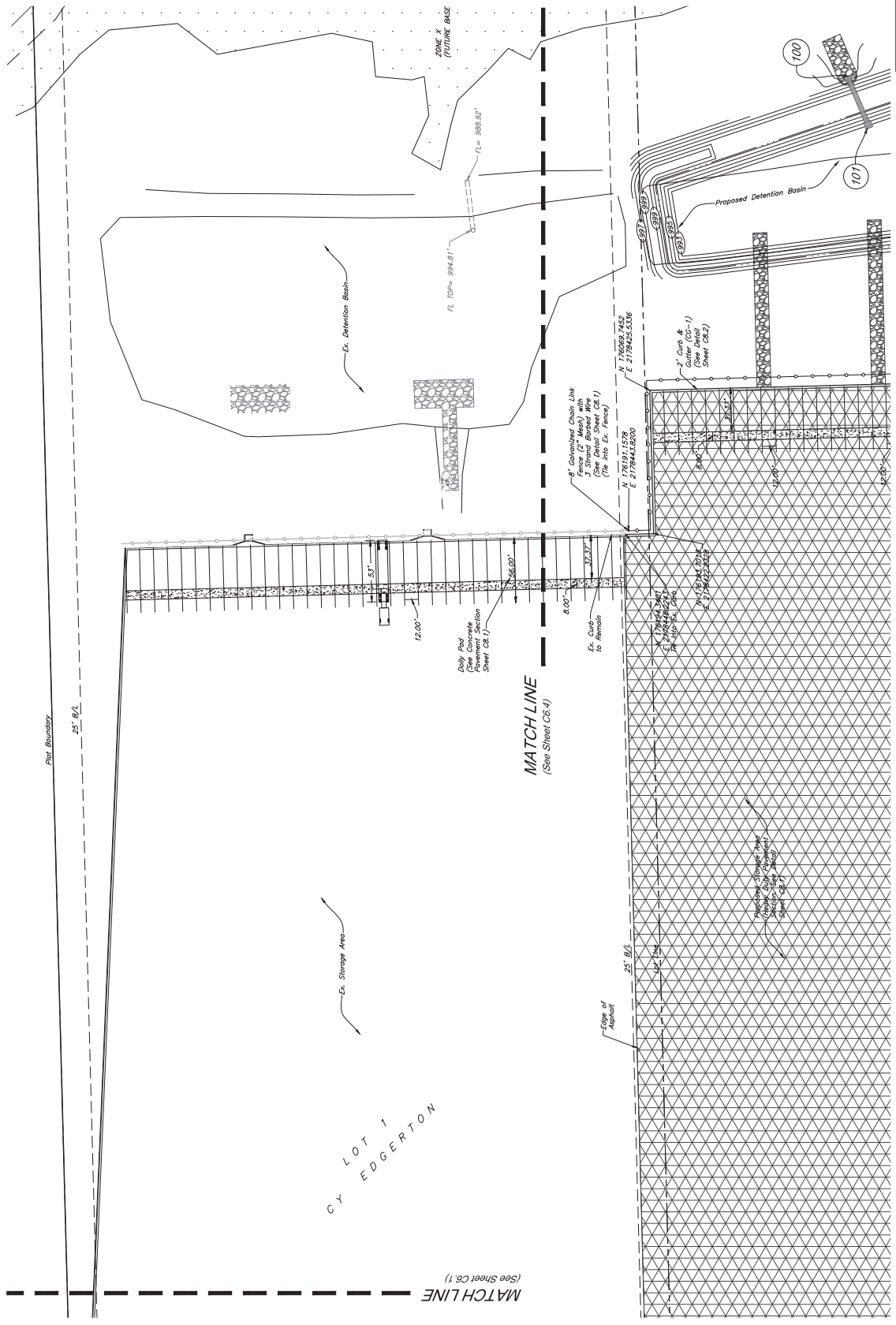
REVISIONS 

JOB NO : SJ2359
PA : DAB
DATE : 00.00.0000



PROJECT
ARROWHEAD
INTERMODAL SERVICES, LLC

ARROWHEAD INTERMODAL - 3
32355 WEST 191ST STREET
EDGERTON, KANSAS 66021

[illegible]

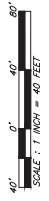
CAUTION!
Numerous Existing Utilities in Project Area. Existing Utilities shown per the best information available to the Engineer. Contractor to locate existing utilities and irrigation system prior to construction

Legend:

	Light Duty Pavement Section (See Detail Sheet C8.1)
	Heavy Duty Pavement Section (See Detail Sheet C8.1)
	Concrete Pavement Section (See Detail Sheet C8.1)

Dimension Plan





Dimension Plan

C6.4

SHEET NUMBER

CAUTION!
Numerous Existing Utilities in this area have been shown per the best information available to the Engineer. Contractor to locate existing utilities and irrigation system prior to construction.

REVISIONS

DATE: 00.00.0000

PA. DAB

JOB NO. S27599



PROJECT
ARROWHEAD INTERMODAL, J
3295 WEST 191ST STREET
EDGERTON, KANSAS 66021

ARCHITECT
GMA
WWW.GMA-ARCHITECTS.COM
505 N ROCK WALK ROAD
SUITE 100, EDGERTON, KS 66021
PH: 316.459.0714
F: 316.459.0714

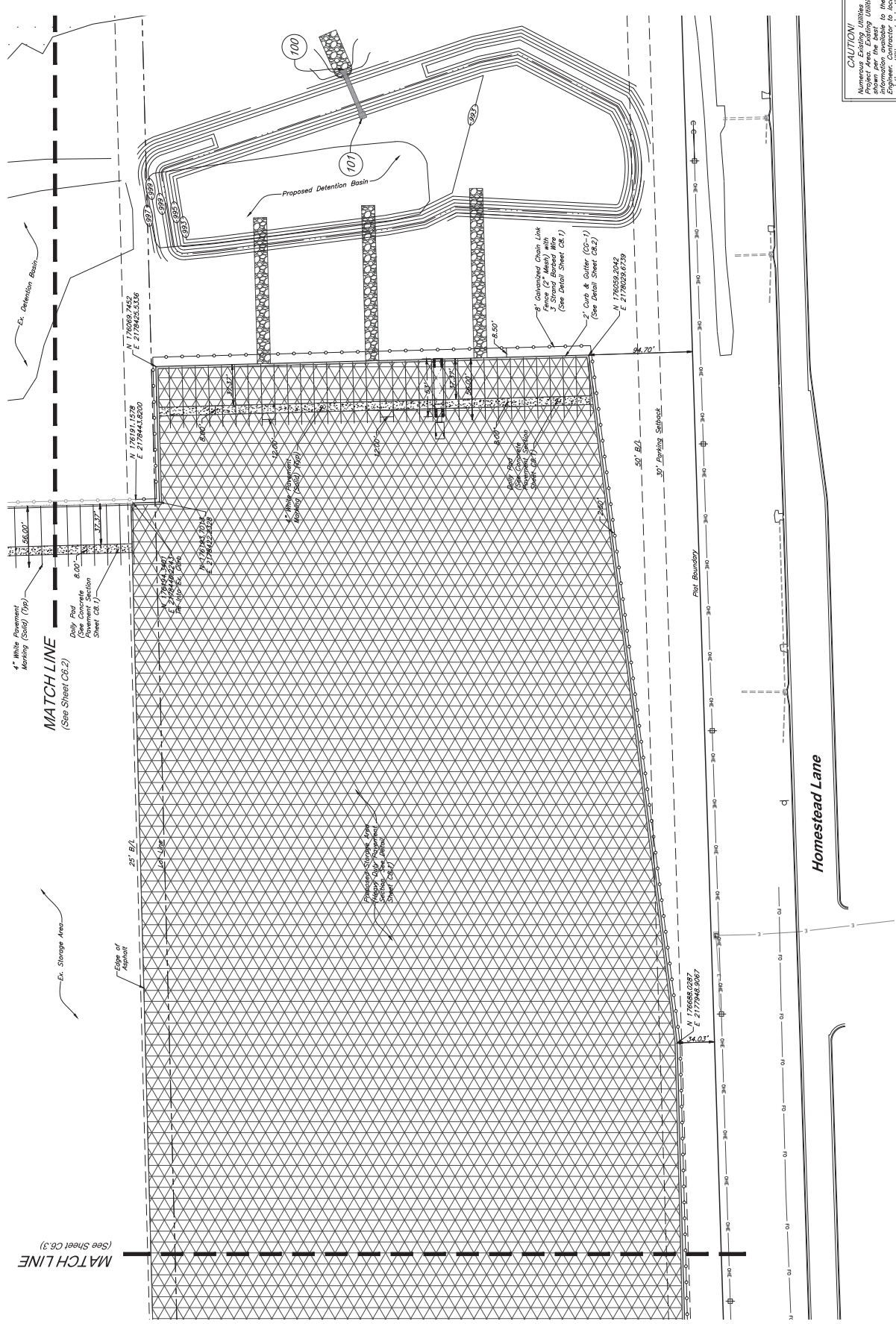
DESIGN BUILDER
ARCO
WWW.ARCONATIONAL.COM
5015 NW CANAL ST. STE. 110
HESSEL, MO 64048
PH: 816.234.1100
F: 816.234.1100

CONSULTING ENGINEERS
ARCO
5015 NW CANAL ST. STE. 110
HESSEL, MO 64048
PH: 816.234.1100
F: 816.234.1100

ELECTRICAL
NAME: _____
ADDRESS: _____
CITY / STATE / ZIP: _____
CONTACT NAME: _____
CONTACT INFO: _____

PLUMBING
NAME: _____
ADDRESS: _____
CITY / STATE / ZIP: _____
CONTACT NAME: _____
CONTACT INFO: _____

MECHANICAL
NAME: _____
ADDRESS: _____
CITY / STATE / ZIP: _____
CONTACT NAME: _____
CONTACT INFO: _____



REVISIONS

208 NO. S2259
PA. DAB
DATE: 00.00.0000



PROJECT
ARROWHEAD INTERMODAL, INC.
3295 WEST 191ST STREET
EDGEMONT, KANSAS 66021

ARCHITECT
GMA
1400 N. ROCK HILL ROAD
SUITE 100
EDGEMONT, KANSAS 66021

DESIGN BUILDER
ARCO
1400 N. ROCK HILL ROAD
SUITE 100
EDGEMONT, KANSAS 66021

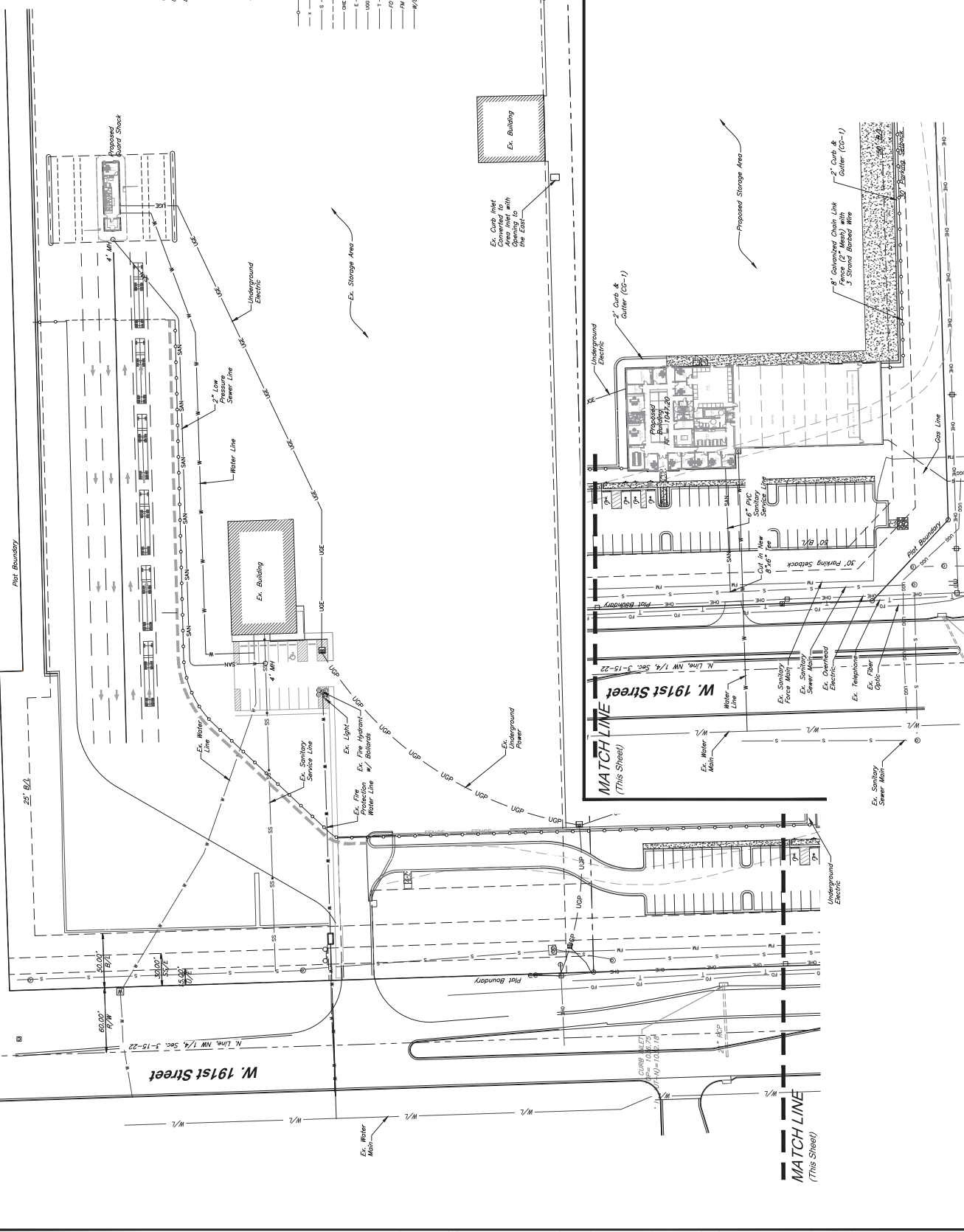
CONSULTING ENGINEERS
ARCO
1400 N. ROCK HILL ROAD
SUITE 100
EDGEMONT, KANSAS 66021

ELECTRICAL
NAME
ADDRESS
CITY/STATE/ZIP
CONTACT INFO

CAUTION!
Utility lines shown are shown per the best information available to the Engineer. Contractor to locate existing utilities and irrigation systems prior to construction.

LEGEND:

- SECTION CORNER AS NOTED
- FOUND 1/2" DIA. CONCRETE MONUMENT FOUND AS NOTED
- PLATTED DISTANCE
- MEASURED DISTANCE
- UTILITY EASEMENT
- BUILDING LINE
- SAVING MANHOLE
- CLEAN OUT
- STORM INLET ROUND
- POWER POLE
- TRAFIC SIGNAL POLE
- GUY WIRE
- TELEPHONE PEDESTAL
- ELECTRIC TRANSFORMER
- SEW AS NOTED
- CHAIN LINK FENCE
- BARRIED WIRE FENCE
- SAVING SERVICE LINE
- STORM LINE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- FIBER OPTIC LINE
- FORCE MAIN
- WATER MAIN



[illegible]

DATE: 00.00.0000

JOB NO : SJ2359



10

AA

OT

NSA
1ST
NTE
L SE

3-77



0

ROHM AND HAAS COMPANY
P.O. BOX 1000
PHILADELPHIA, PA 19106

CIVIL SERVICE

1990

CO		
CIT		
AD		
NA		
CO		
CIT		
AD		
NA		
913		
LE		
CB		

ENNER
A. KAN
-8384
SS
STATE
CT INF
SS
STATE
CT INF

UL E/A
68219

13
12
11

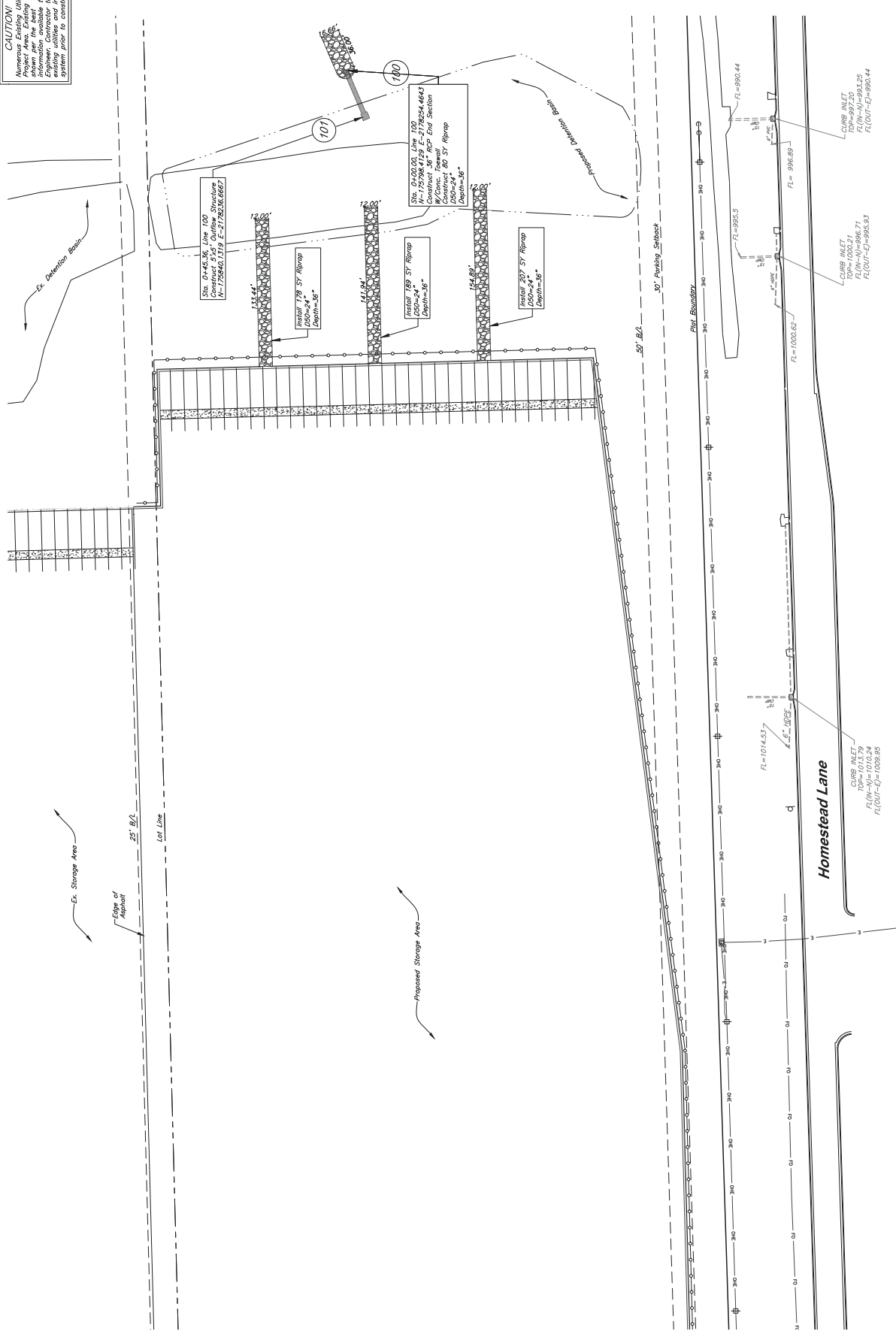
1082
DNIG
FOBI

ME
DRESS
Y / STY
INACT

02
12P

1888

CAUTION!
Numerous Existing Utilities in Project Area. Existing Utilities shown per the best information available to the Engineer. Contractor to locate existing utilities and irrigation system prior to construction





REVISIONS

DATE: 00.00.0000

PA: DAB

JOB NO. S2559



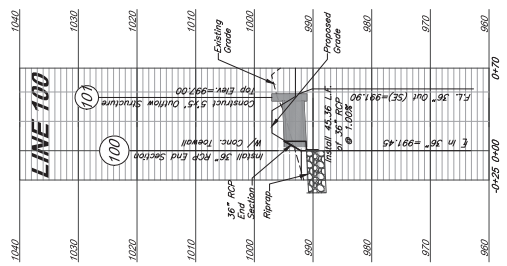
PROJECT
ARROWHEAD INTERMODAL, 3
32355 WEST 191ST STREET
EDGERTON, KANSAS 66021

ARCHITECT
GMA
1400 N. ROCK WALK ROAD
SUITE 100, EDGERTON, KS 66021
WWW.GMA-ARCHITECTS.COM

DESIGN BUILDER
ARCO
5015 NW CANAL ST. RTE 110
BIRDSBORO, MO 64801
WWW.ARCOANYTOWN.COM

CONSULTING ENGINEERS
GMA
1400 N. ROCK WALK ROAD
SUITE 100, EDGERTON, KS 66021
WWW.GMA-ARCHITECTS.COM

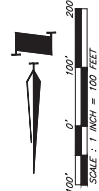
ELECTRICAL
NAME
ADDRESS
CITY / STATE / ZIP
CONTACT INFO

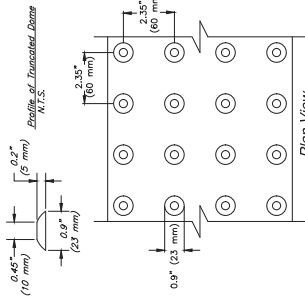




CAUTION!
Numerous Existing Utilities in
Project Area. Existing Utilities
shown per the best
information available to the
Engineer. Contractor to locate
existing utilities and irrigation
system prior to construction

Existing Drainage Map





Detectable Warnings:

Curb ramps shall have detectable warnings extending the full length and width of the curb ramp.

Detectable warnings shall consist of raised truncated domes with a height of 0.2 inches (5 mm) and a center-to-center spacing of nominal 0.2 inches (5 mm) and a center-to-center spacing of nominal 2.35 inches (60 mm) and shall contrast visually with adjoining surfaces, either light-on-dark, or dark-on-light.

The material used to provide contrast shall be an integral part of the concrete or shall be applied by a continuous detectable warning which is 36 inches (915 mm) wide.

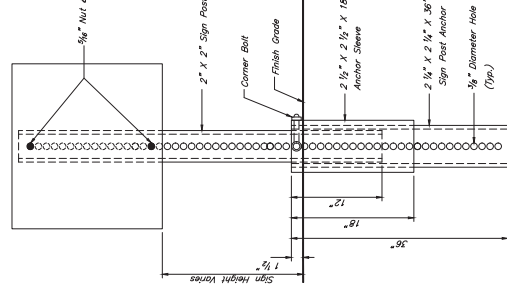
Contractor shall install Detectable Warnings in compliance with current ADA standards.

DETECTABLE WARNINGS

Contractor shall install Detectable Warnings in compliance with current ADA standards.

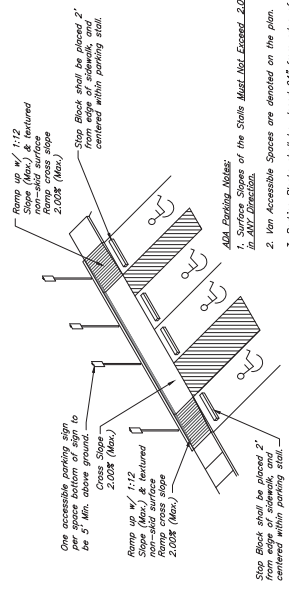
DETECTABLE WARNINGS

Not to Scale



BREAK-AWAY SIGN POST DETAIL

Not to Scale



ADA PARKING DETAIL

Not to Scale

ADA PARKING DETAIL

Not to Scale

ADA Parking Notes:

1. ADA Parking Spaces of the Streets Must Not Exceed 2.00% Slope.
2. Van Accessible Spaces are denoted on the plan.
3. Parking Blocks shall be placed 24\"/>

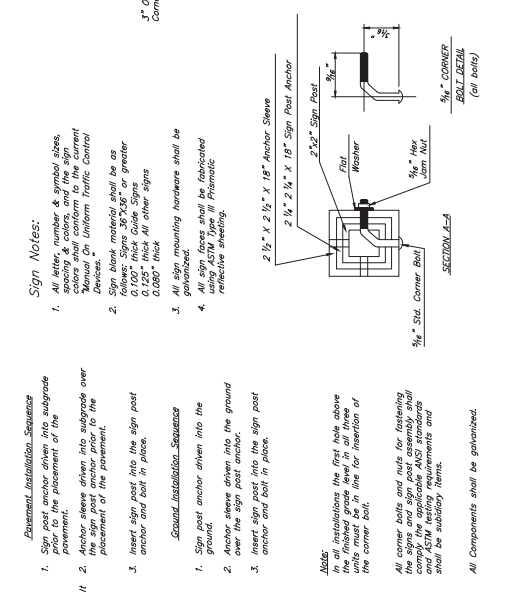
ADA Sign Notes:

1. Accessible Sign (RP-8) Shall be mounted on a pole or other structure with a height of 12\"/>

2. Supplemental Accessible Sign (RP-7) shall be placed on all required Van Accessible Spaces on all required Van Accessible Spaces.
3. Signs shall be blue with white lettering.

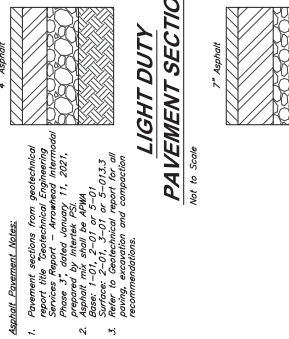
TYPICAL ACCESSIBLE SIGNAGE

Not to Scale



TYPICAL ACCESSIBLE SIGNAGE

Not to Scale



LIGHT DUTY PAVEMENT SECTION

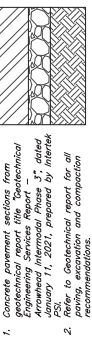
Not to Scale

LIGHT DUTY PAVEMENT SECTION

Not to Scale

Concrete Pavement Notes:

1. Concrete Pavement shall be prepared by the Contractor in accordance with the Technical Engineering Services Report dated January 11, 2021, prepared by the Engineer.
2. Prior to construction, the Contractor shall submit a concrete mix design to the Engineer for approval.

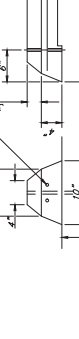


HEAVY DUTY PAVEMENT SECTION

Not to Scale

Concrete Pavement Notes:

1. Concrete Pavement shall be prepared by the Contractor in accordance with the Technical Engineering Services Report dated January 11, 2021, prepared by the Engineer.
2. Prior to construction, the Contractor shall submit a concrete mix design to the Engineer for approval.

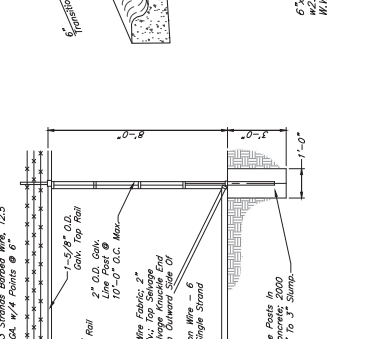


PRECAST CONCRETE STOP BLOCK

Not to Scale

Concrete Pavement Notes:

1. Concrete Pavement shall be prepared by the Contractor in accordance with the Technical Engineering Services Report dated January 11, 2021, prepared by the Engineer.
2. Prior to construction, the Contractor shall submit a concrete mix design to the Engineer for approval.



CONCRETE FLUME

Not to Scale

PROJECT

ARROWHEAD INTERMODAL, 3295 WEST 19TH STREET, EDGEMONT, KANSAS 66021

ARCHITECT

GMA ARCHITECTS, LLC

DESIGN BUILDER

ARCO CONSULTING ENGINEERS

DATE

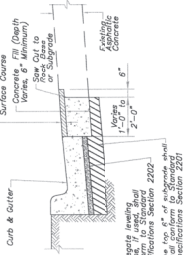
2/2/2021

PROJECT NO.

21477

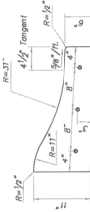
AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY
STANDARD DRAWING	METROPOLITAN CHAPTER
ADOPTED	MAY 23, 2001
CURB DETAILS	

CURB REPLACEMENT DETAIL



- GENERAL NOTES:
- 3/4" Inception joints with 3/8" dia. x 2' smooth dowels shall be placed at 10' intervals. The first joint shall be placed at the beginning of the curb and gutter. The last joint shall be placed at the end of the curb and gutter.
 - 1" deep contraction joints shall be installed at approximately 10' intervals. The first joint shall be placed at the beginning of the curb and gutter. The last joint shall be placed at the end of the curb and gutter.
 - 1/4" cove base with bar supports.
 - Depth of curb shall be a minimum of 8" through the handlap access ramp.
 - Concrete shall conform to Standard Specifications Section 2206.2.5.
 - Asphaltic concrete shall conform to Standard Specifications Section 2202.2.

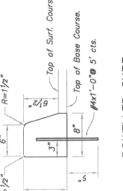
ROLL BACK DRY CURB & GUTTER (TYPE CG-2 DRY)



ROLL BACK CURB & GUTTER (TYPE CG-2)



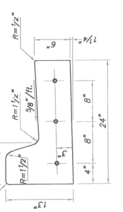
DOMELED CURB (TYPE DC)



STRAIGHT BACK DRY CURB & GUTTER (TYPE CG-1 DRY)



STRAIGHT BACK CURB & GUTTER (TYPE CG-1)



STRAIGHT CURB (TYPE C-1)

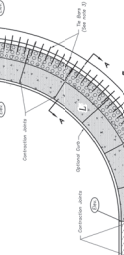


AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY
STANDARD DRAWING	METROPOLITAN CHAPTER
ADOPTED	MAY 23, 2001
SIDEWALK RAMP DETAILS	

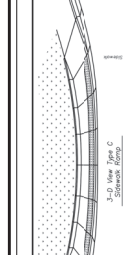
SIDEWALK RAMP REPLACEMENT DETAIL



TYPE C SIDEWALK RAMP

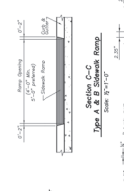


TYPE D SIDEWALK RAMP

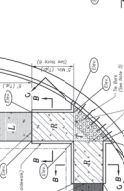


AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY
STANDARD DRAWING	METROPOLITAN CHAPTER
ADOPTED	MAY 23, 2001
SIDEWALK RAMP DETAILS	

SIDEWALK RAMP REPLACEMENT DETAIL



TYPE A & B SIDEWALK RAMP

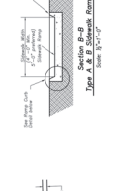


TYPE C SIDEWALK RAMP

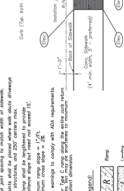


AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY
STANDARD DRAWING	METROPOLITAN CHAPTER
ADOPTED	MAY 23, 2001
SIDEWALK RAMP DETAILS	

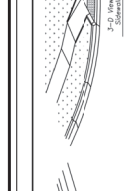
SIDEWALK RAMP REPLACEMENT DETAIL



TYPE A & B SIDEWALK RAMP

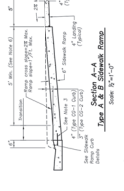


TYPE C SIDEWALK RAMP

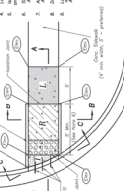


AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY
STANDARD DRAWING	METROPOLITAN CHAPTER
ADOPTED	MAY 23, 2001
SIDEWALK RAMP DETAILS	

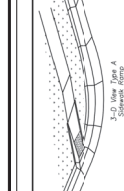
SIDEWALK RAMP REPLACEMENT DETAIL

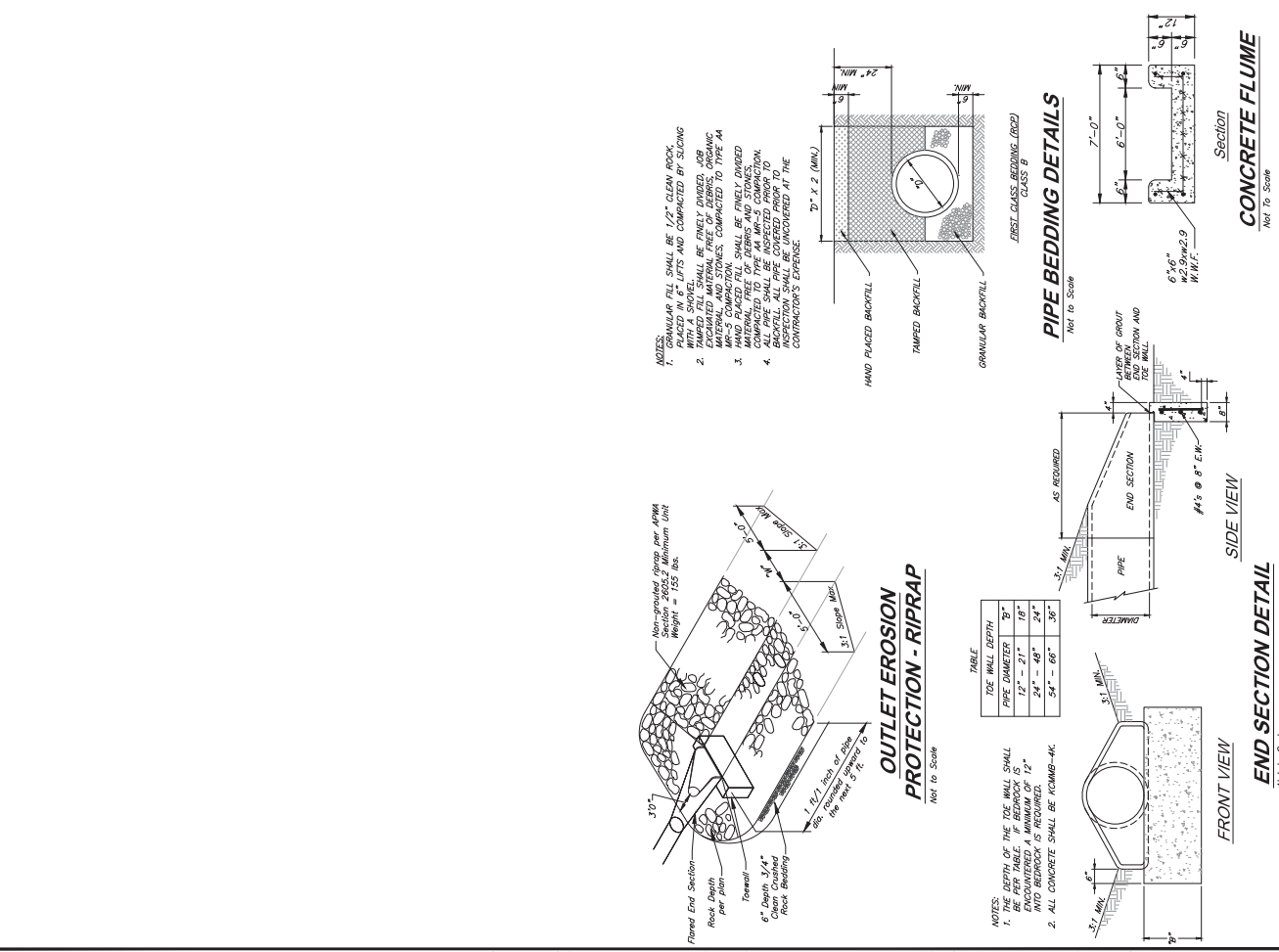
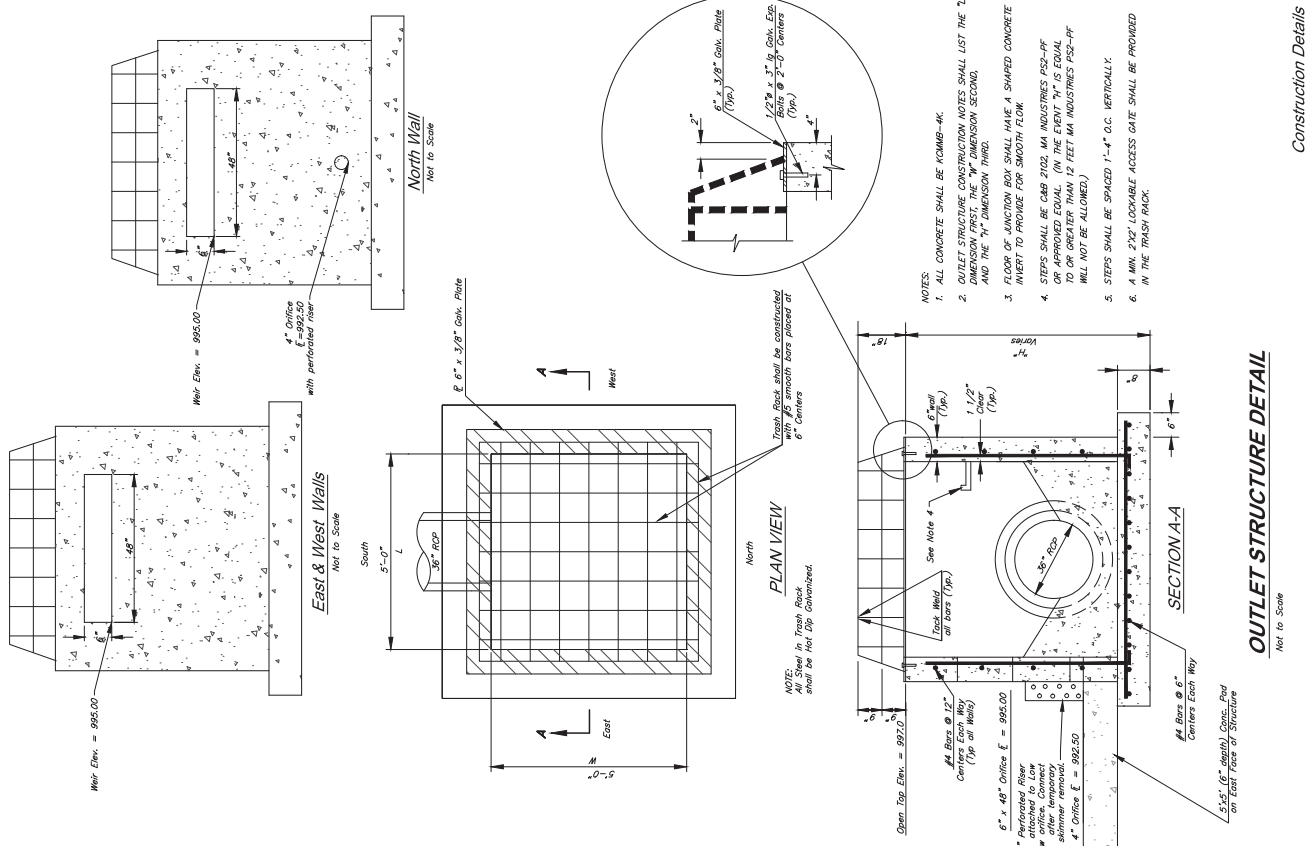


TYPE A & B SIDEWALK RAMP



TYPE C SIDEWALK RAMP





PROJECT

ARROWHEAD SERVICES LLC

INTERHEAD INTERHEAD, 3

EDGERTON, KANSAS 66021

ARCHITECT

GMA

501 N ROCK WALK

EDGERTON, KANSAS 66021

DESIGN BUILDER

ARCO

501 N ROCK WALK

EDGERTON, KANSAS 66021

ELECTRICAL

PLUMBING

MECHANICAL

CONTACT INFO

PROJECT

ARROWHEAD SERVICES LLC

INTERHEAD INTERHEAD, 3

EDGERTON, KANSAS 66021

ARCHITECT

GMA

501 N ROCK WALK

EDGERTON, KANSAS 66021

DESIGN BUILDER

ARCO

501 N ROCK WALK

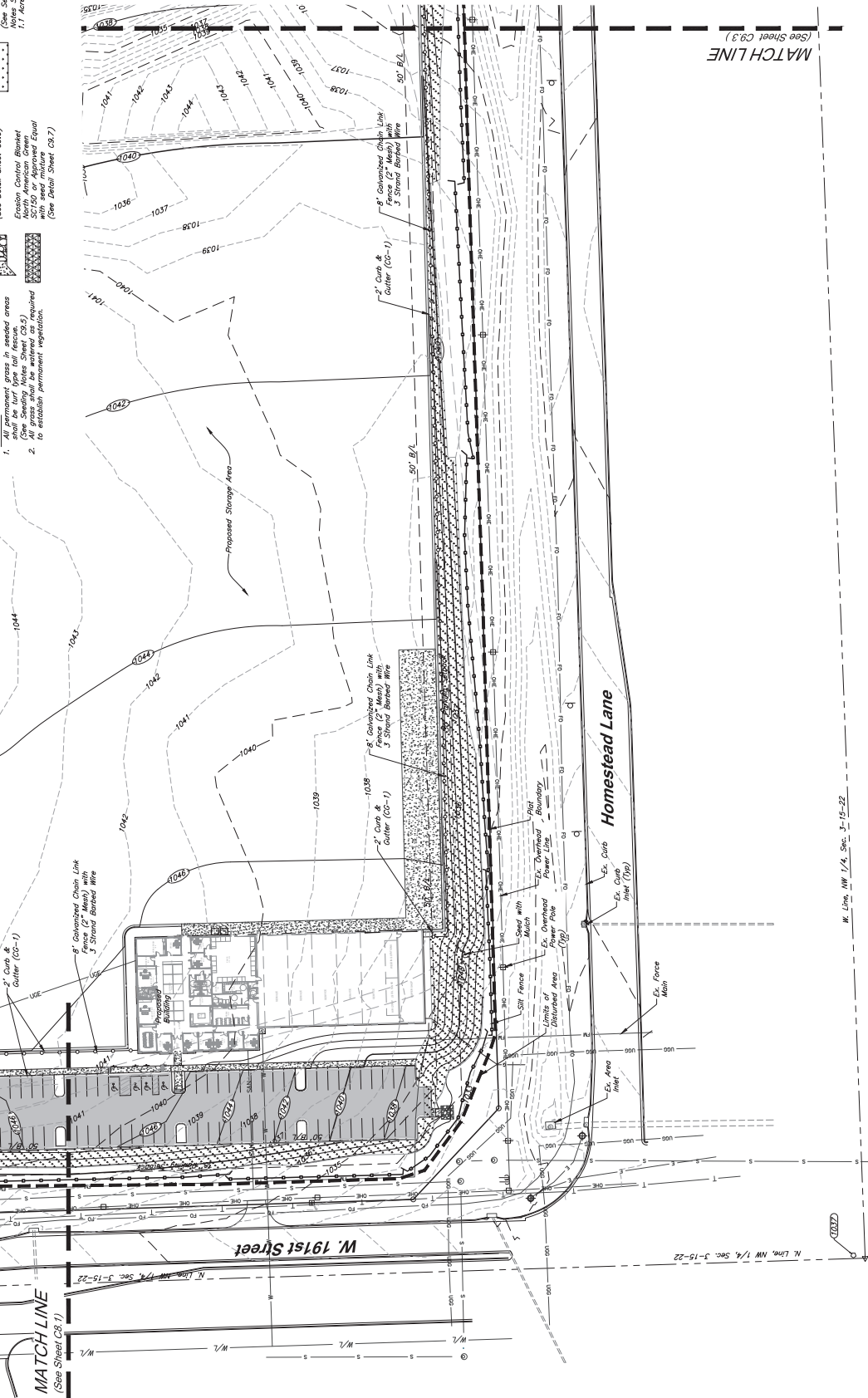
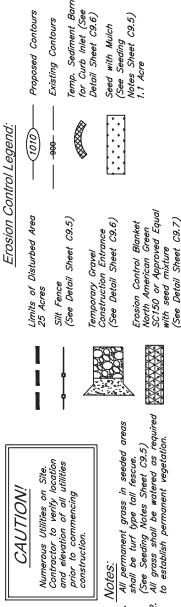
EDGERTON, KANSAS 66021

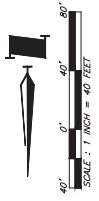
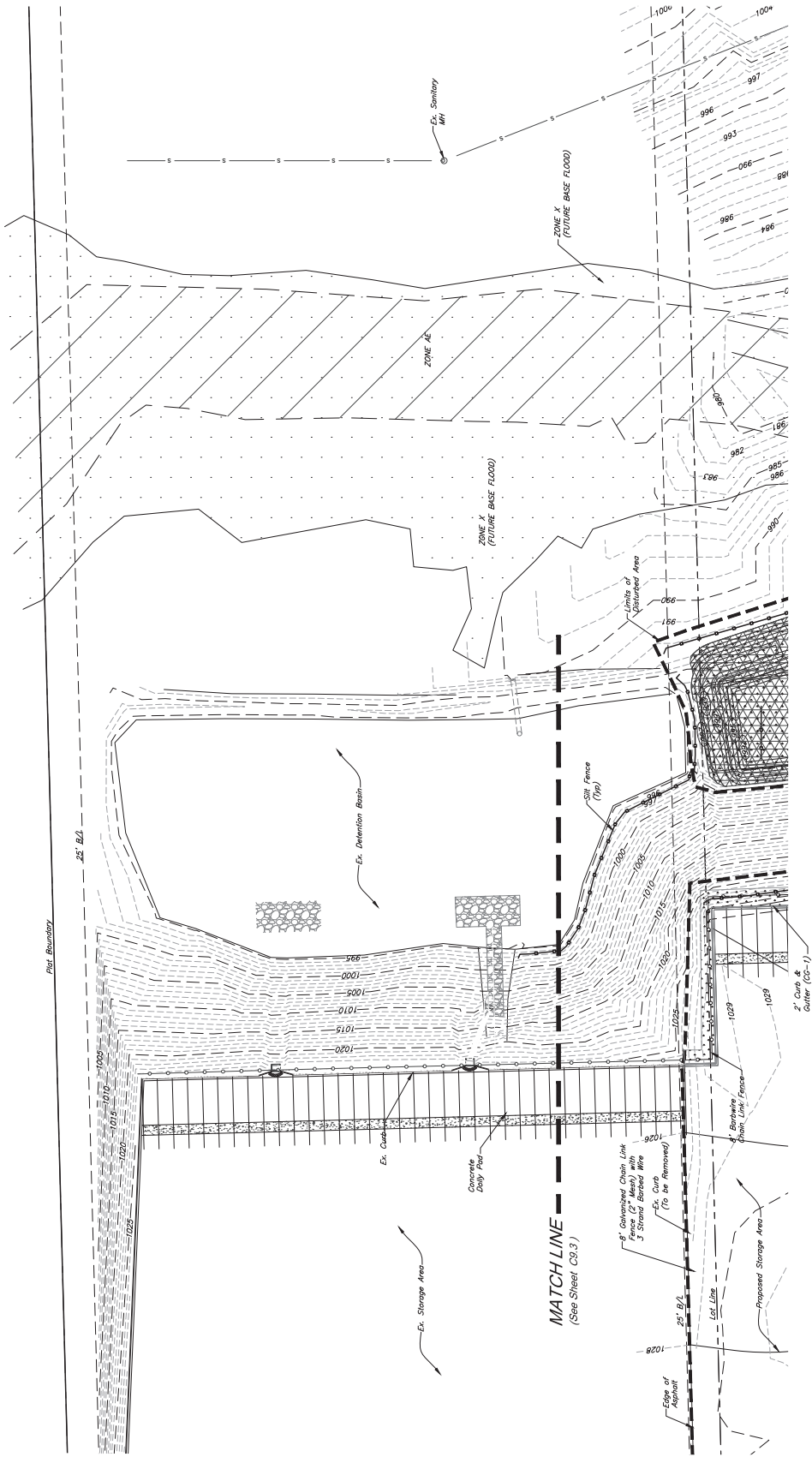
ELECTRICAL

PLUMBING

MECHANICAL

CONTACT INFO







CAUTION!

*Numerous Utilities on Site.
Contractor to verify location
and elevation of all utilities
prior to commencing
construction.*

Notes:

1. All permanent grass in seeded areas shall be turf type tall fescue.
(See Seeding Notes Sheet C9.5)
2. All grass shall be watered as required to establish permanent vegetation.

Erosion Control Legend:

Limits of Disturbed Area 25 Acres	Proposed Contours 1070	Existing Contours 1060	Temp. Sediment Barrage for Curb Inlet (See Detail Sheet C3.6)	Seed with Mulch Vegetation 1.1 Acre
<p>Soil Fence (See Detail Sheet C3.5)</p> <p>Temporary Gravel Construction Entrance (See Detail Sheet C3.6)</p> <p>Erosion Control Blanket CS150 or Approved Equal with seed mixture (See Detail Sheet C3.7)</p>				

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY
STANDARD DRAWING
METRO CHAPTER
NUMBER ES-C
BY: JLV/2006

CONCRETE WASHOUT
CONSTRUCTION ENTRANCE
AND CONCRETE WASHOUT

CONCRETE WASHOUT
CONSTRUCTION ENTRANCE
AND CONCRETE WASHOUT

Notes for Concrete Washout:
1. Concrete washout area shall be located prior to any concrete placement.
2. Concrete washout area shall be located prior to any concrete placement.
3. Concrete washout area shall be located prior to any concrete placement.
4. Concrete washout area shall be located prior to any concrete placement.
5. Concrete washout area shall be located prior to any concrete placement.
6. Concrete washout area shall be located prior to any concrete placement.
7. Concrete washout area shall be located prior to any concrete placement.
8. Concrete washout area shall be located prior to any concrete placement.
9. Concrete washout area shall be located prior to any concrete placement.
10. Concrete washout area shall be located prior to any concrete placement.

Notes for Concrete Washout:
1. Concrete washout area shall be located prior to any concrete placement.
2. Concrete washout area shall be located prior to any concrete placement.
3. Concrete washout area shall be located prior to any concrete placement.
4. Concrete washout area shall be located prior to any concrete placement.
5. Concrete washout area shall be located prior to any concrete placement.
6. Concrete washout area shall be located prior to any concrete placement.
7. Concrete washout area shall be located prior to any concrete placement.
8. Concrete washout area shall be located prior to any concrete placement.
9. Concrete washout area shall be located prior to any concrete placement.
10. Concrete washout area shall be located prior to any concrete placement.

Plan View
Not to Scale

Side Elevation
Not to Scale

Section A-A
Not to Scale

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY
STANDARD DRAWING
METRO CHAPTER
NUMBER ES-C
BY: JLV/2006

CONCRETE WASHOUT
CONSTRUCTION ENTRANCE
AND CONCRETE WASHOUT

CONCRETE WASHOUT
CONSTRUCTION ENTRANCE
AND CONCRETE WASHOUT

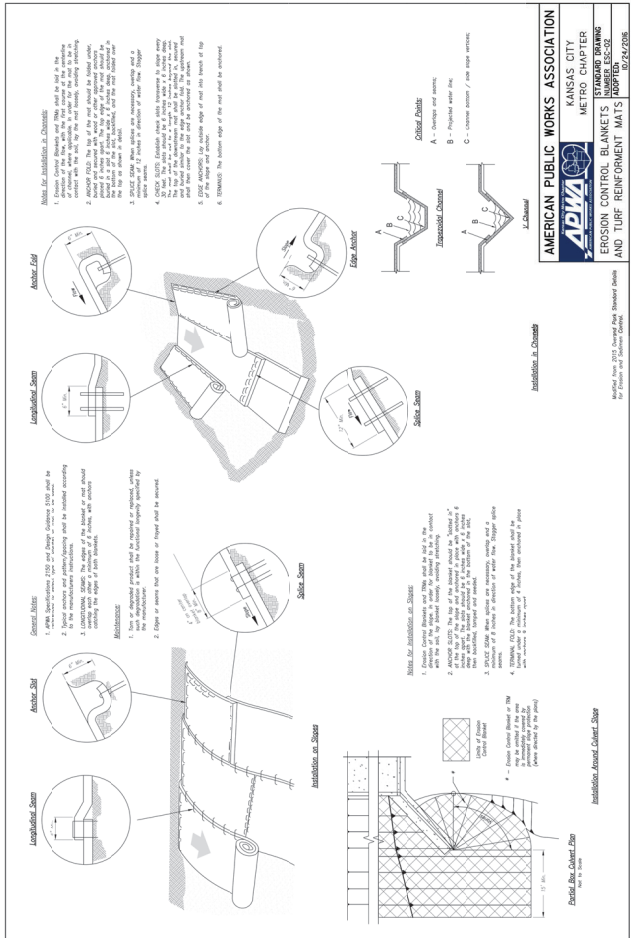
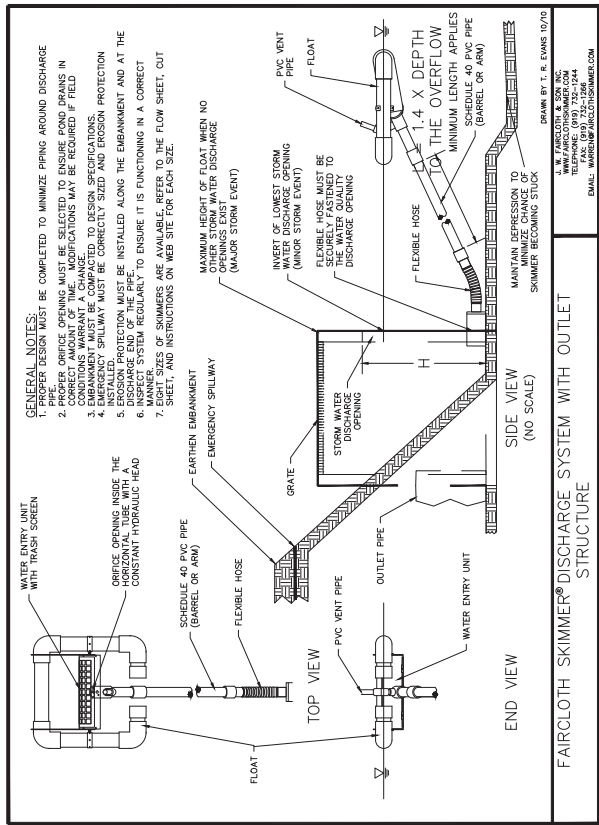
Notes for Concrete Washout:
1. Concrete washout area shall be located prior to any concrete placement.
2. Concrete washout area shall be located prior to any concrete placement.
3. Concrete washout area shall be located prior to any concrete placement.
4. Concrete washout area shall be located prior to any concrete placement.
5. Concrete washout area shall be located prior to any concrete placement.
6. Concrete washout area shall be located prior to any concrete placement.
7. Concrete washout area shall be located prior to any concrete placement.
8. Concrete washout area shall be located prior to any concrete placement.
9. Concrete washout area shall be located prior to any concrete placement.
10. Concrete washout area shall be located prior to any concrete placement.

Notes for Concrete Washout:
1. Concrete washout area shall be located prior to any concrete placement.
2. Concrete washout area shall be located prior to any concrete placement.
3. Concrete washout area shall be located prior to any concrete placement.
4. Concrete washout area shall be located prior to any concrete placement.
5. Concrete washout area shall be located prior to any concrete placement.
6. Concrete washout area shall be located prior to any concrete placement.
7. Concrete washout area shall be located prior to any concrete placement.
8. Concrete washout area shall be located prior to any concrete placement.
9. Concrete washout area shall be located prior to any concrete placement.
10. Concrete washout area shall be located prior to any concrete placement.

Plan View
Not to Scale

Side Elevation
Not to Scale

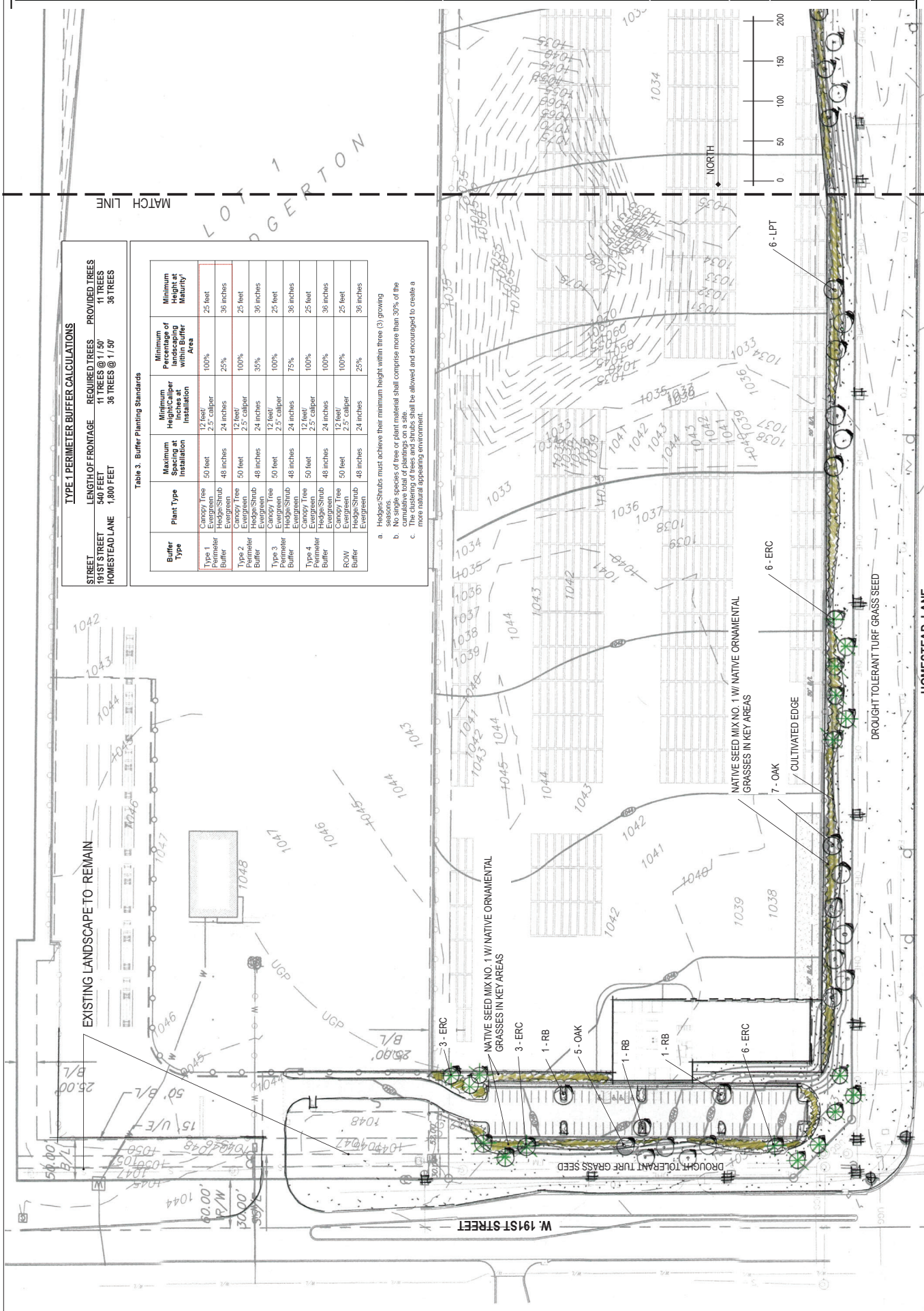
Section A-A
Not to Scale

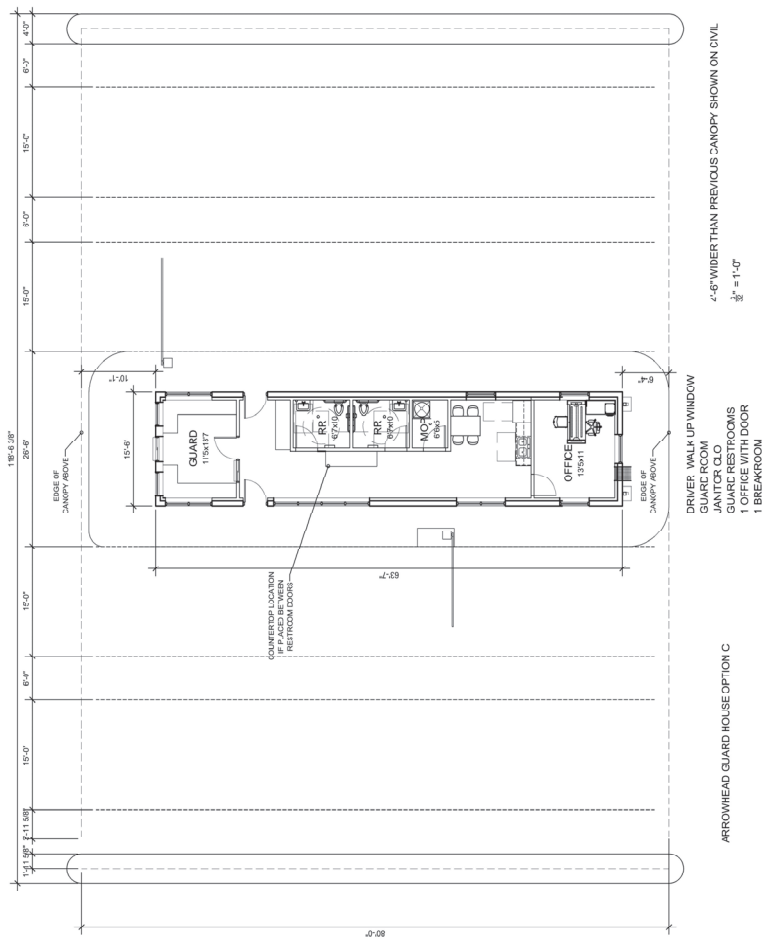


TYPE 1 PERMETER BUFFER CALCULATIONS					
STREET	LENGTH OF FRONTAGE	REQUIRED TREES	PROVIDED TREES		
FIRST STREET	1,400 FEET	11 TREES @ 1/30'	11 TREES		
WHEATSTONE LANE	500 FEET	33 TREES @ 1/30'	33 TREES		

Buffer Type	Plant Type	Maximum Height at Installation	Minimum Height/Caliper Inches at Installation	Minimum Percentage of Area within Buffer	Minimum Minimum Maturity
Type 1 Perimeter Buffer	Canopy Tree	50 feet	12 feet/ 2.5" caliper	100%	25 feet
	Hedge/Shrub	48 inches	2.5" caliper	25%	36 inches
Type 2 Perimeter Buffer	Canopy Tree	50 feet	12 feet/ 2.5" caliper	100%	25 feet
	Hedge/Shrub	48 inches	2.5" caliper	35%	36 inches
Type 3 Perimeter Buffer	Canopy Tree	50 feet	12 feet/ 2.5" caliper	100%	25 feet
	Hedge/Shrub	48 inches	24 inches	75%	36 inches
Type 4 Perimeter Buffer	Canopy Tree	50 feet	12 feet/ 2.5" caliper	100%	25 feet
	Hedge/Shrub	48 inches	24 inches	100%	36 inches
ROW	Canopy Tree	50 feet	12 feet/ 2.5" caliper	100%	25 feet
	Hedge/Shrub	48 inches	24 inches	25%	36 inches

- Hedges/Shrubs must achieve their minimum height within three (3) growing seasons.
- No single species of tree or plant material shall comprise more than 30% of the cumulative total of plantings on a site.
- Plantings shall be allowed and encouraged to create a more natural, appealing environment.



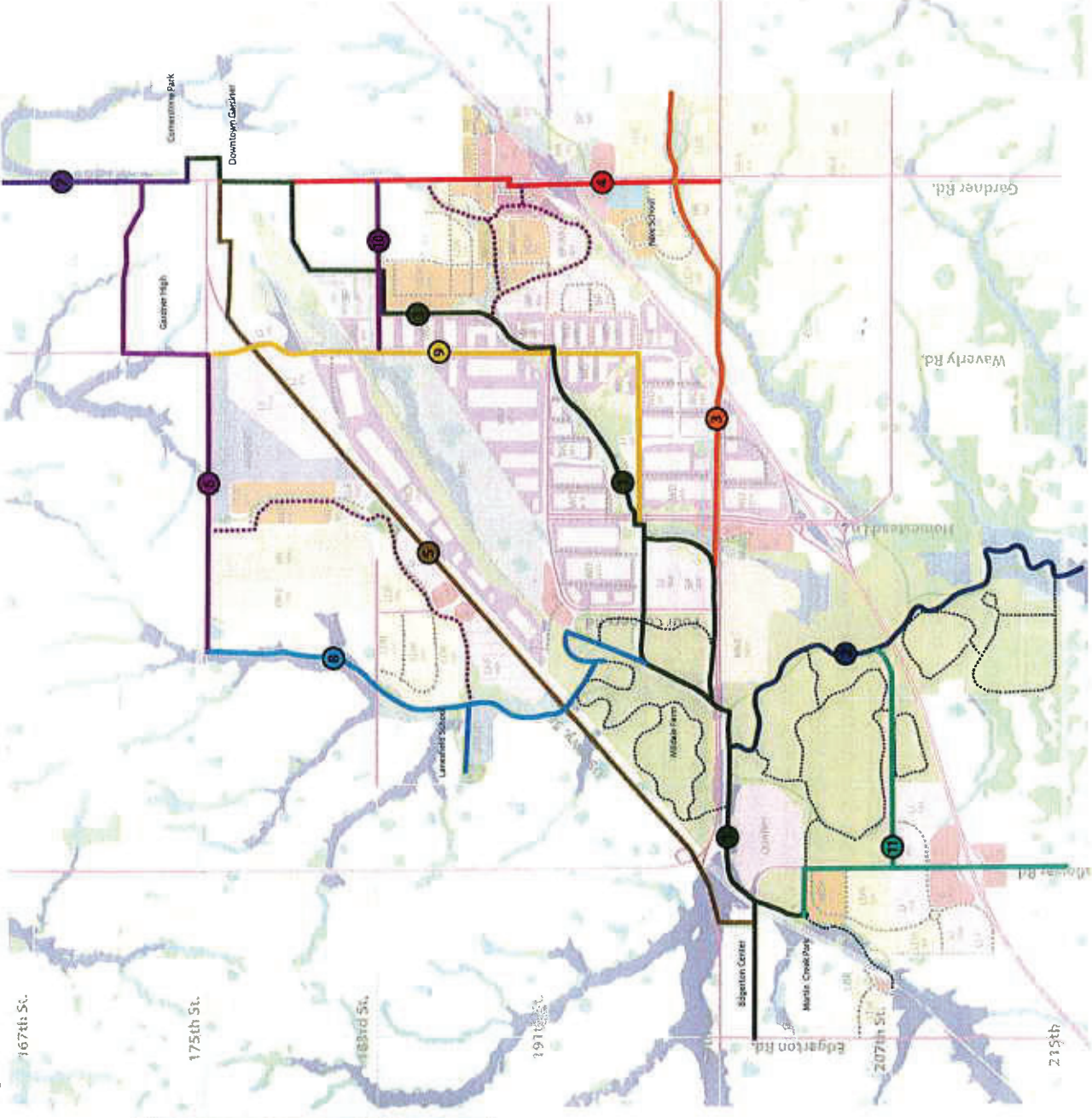


GUARD HOUSE FLOOR PLAN
SCALE: 1/8" = 1'-0" (24x36 SHEET)

ACTIVE TRANSPORTATION



Figure 7.1: Proposed Active Transportation Network



- Gardner-Edgerton Trail
- Hillside Trail
- 3 Parkway Trail
- 4 Nike Trail
- US 56
- 175th Path
- JoCo Regional Route
- North Bull Creek Trail
- 9 Waverly Complete Street
- 183rd Link
- 11 Creek to Creek
- Paths with Development
- Park Trails and Paths



EDGERTON

global routes. local roots.

404 East Nelson
Edgerton, KS 66021
P: 913.893.6231
EDGERTONKS.ORG

STAFF REPORT

April 13, 2021

To: Edgerton Planning Commission
Fr: Chris Clinton, Planning and Zoning Coordinator
Re: Application **CU2021-02** for Conditional Use Permit Request for cargo container storage, repair or maintenance facility located 32355 W 191st Street, Edgerton, Kansas

APPLICATION INFORMATION

Applicant: CY Edgerton, LLC
32355 W 191st Street
Edgerton, KS 66021

Property Owner: CY Edgerton, LLC
20012 W South Arsenal Rd
Wilmington, IL 60481

And

Omar Holtgraver
1979 Haskell Road
Ottawa KS, 66067

Requested Action: Conditional Use Permit approval for cargo container storage, repair, or maintenance facility

Legal Description: NW ¼ of Section 3, Township 15 S, Range 22 E; see attached application for full legal description.

Site Address/Location: 32355 W 191st Street, Edgerton, KS

Site Size: Approximately 74.72 Acres

Existing Improvements: Existing cargo container, storage, repair, or maintenance facility on the east half; no improvements on west half.

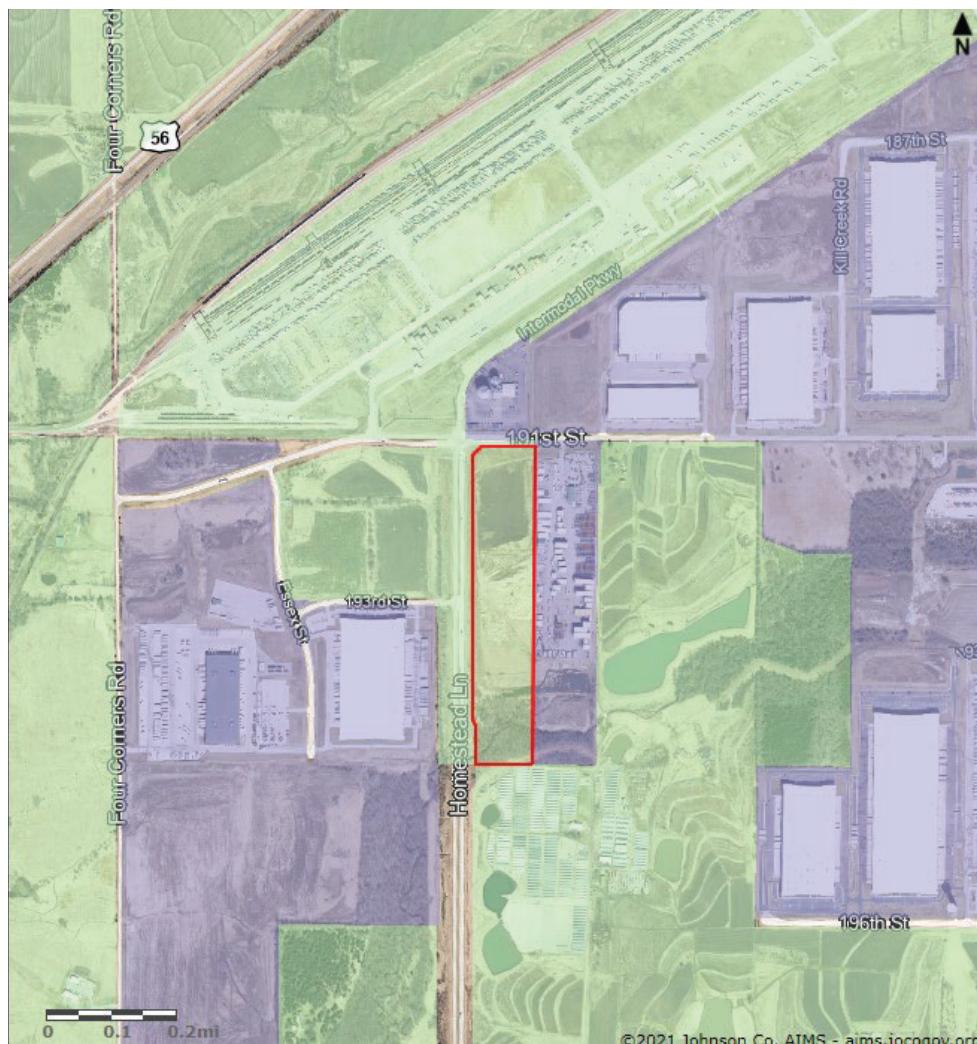


Current Zoning and Land Uses:

	<i>ZONING</i>	<i>LAND USE TODAY</i>	<i>USER/OWNER</i>
<i>SITE</i>	JoCo RUR (ZA2021-06)/City of Edgerton L-P (Logistics Park District)	Vacant/Stockpile Storage (west) and Current Cargo Container Operations (east)	Omar Holtgraver and CY Edgerton
<i>NORTH</i>	I-H, Heavy Industrial District	Grain storage and parking	The DeLong Company, Inc
<i>SOUTH</i>	Johnson County RUR, Rural	Tree Farm	Prairie Tree, LLC
<i>EAST</i>	Johnson County RUR, Rural	Tree Farm	Prairie Tree, LLC
<i>WEST</i>	Johnson County RUR, Rural (north) L-P, Logistics Park District (south)	Northwest is vacant; southwest contains warehouse operations	Widmer Farms, LLC (northwest) ELHC XXII LLC (southwest)

Figure 1 – Subject parcel outlined in red

Green: Johnson County RUR or City of Edgerton A-G
Purple: City of Edgerton Logistics Park (L-P)



BACKGROUND AND PROJECT DESCRIPTION:

On February 11, 2014 the City of Edgerton Planning Commission considered and recommended approval of Application CU-11-15-2013 for a Conditional Use Permit which allowed initial construction of a cargo container storage yard and maintenance facility owned by Omar and India Holtgraver. The City of Edgerton City Council adopted Ordinance No. 967 on February 27, 2014 approving the Application CU-11-15-2013 for a period of ten (10) years.

Application CU2021-02, received on March 11, 2021, is a request for a Conditional Use Permit (CUP) being made in anticipation of the expansion of operations for Arrowhead Phase III reflected in **Applications ZA2021-06, PP2021-02, FP2021-02, and FS2021-05** also heard during the April 13, 2021 Planning Commission meeting. This one CUP would combine phased operations into one permit instead of having two different permits with two different expiration dates.

In addition to the expanded cargo container, chassis storage and maintenance operations, the applicant is also proposing an office and maintenance facility as part of the expansion. A guard shack with canopy over travel lanes would also be located on the east side of the combined parcels. The applicant shows a new detention basin to the south of the storage area. The storage area is proposed to be paved in heavy duty pavement that is comprised of seven (7) inches of Portland cement concrete and four (4) inches of crushed stone.

INFRASTRUCTURE AND SERVICES:

Infrastructure and services were reviewed with Final Site Plan **Application FS2021-05**.

STAFF ANALYSIS

City Staff reviewed the Site Plan under the requirements outlined in Article 7 – *Conditional Uses* of the Unified Development Code (UDC).

The purpose of this article is to provide for certain uses, which because of their unique characteristics cannot be distinctly listed as a permitted use in a particular zoning district. The Planning Commission may recommend approval of conditional uses to the Governing Body after consideration in each case, of the impact of such uses upon neighboring uses, the surrounding area, and the public need for the particular use at the particular location. Limitations and standards are herein established to ensure the use's consistency with the character, uses and activities in the zoning district. Before any conditional use shall be approved, the Governing Body shall review the record of the public hearing held by the Planning Commission.

The Planning Commission, in accordance with the procedures and standards of the UDC, may recommend the Governing Body authorize buildings, structures, and uses as conditional uses in specific instances and in particular districts set forth provided that:

- a. the location is appropriate and consistent with the Comprehensive Plan;
- b. that the public health, safety, morals, and general welfare will not be adversely affected;
- c. the necessary safeguards will be provided to surrounding property, persons, and neighborhood values; and
- d. further provide that additional standards of this Article be specified as a condition of approval.

No Conditional Use shall be authorized unless the Planning Commission finds that the establishment, maintenance, or operation of the Conditional Use meets the standards set forth in

the UDC. The burden of proof and the burden of persuasion is on the applicant to bring forth the evidence on all questions of fact that are determined by the Planning Commission.

Section 7.1.C Issuance of Conditional Uses

1. **Criteria.** In order to recommend approval or disapproval of a proposed conditional use permit, both the Planning Commission and the Governing Body shall determine whether the proposed use is found to be generally compatible with surrounding development and is in the best interest of the City. In making such determination, the Planning Commission and Governing Body may consider all factors they deem relevant to the questions of compatibility and the best interest of the City, including the following:
 - a. The extent to which there is a need in the community for the proposed use. Demand for businesses to store and maintain cargo containers and chassis, such as the facility proposed here, is a by-product of the activity in and around the intermodal facility. LPKC's primary function is to transport and redistribute containers and the products they contain. The proposed use would fill a need for this type of support services in LPKC. Staff determination: **Positive**
 - b. The character of the neighborhood, including but not limited to: zoning, existing and approved land use, platting, density (residential), natural features, and open space. The neighborhood is established as a transportation and logistics hub. The Burlington Northern Santa Fe (BNSF) Intermodal Facility is just across 191st Street from the subject parcels. The applicant has also requested the proper rezoning to expand the current operations. The site would be wholly contained within Application FS2021-05 as submitted for Planning Commission review. Staff determination: **Positive**
 - c. The nature and intensity of the proposed use and its compatibility with the zoning and uses of nearby properties. Such determination should include the location, nature, and height of structures, walls, fences, and other improvements connected with the proposed use, their relation to adjacent property and uses, and the need for buffering and screening. The requested rezoning of L-P and the adjacency to similar uses supports the need for this kind of use. Application FS2021-05 was reviewed to ensure compliance with the UDC regarding L-P zoned parcels. Staff determination: **Positive**
 - d. Suitability of the uses of the property without the proposed conditional use permit. Cargo container and chassis storage are an important function to serve LPKC. This important support service continues to be a much-needed use within LPKC and the existing cargo container storage facilities are seeing an increased demand for such services. Staff determination: **Positive**
 - e. Length of time the subject property has remained vacant without the proposed conditional use permit. Per the Johnson County AIMS system, the parcel has been used as stockpile storage of dirt and rock since at least 2014. The development of this parcel as a cargo container storage and maintenance facility serves a need in the logistics park and develops a parcel currently used for stockpile storage into a viable use. Staff determination: **Positive**
 - f. The extent to which the proposed use may detrimentally affect nearby property. No long-term detrimental effects are expected for the use of the property as the use requested is not extraordinary at LPKC. There are currently three (3) other cargo container storage facilities in operation at LPKC and the approval to expand to the west on a vacant lot will be beneficial to the LPKC. Staff determination: **Positive**
 - g. The adequacy of ingress and egress to and within the site of the proposed use, traffic flow and control, the adequacy of off-street parking and loading areas, the adequacy of required yard and open space requirements and sign provisions. During the approval

process of Application FS2021-05 for this project, City Staff has informed the applicant there can be only one access point from 191st Street. Onsite stacking and the addition of an auxiliary lane along 191st Street will aid in traffic flow to the site. Staff determination: **Positive**

- h. The availability and adequacy of required utilities and services to serve the proposed use. These utilities and services include, but are not limited to, sanitary and storm sewers, water, electrical and gas service, police and fire protection, schools, parks and recreation facilities and services, and other similar public facilities and services. Utilities are currently installed on the eastern parcel and can be easily extended to the western parcel from there. Staff determination: **Positive**.
- i. The extent to which the proposed use would adversely affect the capacity or safety of that portion of the road network influenced by the proposed use, or present parking problems in the vicinity of the property. The addition of onsite stacking lanes and an auxiliary lane along 191st Street should alleviate the current traffic issues which occur on 191st Street and extend onto Homestead Lane. Additionally, 191st Street is designated as a heavyweight corridor and the roadway is designed to carry the truck traffic that would be generated by the expanded use. Staff determination: **Positive**
- j. The environmental impacts that the proposed use would create (if any) including, but not limited to, excessive storm water runoff, water pollution, air pollution, noise pollution, excessive nighttime lighting or other environmental harm. This project will increase the amount of impervious surface. During Site Plan review, the stormwater report is reviewed by the City Engineer to ensure all stormwater stays on site and does not impact nearby properties. The City will follow National Pollutant Discharge Elimination System (NPDES) guidelines and stormwater management requirements which require any application to address runoff and water pollution mitigation measures as part of the development of the property. Any construction that occurs on site will be required to get a NPDES permit from the State of Kansas and a land disturbance permit from the City. Those permits require a stormwater pollution prevention plan that is reviewed by the City and the State. Mitigation of pollution in the form of air, noise, light, etc., will be addressed as part of the Site Plan review process. Staff determination: **Neutral**
- k. The economic impact of the proposed use on the community. Prior to the development of the BNSF intermodal facility and LPKC, there were few commercial and industrial uses within the City. Warehousing and related uses in the L-P District have the potential to benefit the residents and the community in a positive way by providing needed jobs and tax revenues. This type of use is seen as necessary support for warehousing and other related LPKC uses. Staff determination: **Positive**
- l. The relative gain (if any) to the public health, safety, and welfare from a denial of the application for conditional use permit as compared to the hardship imposed upon the conditional use applicant from such denial. Application FS2021-05, would meet the requirements of the UDC if approved with the stipulations stated. Due to the nature of the request, there would be little gain to the public health, safety, and welfare of the City of Edgerton and the property owner should this request be denied. Staff determination: **Positive**
- m. Consistency with the Comprehensive Plan, Capital Improvement Plan, ordinances, policies, and applicable City Code of the City of Edgerton, and the general safety, health, comfort and general welfare of the community. The Future Land Use Map within the Comprehensive Plan designates the subject property for industrial development. Staff determination: **Positive**
- n. In addition to the above criteria, the recommendation of professional staff is also

required per Ordinance 798 (2005). Staff recommendation is addressed in the Recommendations Section of this Staff Report.

Section 7.2.G – Specific District Requirements for L-P, Logistics Park District

1. Cargo container storage, repair or maintenance. All cargo container storage and cargo container repair and maintenance facilities (collectively referred to as “facilities” shall be subject to the following performance provisions:
 - a. Access: No cargo containers or semi-trailers (either on or off a chassis), or a chassis, may be stored in a manner that impedes access to public rights-of-way, public utility or drainage easements, structures, and buildings. ***The applicant has not provided definitively outlined areas on FS2021-05 where the stacking of cargo containers and chassis will occur. City Staff is unable to verify these access requirements. Updated Final Site Plan required.***
 - b. Exterior Lighting: Facilities shall provide lighting on-site, including at all vehicular entrances and exists. A lighting plan shall be submitted and approved. ***The applicant has provided a lighting plan that does provide lighting at the entrances and exits. However, the lighting plan will need to meet the requirements and stipulations for Final Site Plan application FS2021-05. Updated Final Site Plan Required.***
 - c. Minimum Lot Size: Facilities shall have a minimum lot size of twenty (20) acres. ***The parcels to be combined in Final Plat application FP2021-02 will equal 74.72 acres. Site Plan FS2021-05 complies.***
 - d. Noise: Noise from businesses and facilities shall not exceed 60 dB(A) in any adjacent residential district or 70 dB(A) in any adjacent commercial or industrial district or property. ***Noise issues are not addressed in the applicant’s proposal; however, if approved, the use must continuously comply with these parameters in the conduction of business.***
 - e. Paving: All interior driveways, parking, loading, and storage areas shall be paved and dust-free. For purposes of this stipulation:
 - i. Paving shall mean concrete or asphalt: and
 - ii. Dust-free shall mean that all interior driveway and storage area surfaces shall be kept free of dust, dirt or other materials to prevent the migration of dust off-site. ***The applicant has indicated the storage site will be paved with seven (7) inches of Portland cement concrete on top of four (4) inches of crushed stone. All other driveways are to be paved with asphalt. Site Plan FS2021-05 complies.***
 - f. Parking: Facilities shall comply with the Article 5.2 L-P District Off Street Parking and Loading regulations. No portion of any required off-street parking or loading/unloading areas shall be used for the storage of cargo containers, semi-trailers (either on or off a chassis), chassis or similar storage devices. ***The proposed use shall continuously comply with parking requirements. Site Plan must delineate specific areas onsite that will be used for stacking and parking. Update Final Site Plan.***
 - g. Cargo Container Stacking: Cargo containers shall not be stacked more than five (5) in number. ***The proposed use must continually comply with and not exceed the maximum stacking number.***
 - h. Chassis Stacking/Racking: Empty chassis may be stored on end (racking), or may be stacked. When stacked, chassis shall not be more than five (5) in number. ***The proposed use must continually comply with and not exceed the maximum stacking number.***
 - i. Screening and Landscaping: Screening may be required on the perimeter of the property. Screening shall be a combination of fencing and landscaping or berming and landscaping.

Screening shall comply with requirements Article 5.2 L-P District Landscape Standards.

The comments regarding the landscaping in the Staff Report for Application FS2021-05 must be addressed and the proposed use shall continuously comply with the landscaping requirements. Updated Final Site Plan required.

- j. Setbacks and Separation Distance: All buildings, structures, parking and other uses on the property shall be subject to the setback requirements in Article 5.2 L-P District Setback, Yard, Area Regulations, except however, the parking or storage of cargo containers or semi-trailers (either on or off a chassis), and chassis (racked or stacked) shall be subject to the following setback standards that may vary depending upon the difference scenarios set forth below:
- i. When abutting (touching), or across the street from non-residentially zoned property, such parking or storage shall be setback from any exterior property line of the subject property a distance equal to the height of the cargo container or semi-trailer (either on or off a chassis), and chassis (racked and stacked);
 - ii. When abutting (touching) public right-of-way, such parking or storage shall be setback from any exterior property line of the subject property a distance equal to the height of the cargo container or semi-trailer (either on or off a chassis), and chassis (racked and stacked);
 - iii. When abutting (touching), or across the street from residentially zoned property, such parking or storage shall be setback a minimum of 250 feet from the nearest property line of the residentially zoned property;
 - iv. When abutting (touching), or across the street from a habitable dwelling, such parking or storage shall be setback a minimum of 300 feet from the nearest dwelling; and
 - v. For purposes of Stipulations 3 and 4 above, measurements shall be made between the nearest property line of the residentially zoned property or the nearest edge of a dwelling, and the nearest cargo container, semi-trailer (either on or off a chassis), or chassis.

There is a proposed new building in Application FS2021-05 and an existing building on the eastern parcel. The north and west property lines about public right-of-way and the stacking of cargo container or semi-trailer, either on or off a chassis) and chassis (racked and stacked) will determine the setback as it will be equal to the height of the stored items. The south property line does about a residentially zoned property; however, the paved area is over 750 feet from that property. The applicant has not provided proposed locations where the stacking of cargo containers and chassis is to occur on the Final Site Plan. City Staff is unable to verify the setbacks have been met on the north, east, and west property lines of the property. Updated Final Site Plan required.

- k. Signage: Business signs shall be allowed according to Article 5.2 L-P District Signage regulations. No signage, other than shipping company identification logos and placards, shall be allowed on any cargo container, semi-trailer or chassis. ***The applicant has not indicated any new signage will be placed on the site at this time. All new signage will require the submittal of a Sign Permit Application which will be reviewed by staff for compliance with Article 5 of the UDC.***
- l. Site Plan: A site plan shall be submitted with the application. The site plan shall be prepared in accordance with the requirements of Article 9.1 (B) (3) of these regulations. ***Application FS2021-05 has been submitted. Updates are required as noted.***
- m. Other Rules and Regulations: All facilities shall abide by any and all governmental rules, regulations, codes and specifications now in effect or hereafter adopted that would be

applicable to this permit or the use of the property by the applicant/landowner. ***The proposed use must continuously comply with these requirements.***

- n. Deviations: In the event that an applicant desires to deviate from the above performance standards and provisions for certain Conditional Uses, the applicant shall submit written information to the Governing Body indicating the circumstances which are believe to necessitate the need for a deviation(s), and the applicant shall provide a list of alternative materials, designs or methods that are equivalent to the performance standards and provisions for the L-P Zoning District, Section 5.4, Section G through Q in the regulations. The application may only be approved if findings are made by the Governing Body that a) due to the circumstances of the application, it would be unnecessary to impose the standard(s) and equivalent alternatives should be allowed, b) that the spirit and intent of the regulations are being met, c) that granting the deviation shall not adversely affect adjacent or nearby property and d) the application shall otherwise comply with all building code(s) and safety requirements. (Ordinance No. 915, 2012) ***The proposed use must continuously comply with these requirements.***

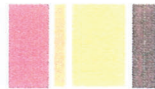
RECOMMENDATION

Based upon the above staff analysis, City staff recommends **approval** of Application **CU2021-02** for a cargo container storage, repair or maintenance as shown in Final Site Plan application FS2021-05 for a period of ten (10) years with the following stipulations:

1. The Conditional Use Permit CU2021-02 approval shall be transferable, but it must stay with the ownership of these parcels for which its use is approved (Final Plat application FP2021-02);
2. The property owner shall continuously comply with all performance criteria in Article 7 pertaining to Cargo Container Storage Facilities and Cargo Repair and Maintenance Facilities, including, but not limited to, noise maximums and cargo container and chassis stacking height requirements. The applicant shall comply with height requirements by limiting cargo container stacking to not exceed the maximum of 5 (five) cargo containers. This condition shall be continually met for the duration of the conditional use permit.
3. The property shall be developed in accordance with the Final Site Plan application FS2021-05 and any stipulations, to be approved by the Planning Commission, prior to commencement of the cargo container storage use.
4. Landscaping material shall be continuously maintained and replaced when dead.
5. No other outside storage of equipment or materials shall be allowed on the property.
6. Any future phases or additional areas used for cargo container maintenance and repair uses shall not commence until a new, revised Site Plan is submitted and approved by the City for that phase, including photometric and landscaping plans.
7. This Conditional Use Permit shall be valid for 10 (ten) years from date of approval by the City of Edgerton Governing Body.

ATTACHMENTS

- Application CU2021-02
- Future Land Use Map



Please print or type.

PROPERTY INFORMATION

Requesting Conditional Use Permit For: Cargo container storage, repair, or maintenance

Location or Address of Subject Property: SE Corner of the intersection of W 191st Street and Homestead Lane

See attached exhibit for location and property boundaries

Legal Description: Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas

See attached exhibit for full legal description

Zoning on Subject Property: Agricultural Current Land Use: Vacant

PROPERTY OWNER INFORMATION

Property Owner's Name(s): Omar J Holtgraver Phone: 913-980-8310

Company: N/A Fax: _____

Mailing Address: 1979 Haskell Rd.

City: Ottawa State: Kansas Zip: 66067

APPLICANT/AGENT INFORMATION

Applicant/Agent's Name(s): Joshua Cooley Phone: 913-287-2752

Company: CY Edgerton, LLC Fax: _____

Mailing Address: 32355 W. 191st St.

City: Edgerton State: Kansas Zip: 66201

ENGINEER/ARCHITECT INFORMATION

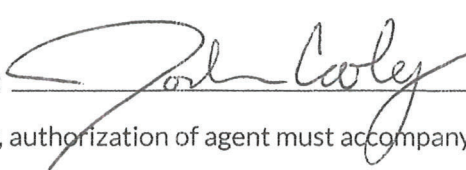
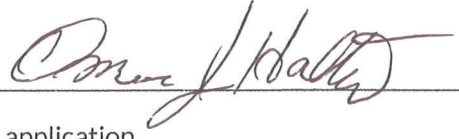
Engineer/Architect's Name(s): Clint Loumaster Phone: 913-577-8266

Company: George Butler Associates, Inc. Fax: _____

Mailing Address: 9801 Renner Boulevard Suite 300

City: Lenexa State: Kansas Zip: 66219-9745

SIGNATURE

Signature of Owner or Agent:  

NOTE: If not signed by owner, authorization of agent must accompany this application

FOR OFFICE USE ONLY

Application No.: CU-2021-02 Received by: Veronica Huffman

Permit Fee Paid: \$ 1,000 Date Fee Paid/Receipt #: 3/4/21 #10136771

Publication Fee Paid: \$ 172.50 Date Fee Paid/Receipt #: 4/1/21 #33682337

Hearing Date 4/13/21

v. 12.10.19

CERTIFIED LETTERS

The applicant will be responsible for mailing notices (see attached form letter) of the public hearing for the requested Conditional Use Permit by certified mail, return receipt requested to all owners of land within the notification area: two hundred (200) feet within the city limits; one thousand (1,000) feet in the unincorporated area of the subject property. These notices must be sent a minimum of twenty (20) days prior to the public hearing. Information regarding ownership of the land within the notification area can be obtained from the Johnson County Department of Records and Tax Administration or through a title insurance company (preferred method). A list of property owners within the notification area must be submitted with the application.

AFFIDAVIT OF COMPLIANCE

An affidavit (see attached form) concerning the mailing of property owner notification letters must be returned to the office of the City Clerk by no later than the Thursday preceding the public hearing.

PLANNING COMMISSION REVIEW AND DECISION

The Edgerton Planning Commission meets in City Hall on the second Tuesday of every month. The agenda and staff reports will be available the Friday preceding the public hearing. The chairperson will open the public hearing for each case to hear presentations by the city staff, the owner or authorized agent, and the audience, respectively. After everyone has had the opportunity to speak, the Planning Commission Chairman will either close or continue the public hearing to a later date. After the public hearing is closed, discussion will be limited to the Planning Commission and action will be taken in the form of a recommendation for approval or denial to the Governing Body.

PROTEST PERIOD

After the conclusion of the public hearing, a fourteen (14) day protest period begins. During the protest period, property owners within the notification area of the subject property may file a petition indicating their protest to the requested Conditional Use Permit with the office of the City Clerk. The submission of a valid protest petition from property owners of twenty (20) percent of the land within the notification area of the subject property within the allotted time will require a three-quarter ($\frac{3}{4}$) vote for approval by the Governing Body. Copies of protest petitions may be obtained in the office of the City Clerk.

GOVERNING BODY ACTION

After the protest period has concluded, the application will be placed on an agenda for Governing Body action (up to thirty (30) days after the conclusion of the public hearing). The Governing Body will review the transcript of the public hearing along with the recommendation of the Planning Commission and will take action by concurring with or overriding the Planning Commission recommendation, or by returning the request to the Planning Commission for further review.



NOTE: This letter is to be sent to adjacent property owners as outlined on instructions page.

Application No.: CU- _____

Dear Sir or Madam:

This letter is to notify you that a public hearing will be held at the Edgerton City Hall, 404 E. Nelson St., Edgerton, Kansas, to consider a Conditional Use Permit request for Cargo container storage, repair, or maintenance on the following described tract of land:

Legal Description: Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas

See attached for full legal description.

General Location: The area proposed for the conditional use permit is generally located at the Southeast corner of the intersection of 191st Street and Homestead Lane.

A public hearing will be held to consider the Conditional Use Permit request on the above-described tract at 7:00 p.m. on April 13, 20 21. Any interested persons or property owners are invited to attend. Information regarding this Conditional Use Permit request is available in the office of the City Clerk at City Hall or by phone at (913) 893-6231. You may also contact the undersigned for additional information regarding this Conditional Use Permit request.

A fourteen (14) day protest period begins at the conclusion of the public hearing during which you may file a protest petition in the office of the City Clerk. If a valid protest petition is received from twenty (20) percent of the property owners within the notification area, a three-quarters ($\frac{3}{4}$) vote of the Governing Body is required to approve this Conditional Use Permit request.

Copies of the protest petition are available in the office of the City Clerk.

Respectfully,

Joshua Cooley

Applicant (or Owner or Agent)

Mailing Address: 32355 W. 191st St.

City: Edgerton State: Kansas Zip: 66201



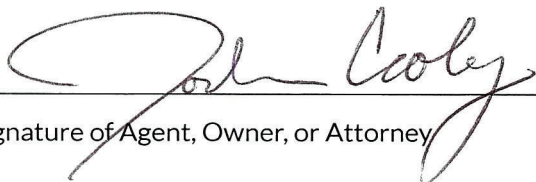
NOTE: This signed affidavit is to be returned by the Thursday before the scheduled hearing.

Application No.: CU- CU2021-02

I, Joshua Cooley of lawful age being first duly sworn upon oath, state:


That I am the Owner (agent, owner, attorney) for the property for which the application was filed and did, not later than twenty (20) days prior to the date of the public hearing scheduled before the Edgerton Planning Commission, mail certified notice to all persons owning property within the notification area (two hundred (200) feet in the City of Edgerton, one thousand (1,000) feet in the unincorporated area of the subject property) in compliance with the Unified Development Code.

These notices were mailed on the 24th day of March, 2021.



Signature of Agent, Owner, or Attorney

Subscribed and sworn to before me this 24th day of March, 2021.

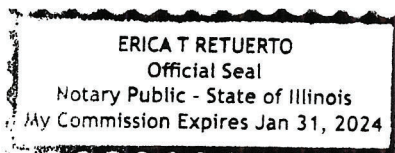


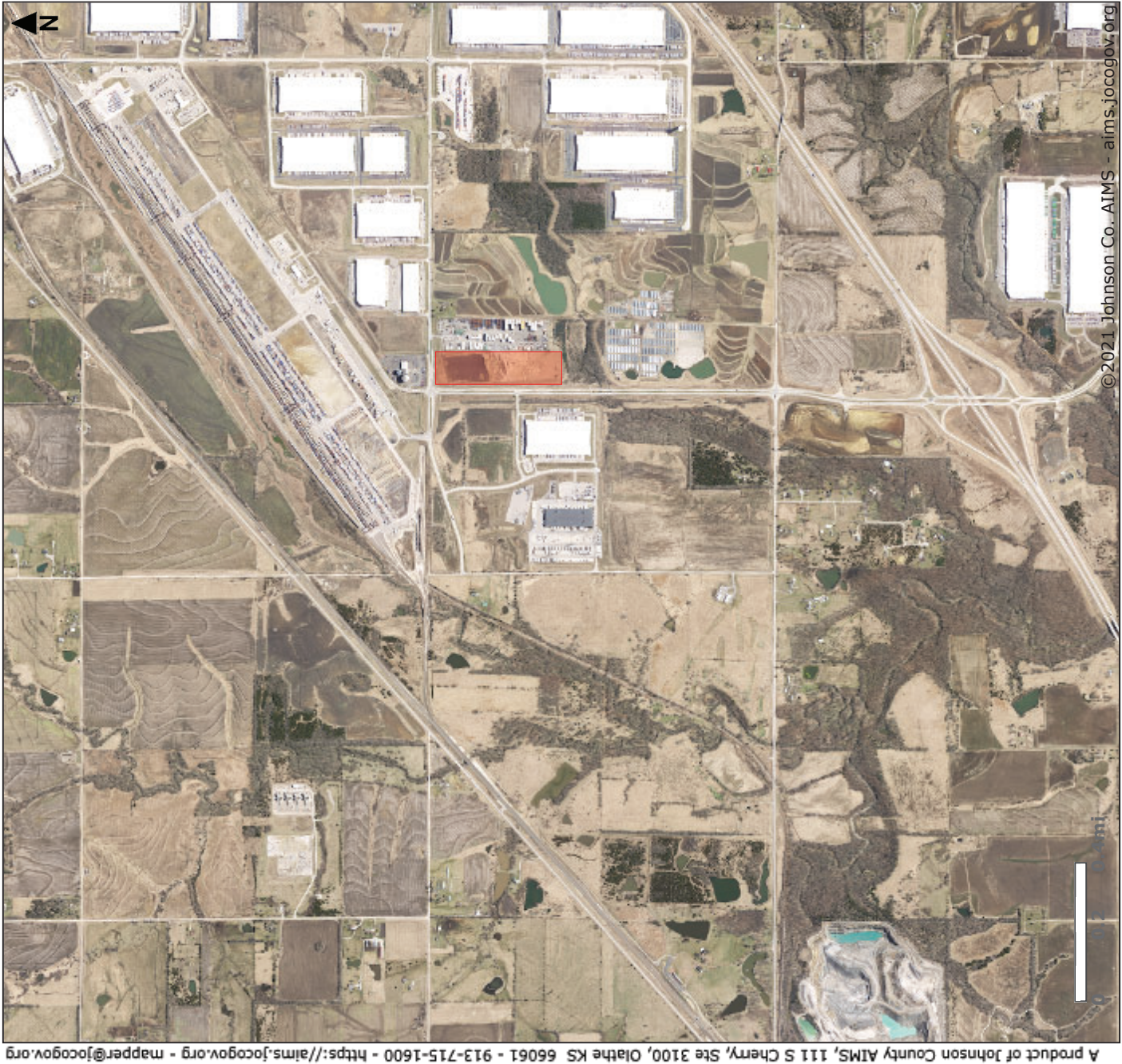
Notary Public

My Commission Expires:

(SEAL)

1-31-2024





Johnson Co AIMS Map

LEGEND

AIMS Imagery: 2020

Property

Disclaimers: No person shall sell, give, reproduce, or receive for the purpose of selling or offering for sale, any portion of the data provided herein. Johnson County makes every effort to produce and publish the most current and accurate information possible. Johnson County assumes no liability whatsoever associated with the use or misuse of such data, and disclaims any representation or warranty as to the accuracy and currency of the data.

JOHNSON COUNTY
KANSAS
AIMS GIS & Mapping

3/9/2021

Property Information for BF221503-1001

<i>Tax Property ID</i>	BF221503-1001	<i>KS Uniform Parcel #</i>	0462020302001004000
<i>Situs Address</i>	Not Available	<i>Acres</i>	29.39 (1,280,225.21 ft ²)
<i>Owner1 Name</i>	OMAR J HOLTGRAVER REVOCABLE TRUST	<i>Owner2 Name</i>	INDIAL HOLTGRAVER REVOCABLE TRUST
<i>Owner Address</i>	1979 HASKELL RD , OTTAWA, KS 66067	<i>Year Built</i>	0
<i>Class</i>	V	<i>Neighborhood Code</i>	442.N
<i>LBCS</i>	9950	<i>Taxing Unit</i>	0591
<i>Zoning</i>	A-G		
<i>City</i>	Edgerton	<i>Zip Code</i>	66021
<i>AIMS Map No.</i>	U03 (T-R-S: 15-22-03)	<i>Quarter Section</i>	NW
<i>Fire Dist.</i>	JoCo FD #1	<i>Sheriff Dist.</i>	0
<i>Commissioner Dist.</i>	6 (Shirley Allenbrand)	<i>FEMA Flood Panel #</i>	20091C0134G
<i>School District</i>	Gardner-Edgerton	<i>High School</i>	Gardner-Edgerton
<i>Middle School</i>	Trail Ridge	<i>Elementary School</i>	Nike
<i>Legal Desc.</i> (abbreviated)	3-15-22 NW1/4 EX 80 AC EX 2.5 AC EX 18.789 AC IN HWY & EX 29.211 AC 29.5 ACS M/L EDC 191		

Property Map for BF221503-1001



[Hide map](#)

[Hide photo](#)

PROPERTY BOUNDARY LEGAL DESCRIPTION
FROM J&J SURVEY DATED: FEBRUARY 5, 2021

PROJECT: Arrowhead Intermodal - 3
20,000 SF New BTS
ARCO Job No. K-710

LOCATION: 32355 W. 191st Street
Edgerton, KS 66021

DATE: February 5, 2021

Deed descriptions

Book 5963, Page 691

A part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas, More Particularly described as follows:

Beginning at the Northwest corner of said Northwest Quarter; Thence North 90° East, along the North line of said Northwest Quarter, a distance of 1035.25 feet, Thence South 0° East, a distance of 740.36 feet; Thence South 90° East, a distance of 282.28 feet; Thence South 0°18'01" West, a distance of 1914.73 feet to a point on the South line of said Northwest Quarter; Thence North 89°44'38" West a distance of 1291.75 feet to the Southwest corner of said Northwest Quarter, Thence North 0°20'27" West, a distance of 2649.33 feet, to the point beginning, containing 74.72 acres.

Also, Lot1, Final PLAT of C Y EDGERTON, part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas

AND EXCEPT:

QUITCLAIM DEED Book 201204, Page 001961

a tract of land in the Northwest Quarter of Section 3, Township 15 South, Range 22 East of the 6th P.M., described as follows: Beginning at the Southwest corner of said Quarter Section: First course, Thence on an assumed bearing of North 88°26'03" East, 300.63 feet along the South line of said Quarter Section; Second course, Thence North 01°49'33" West, 319.56 feet; Third course, Thence North 23°37'38" West 53.85 feet; Fourth course, Thence North 01°49'33" West, 2148.99 feet; Fifth course, Thence North 43°14'32" East, 102.62 feet; Sixth course, Thence North 88°10'23" East 666.09 feet to the West line of a tract of land described in a deed recorded in Book 3047, Page 6 in the Register of Deeds office. JOHNSON COUNTY, KANSAS; Seventh course, Thence North 01°49'37" West, 30.00 feet along said West line; Eighth course, Thence North 88°10'23" East, 306.00 feet to the East line of said tract of land; Ninth course, Thence North 01°49'37" West 30.00 feet along said East line to the North line of said Quarter Section; Tenth course, Thence South 88°10'23" West, 1341.25 feet along said North line to the Northwest corner of said Quarter Section; Eleventh course, Thence South 02°10'09" East, 2649.70 feet along the West line of said Quarter Section to the point of beginning. The above described tract contains 19.00 acres, which includes 1.82 acres of existing right of way, resulting in an acquisition of 17.18 acres, more or less.

March 10, 2021

City of Edgerton
404 E. Nelson St.
Edgerton, KS 66021

Re: Parcel Listings for Certified Letters
ARCO National Construction-KC, LLC
Project: Arrowhead Intermodal
Edgerton, Kansas
ARCO No. K-710

City of Edgerton:

Per application requirements, below is a listing of all owners of land within the notification area (two hundred feet within the city limit) that are to be sent the notices of public hearing for the development in relation to this application. These notices are to be sent by certified mail and a return receipt will be requested.

	PARCEL/SITE ADDRESS	OWNER'S INFORMATION
1.	32355 W. 191 st St. Edgerton, KS 66021	CY Edgerton LLC 20012 W. South Arsenal Rd. Wilmington, IL 60481
2.	32350 W. 199 th St. Edgerton, KS 66021	Prairie Tree, LLC 6701 W. 167 th St. Stilwell, KS 66085
3.	Property ID: BF221504-3002	Widmer Farms, LLC 10841 Beverly St. Overland Park, KS 66211
4.	32901 W. 193 rd St. Edgerton, KS 66021	ELHC XXII LLC 4825 NW 41 st St., Apt. 500 Riverside, MO 64150
5.	Property ID: BF221434-2008	BNSF Railway Company PO Box 961089 Fort Worth, TX 76131
6.	32612 W. 191 st St. Edgerton, KS 66021	City of Edgerton PO Box 255 Edgerton, KS 66021
7.	Property ID: BP25300000 0001A	Delong Co., Inc. (The) PO Box 552 214 Allen St. Clinton, WI 53525
8.	Property ID: BR221504-3003	Johnson County Board of Commissioners 111 S. Cherry St. Olathe, KS 66061

9.	Property ID: BF221504-4002	Edgerton Land Holding Company LLC 4825 NW 41 st St., Suite 500 Riverside, MO 64150
10.	32180 W. 191 st St. Edgerton, KS 66021	Dot's Pretzels LLC PO Box 9739 Fargo, ND 58106
11.	32285 W. 191 st St. Edgerton, KS 66021	Prairie Tree II LLC 6701 W. 167 th St. Stilwell, KS 66085

Sincerely,

ARCO National Construction-KC, LLC

Alex Bruggen
Project Manager

STAFF REPORT

Date: April 13, 2021
To: Edgerton Planning Commission
From: Chris Clinton, Planning and Zoning Coordinator
Re: Consider Approval of Temporary Construction **Application TU2021-05** on property located at the southeast corner of Homestead Lane and 191st Street – Rock Crushing for Arrowhead Phase III

BACKGROUND INFORMATION

Chapter I, Article 9, Section 6.E of the Unified Development Code of the City of Edgerton, Kansas states that the Planning Commission is authorized to review and approve the use of property during times of construction, reconstruction, or adaptation to permit temporary living quarters for construction personnel, offices, buildings for storage, outdoor storage, machinery yards, portable concrete or asphalt mixing plants, sanitary facilities, and similar uses.

On previous occasions, the Edgerton Planning Commission has approved the use of construction-related activities associated with the BNSF Intermodal Facility and Logistics Park Kansas City (LPKC) developments subject to the approval of staff and conditioned with appropriate stipulations.

MATTERS TO BE CONSIDERED

On March 23, 2021, City Staff received a request from CY Edgerton, LLC, on behalf of the property owner, Omar Holtgraver, to conduct a temporary rock crushing and hauling operation on property located at the southeast corner of Homestead Lane and 191st Street. This temporary operation will be for the removal of the rock pile currently stored onsite. The applicant has submitted documentation for a Land Disturbance Permit to the City of Edgerton, which is currently under review.

If approved, rock crushing operations would commence upon issuance of the Land Disturbance Permit and the selection of a contractor who has received Kansas Department of Health & Environment (KDHE) permission to operate rock crushing equipment. The applicant expects this to occur mid to late April of 2021 and the rock crushing operations are estimated to last for seventy (70) days. This would put the activity end date in mid to late July 2021.

Included with the application is a letter from ARCO National Construction, the company who would secure the subcontractor to perform the rock crushing operations. Mr. Holtgraver has submitted a letter granting his permission to conduct the operations on his land.

The applicant has stated that the estimated amount of rock onsite to be processed is approximately 121,000 tons. Application materials submitted describe the proposed operation as a mobile process as equipment will move around the site to ensure efficiency of the crushing process. Areas in red on the attached map indicate where the rock to be crushed is located. The crushed rock will be relocated to where it is needed onsite as base rock in paved areas and for use under building pads. At this time, the applicant intends to use an estimated 45,000 tons of rock onsite for the expansion of Arrowhead Phase III operations. This is an estimated 5,625 haul loads of rock to be used onsite. The remaining crushed rock, an estimated 76,000 tons or 9,438 truckloads, will need to be exported offsite. The applicant has

indicated triple axel/tandem dump trucks will be used to haul the excess rock offsite. This haul route will start on 191st Street then go south on Homestead Lane and onto Interstate 35 (I-35) out of the City. The applicant estimates seventeen (17) trucks making eight (8) trips a day for eighty (80) days to remove the material. Street sweeping will be completed as needed along 191st Street by the applicant.

The applicant requests permission to perform rock crushing activities and hauling Monday through Friday from 7:00 AM to 5:00 PM. The rock crushing equipment contains a dust containment system, and KDHE will be engaged to test the air prior to the start of crushing activities. Monitoring equipment on the crushers will test the air to make sure it does not exceed the level allowed by KDHE. The applicant indicates the operator will be responsible for mitigating dust and maintaining haul roads on site with operations kept wet to ensure that airborne dust does not spread to neighboring properties.

If this permit is not approved, the applicant has stated that the rock on-site that would need to be hauled away and subbase courses would need to be brought in. If this occurs, the increased truck traffic on adjacent roadways would be detrimental to the flow of local traffic.

STAFF RECOMMENDATION

Staff recommends **approval** of Application **TU2021-05** a rock crushing operation, deemed to be temporary construction related activities pursuant to Article 9, Section 9.6.E of the Uniform Development Code of the City of Edgerton, located on the southeast corner of Homestead Lane and 191st Street, by ARCO for construction-related activities related to Arrowhead Phase III, conditioned as follows:

1. Prior to any work occurring on site, both a KDHE Permit holder and a Land Disturbance Permit must be in place with a copy of the KDHE Permit credentials from the operator being provided to the City;
2. Temporary living quarters are not permitted on-site unless prior authorization has been provided by the Planning Commission;
3. All occupied buildings shall have access to potable water from an approved water source;
4. All signage shall be placed pursuant to applicable sign regulations in Article 12 of the Unified Development Code of the City of Edgerton;
5. All buildings, outdoor storage, machinery yards, and similar uses shall be able to be fully secured when not in use;
6. All vertical structures shall require a building permit pursuant to the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton prior to being occupied;
7. Contractors shall obtain all required permits pursuant to the Code of Regulations for Buildings and Construction, 2010 Edition or other applicable chapter of City Code;
8. Off-site impacts from on-site construction-related activities shall be minimized to the extent possible. This shall include compliance with City Regulations and Policies with regards to the tracking of debris onto public streets. Improvements for a construction entrance and the access road shall be required prior to operation and must be continually maintained in good condition;
9. On-site Stormwater Management Plan shall be approved by City prior to the disturbance of land;
10. Land disturbance activities shall be done pursuant to Article 12 of the Code of Regulations for Buildings and Construction, 2010 Edition of the City of Edgerton;
11. Contractors agree to address any issues that affect off-site properties or public rights-of- way or easements in a reasonable period of time;
12. Hours of operation shall be limited to from 7:00 AM to 5:00 PM, Monday through Saturday;
13. Holding tanks shall be used in lieu of sanitary sewer service, and shall be permitted and inspected pursuant to the Johnson County Environmental Sanitary Code;
14. Property owner and/or general contractors shall provide City and emergency response agencies

- a copy of a site-specific Safety Action Plan;
15. Property owner and/or general contractors shall provide a Construction Management Plan to the City;
 16. Applicant shall maintain a valid City of Edgerton Business License;
 17. Staff retains the ability to establish reasonable requirements for their operation;
 18. All activities will be performed in compliance with KDHE and the requirements of the KDHE Bureau of Air;
 19. Permission for temporary construction activities is granted for a **period ending July 31, 2021.**

ATTACHMENTS:

- Application including map and permission letter from property owner

☒ NEW/EXPIRED PERMIT (\$500) ☐ AMENDED APPLICATION (\$250)PROJECT NAME: Arrowhead Intermodal - Phase 3LOCATION OR ADDRESS OF SUBJECT PROPERTY: SE Corner of the intersection of W 191st Street and Homestead lane. See attached exhibitLEGAL DESCRIPTION: Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas. See attached exhibit.CURRENT ZONING ON SUBJECT PROPERTY: AG CURRENT LAND USE: VacantTOTAL AREA: 30.4 ACRESAPPLICANT NAME(S): Joshua Cooley PHONE: 913-287-2752COMPANY: CY Edgerton, LLC EMAIL: jcooley@illinoistransport.comMAILING ADDRESS: 32355 W. 191st St.
Street City State ZipPROPERTY OWNER NAME(S): Omar J Holtgraver PHONE: 913-980-8310COMPANY: N/AMAILING ADDRESS: 1979 Haskell Rd., Ottawa, KS 66067
Street City State ZipEXPLANATION OF ACTIVITIES: Previously stockpiled rock material is to be processed down to required gradations per our geotechnical report in order to be used as the subbase course in our floor slab, concrete, and asphalt paving sections.Excess material is to be hauled off-site to designated quarry.SIGNATURE OF OWNER OR AGENT:  

If not signed by owner, authorization of agent must accompany this application.

FOR OFFICE USE ONLYApplication No.: TU2021-05 Application Fee Paid: \$ 500 Date Paid: 3-30-21 Receipt #: 23127908Planning Commission Meeting Date: 4/13/21Received By: Veronica Huffman



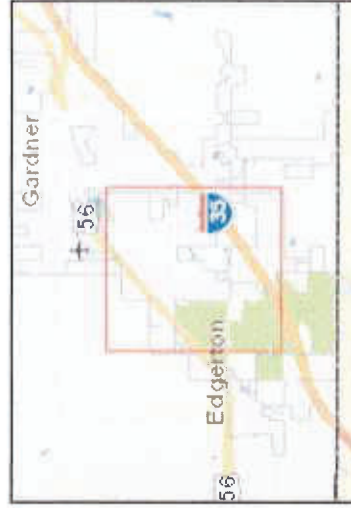
A product of Johnson County AIMS, 111 S Cherry, Ste 3100, Olathe KS 66061 - 913-715-1600 - <https://aims.jocogov.org> - mapper@jocogov.org

Johnson Co AIMS Map

LEGEND

AIMS Imagery: 2020

Property



Disclaimer: No person shall sell, give, reproduce, or receive for the purpose of selling or offering for sale, any portion of the data provided herein. Johnson County makes every effort to produce and publish the most current and accurate information possible. Johnson County assumes no liability whatsoever associated with the use or misuse of such data, and disclaims any representation or warranty as to the accuracy and currency of the data.

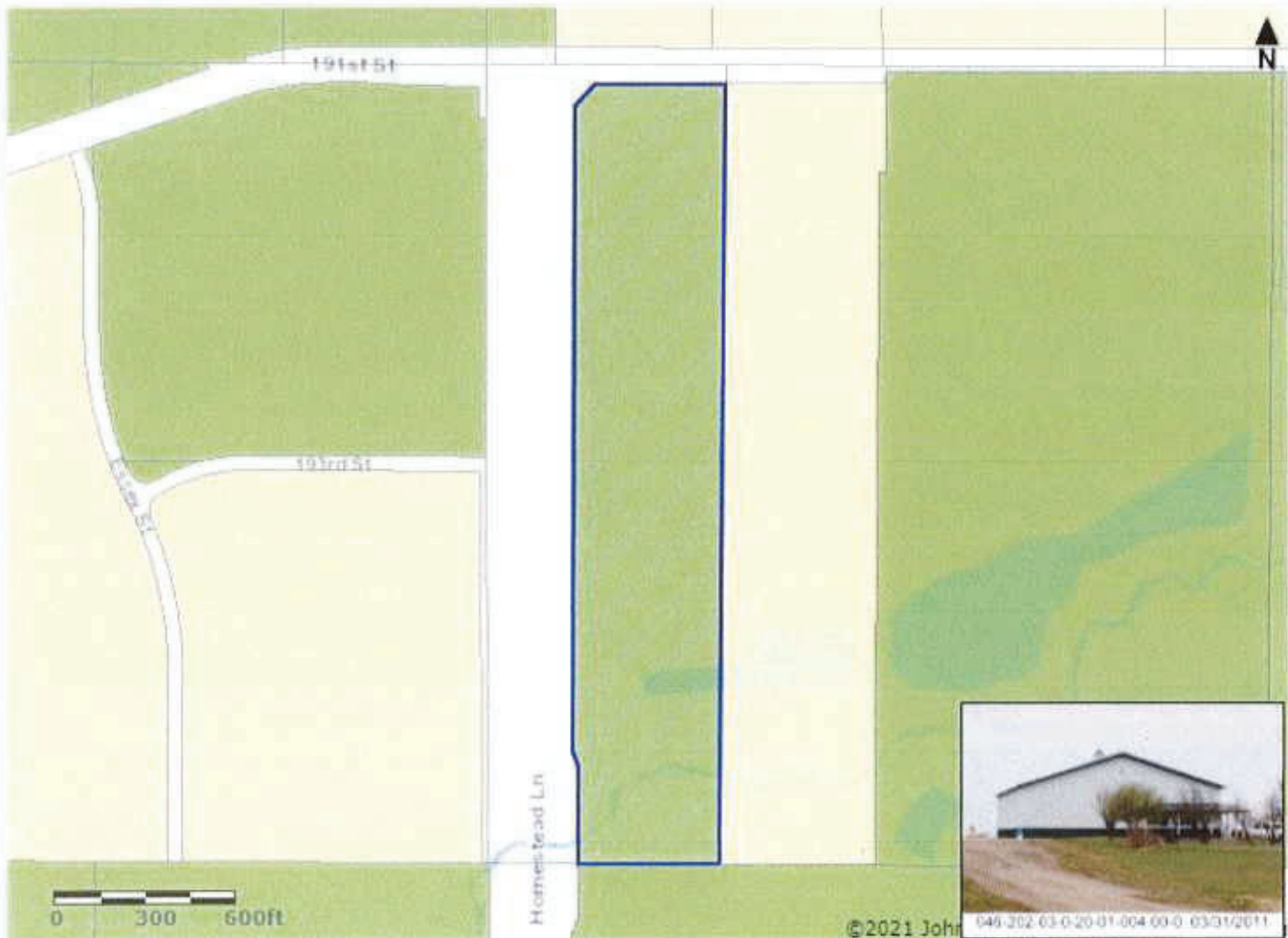
JOHNSON COUNTY
KANSAS
AIMS GIS & Mapping

3/9/2021

Property Information for BF221503-1001

Tax Property ID	BF221503-1001	KS Uniform Parcel #	0462020302001004000
Situs Address	Not Available	Acres	29.39 (1,280,225.21 ft ²)
Owner1 Name	OMAR J HOLTGRAVER REVOCABLE TRUST	Owner2 Name	INDIA L HOLTGRAVER REVOCABLE TRUST
Owner Address	1979 HASKELL RD , OTTAWA, KS 66067	Year Built	0
Class	V	Neighborhood Code	442.N
LCS	9950	Taxing Unit	0591
Zoning	A-G		
City	Edgerton	Zip Code	66021
AIMS Map No.	U03 (T-R-S: 15-22-03)	Quarter Section	NW
Fire Dist	JoCo FD #1	Sheriff Dist	0
Commissioner Dist	6 (Shirley Allenbrand)	FEMA Flood Panel #	20091C0134G
School District	Gardner-Edgerton	High School	Gardner-Edgerton
Middle School	Trail Ridge	Elementary School	Nike
Legal Desc (abbreviated)	3-15-22 NW1/4 EX 80 AC EX 2.5 AC EX 18.789 AC IN HWY & EX 29.211 AC 29.5 ACS M/L EDC 191		

Property Map for BF221503-1001



[Hide map](#)

[Hide photo](#)

PROPERTY BOUNDARY LEGAL DESCRIPTION
FROM J&J SURVEY DATED: FEBRUARY 5, 2021

PROJECT: Arrowhead Intermodal - 3
20,000 SF New BTS
ARCO Job No. K-710

LOCATION: 32355 W. 191st Street
Edgerton, KS 66021

DATE: February 5, 2021

Deed descriptions

Book 5963, Page 691

A part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas, More Particularly described as follows:

Beginning at the Northwest corner of said Northwest Quarter; Thence North 90° East, along the North line of said Northwest Quarter, a distance of 1035.25 feet, Thence South 0° East, a distance of 740.36 feet; Thence South 90° East, a distance of 282.28 feet; Thence South 0°18'01" West, a distance of 1914.73 feet to a point on the South line of said Northwest Quarter; Thence North 89°44'38" West a distance of 1291.75 feet to the Southwest corner of said Northwest Quarter, Thence North 0°20'27" West, a distance of 2649.33 feet, to the point beginning, containing 74.72 acres.

Also, Lot1, Final PLAT of C Y EDGERTON, part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas

AND EXCEPT:

QUITCLAIM DEED Book 201204, Page 001961

a tract of land in the Northwest Quarter of Section 3, Township 15 South, Range 22 East of the 6th P.M., described as follows: Beginning at the Southwest corner of said Quarter Section: First course, Thence on an assumed bearing of North 88°26'03" East, 300.63 feet along the South line of said Quarter Section; Second course, Thence North 01°49'33" West, 319.56 feet; Third course, Thence North 23°37'38" West 53.85 feet; Fourth course, Thence North 01°49'33" West, 2148.99 feet; Fifth course, Thence North 43°14'32" East, 102.62 feet; Sixth course, Thence North 88°10'23" East 666.09 feet to the West line of a tract of land described in a deed recorded in Book 3047, Page 6 in the Register of Deeds office. JOHNSON COUNTY, KANSAS; Seventh course, Thence North 01°49'37" West, 30.00 feet along said West line; Eighth course, Thence North 88°10'23" East, 306.00 feet to the East line of said tract of land; Ninth course, Thence North 01°49'37" West 30.00 feet along said East line to the North line of said Quarter Section; Tenth course, Thence South 88°10'23" West, 1341.25 feet along said North line to the Northwest corner of said Quarter Section; Eleventh course, Thence South 02°10'09" East, 2649.70 feet along the West line of said Quarter Section to the point of beginning. The above described tract contains 19.00 acres, which includes 1.82 acres of existing right of way, resulting in an acquisition of 17.18 acres, more or less.

April 5, 2021

Alex Bruggen
ARCO National Construction – LC, LLC
5015 NW Canal Street, Suite 110
Riverside, MO 64150

Re: Arrowhead Intermodal – Phase 3 – Rock Crushing/Hauling Permit

To: Whom it May Concern,

Described below are the parameters of the proposed rock crushing and hauling operation for Arrowhead Intermodal Phase 3. The KDHE rock crusher permit is pending as we not under contract with our client at this time in order to release our subcontractor to perform the crushing operations. Once received this can be forwarded to those requested. The intent of our submission is to start crushing operations as soon as the Site Plan has been approved by the City of Edgerton as this scope of work will be extensive given the amount of stockpiled stone on site.

- One (1) Metso 12-13S mobile rock crusher.
- One (1) Kleeman KW80 conveyor.
- Crushing will commence once KDHE permit and Land Disturbance Permit are received. This is expected to be Mid to Late April 2021. Crushing operations are estimated at 70 Days to complete (i.e., Mid July 2021).
- Rock crushing activities will be performed during of the hours of 7am-5pm Monday-Saturday.
- All crushing equipment will be mobile. Crushers will be relocated frequently throughout the site to ensure efficiency of the crushing process. As the onsite piles are reduced in size, the equipment will need to be adjusted.
- Total quantity of rock onsite to be processed is estimated at 121,000 tons. This represents the onsite visible rock piles.
- Crushed rock will be utilized in all available areas onsite (i.e., asphalt paving base, concrete paving base, and building pad LVC). Onsite usage will account for an estimated 45,000 tons of the onsite rock. Given the constraints of the site and the existing topography, we are estimating that we will need to export an estimated 76,000 tons of crushed stone.
- Stone to be used onsite will be hauled to place via tandem trucks. We assume this will require 5,625 haul loads for placement total. Depending on the proximity of the area of placement to the stockpiled processed stone, placement of stone will be done by front end loaders.
- Excess stone that is to be exported offsite will be loaded onto end dump trucks. We assume this will require 9,438 haul loads total. Please see below for details on hauling operation.

- We will coordinate with KDHE to test silica dust air contamination on site prior to the commencement of major crushing activities. Proposed equipment will be equipped with water spray bars at transfer points.
- Haul roads onsite will be watered as needed using a water truck to ensure airborne dust does not spread to neighboring property owners.
- Denial of the permit will have a significant impact to the financial feasibility of this project. The onsite stockpiled stone would need to be exported in its entirety and the subbase courses would need to be imported. Given the constraints of the site and the existing cut/fill conditions, the rock pile would not be able to be kept onsite without being processed.

Request for Temporary Construction Activities (Rock Export):

- RD Johnson request to mobilize onsite rock crushing and processing operations at the property generally located at the Southeast Corner of W 191st St and Homestead Lane in Edgerton, Kansas as part of the Arrowhead Phase III project under the authorization of ARCO National Construction – KC, LLC. Processed rock will be utilized onsite for paving and building pad subbases, however excess material will need to be hauled offsite.

Traffic Routes:

- Triple Axel/Tandem Dump trucks will be used to haul the excess rock material. They will exit the site on W 191st Street and travel South on Homestead Lane towards the I-35 Interchange and exit North bound on I-35. From there they will travel roughly 8.5 miles and take exit 214 onto S Lone Elm Road. From there they will travel North roughly 1.25 miles and turn West onto W 151st Street and enter the quarry to offload the material.

Haul Frequency:

- An estimated 17 trucks will be running daily from the project site to the haul site. Each truck will make 8 trips per day which would equate to 136 haul trips per day. We assume this will take 80 days to haul the material offsite. The consistency of the travel will be impacted in processing of material for onsite use and truck availability so this duration could be shorter or longer.

Haul Trucks:

- Haul trucks are assumed to be triple axel/tandem dump trucks that will be licensed, insured, and DOT inspected. If there is availability, side dump trucks will be used that will increase the quantity of material hauled.

Road Cleaning:

- A vehicle tracking pad will be placed and maintained for all traffic entering and exiting the project site. Street sweeping will be completed as needed along W 191st street. ARCO will be maintaining the SWPPP and will be in contact with the City of Edgerton if there are any items that need to be resolved.

Hours of Operation:

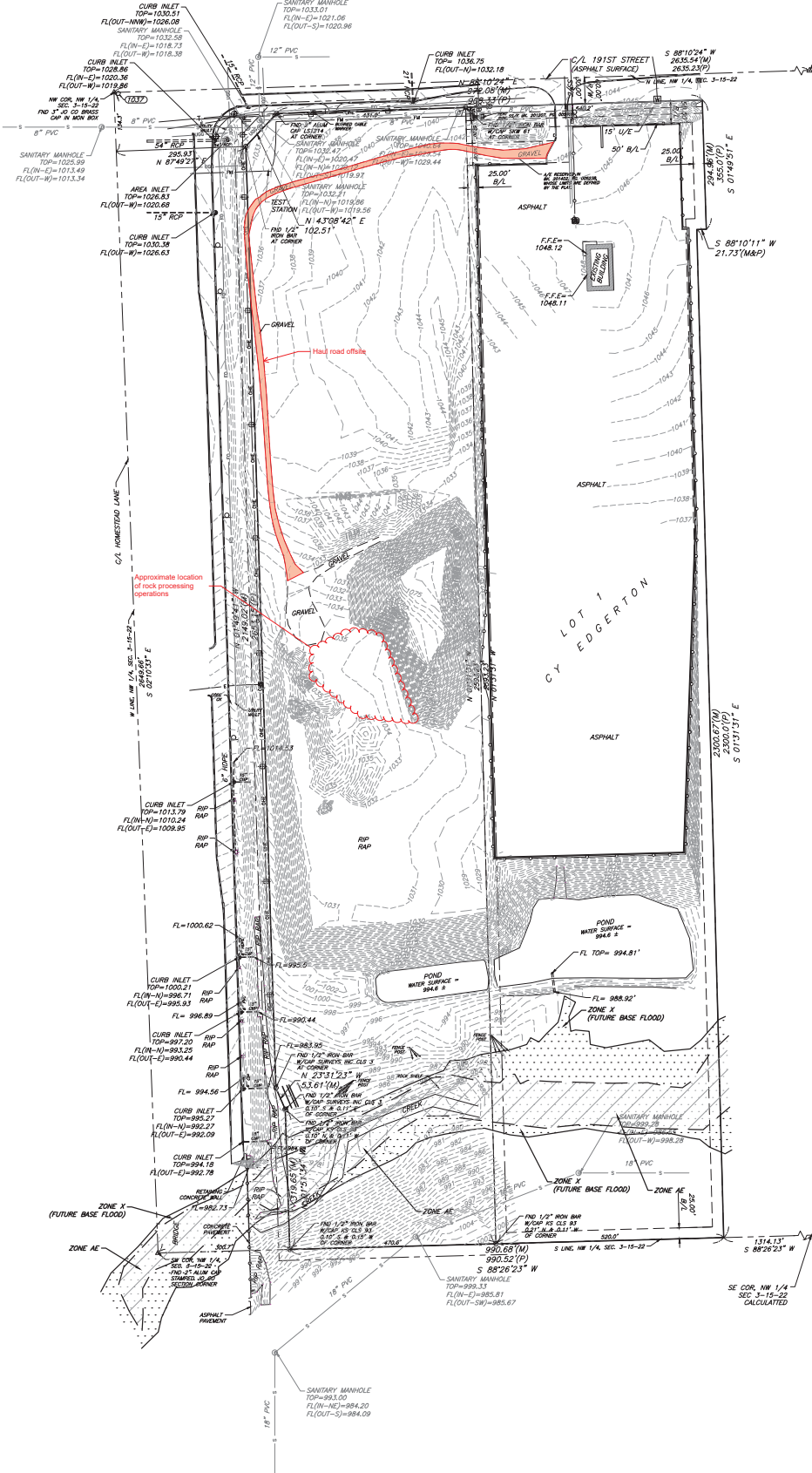
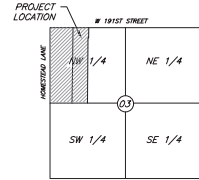
- Typical Hours – Monday through Friday 7:00am to 5:00pm and Saturdays 7:00am to 3:00pm
 - Saturday end time will be subject to change based on truck availability.

Sincerely,

ARCO National Construction-KC, LLC

Alex Bruggen
Project Manager
abruggen@arco1.com
Phone: 816-282-6324

BOUNDARY & TOPOGRAPHIC SURVEY
NW 1/4, SECTION 3, TOWNSHIP 15 SOUTH, RANGE 22 EAST
CITY OF EDGERTON, JOHNSON COUNTY, KANSAS



LEGEND

▲	SECTION CORNER AS NOTED
○	MONUMENT FOUND AS NOTED
○	FOUND 1/2" IRON BAR AT CORNER UNLESS OTHERWISE NOTED
(P)	PLATTED DISTANCE
(M)	MEASURED DISTANCE
U/E	UTILITY EASEMENT
B/L	BUILDING LINE
⊙	SANITARY MANHOLE
⊙	CLEAN OUT
⊙	STORM SEWER ROUND
⊙	POWER POLE
⊙	TRAFFIC SIGNAL POLE
⊙	CITY WIRE
⊙	TELEPHONE PEDESTAL
⊙	ELECTRIC TRANSFORMER
⊙	SIGN AS NOTED
⊙	CHAIN LINK FENCE
⊙	BARRIED WIRE FENCE
⊙	SANITARY SEWER LINE
⊙	STORM LINE
⊙	OVERHEAD ELECTRIC
⊙	UNDERGROUND ELECTRIC
⊙	UNDERGROUND GAS
⊙	TELEPHONE
⊙	FIBER OPTIC LINE
⊙	FORCE MAIN

CLIENT:
ARCO CONSTRUCTION

PROPERTY ADDRESS:
W 191st & Homestead Road
Gardner, Kansas 66610

PROPERTY DESCRIPTION:

DEED descriptions
Book 5963, Page 691
A part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, Johnson County, Kansas, More Particularly described as follows:

Beginning at the Northwest corner of said Northwest Quarter; Thence North 90° East, along the North line of said Northwest Quarter, a distance of 1035.25 feet; Thence South 0° East, a distance of 740.36 feet; Thence South 90° East, a distance of 282.28 feet; Thence South 0° East, a distance of 1914.73 feet to a point on the South line of said Northwest Quarter; Thence North 89°44'58" West, a distance of 1291.75 feet to the Southwest corner of said Northwest Quarter; Thence North 0°20'27" West, a distance of 2649.33 feet, to the point of beginning, containing 74.72 acres.

Also Lot 1, Final Plat of C Y EDGERTON, part of the Northwest Quarter of Section 3, Township 15 South, Range 22 East, in the City of Edgerton, Johnson County, Kansas

AND EXCEPT:

OUTCLAIM DEED Book 201204, Page 001961
a tract of land in the Northwest Quarter of Section 3, Township 15 South, Range 22 East of the 6th P.M., described as follows: Beginning at the Southwest corner of said Quarter Section; First course, Thence on an assumed bearing of North 88°26'03" East, 300.63 feet along the South line of said Quarter Section; Second course, Thence North 0°49'33" West, 315.56 feet; Third course, Thence North 2°13'38" West, 53.85 feet; Fourth course, Thence North 0°49'33" West, 2148.89 feet; Fifth course, Thence North 4°14'32" East, 102.62 feet; Sixth course, Thence North 88°10'23" East, 666.09 feet to the West line of a tract of land described in a deed recorded in Book 5847, Page 6 in the Register of Deeds Office, JOHNSON COUNTY, KANSAS; Seventh course, Thence North 88°10'23" West, 30.00 feet along said West line; Eighth course, Thence North 88°10'23" East, 300.00 feet to the East line of said tract of land; Ninth course, Thence North 0°49'33" West, 30.00 feet along said East line to the North line of said Quarter Section; Tenth course, Thence South 88°10'23" West, 1341.25 feet along said North line to the Northwest corner of said Quarter Section; Eleventh course, Thence South 0°21'09" East, 2649.70 feet along the West line of said Quarter Section to the point of beginning. The above described tract contains 19.00 acres, which includes 1.82 acres of existing right of way, resulting in an acquisition of 17.18 acres, more or less.

GENERAL SURVEY NOTES:

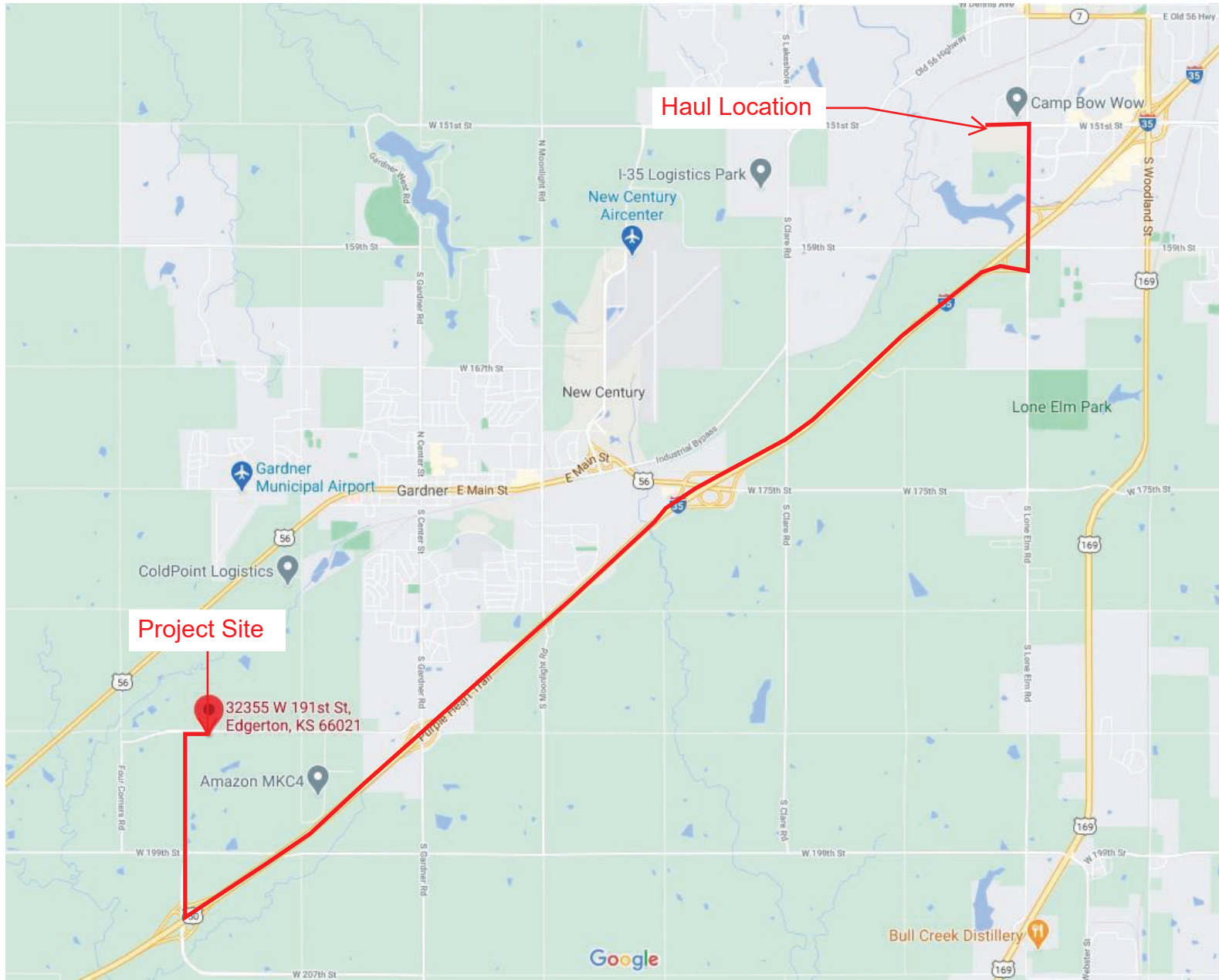
- 1.) The plat of C Y EDGERTON FINAL PLAT part of the NORTHWEST QUARTER of SECTION 3, TOWNSHIP 15 SOUTH, RANGE 22 EAST, in the City of Edgerton, JOHNSON COUNTY, KANSAS is recorded in Plat Book 201708 at Page 006484 in the Register of Deeds Office in Johnson County, Kansas.
 - 2.) No Title Report was provided by client at this time of the survey. Therefore, easements may not be shown.
 - 3.) Bearings used on this survey are based on the KANSAS STATE PLANE NORTH ZONE of PT. of NW 1/4 SECTION 3-15-22 JOHNSON COUNTY, KANSAS SURVEY.
 - 4.) The subject property is located in Zone AE & Zone X areas. Zone X is determined to be outside the 0.2% annual chance floodplain, as well as other flood areas, Zone X, defined as areas of 1% annual chance of flood based on future conditions hydrology. No base flood elevations determined, is determined as shown on Flood Insurance Rate Map (FIRM) 2009100134G, effective August 3, 2009.
- Special Flood Hazard Areas (SFHAS) subject to inundation by 1% annual chance of flood, Zone AE defined as base flood elevations determined.

SURVEY CONTROL POINTS				
Point #	Northing	Eastings	Elevation	Description
1	176666.15	2174881.29	984.93	BM
5	178024.52	2180212.19	1029.85	SC 3" CAP
494	175519.75	2177880.34	994.03	CK
822	176159.32	2178779.75	1011.79	Z
1037	177938.17	2177587.64	1025.61	MF PLUS CUT

BENCHMARKS:

BM1138: Alum Disk center south end of the west headwall RCB from the intersection of Four corners Road and 191st street go South 0.20 miles to the RCB.
ELEVATION = 984.93





Portable crushing and screening solutions

Metso NW Rapid™

A large, yellow and black Metso NW Rapid portable crushing and screening machine is shown in operation at a quarry. The machine is mounted on a multi-axle trailer and features a long, inclined conveyor belt system. It is processing material into a large pile on the right. The background shows a steep, rocky quarry face under a clear sky. The entire image is overlaid with a white geometric line pattern.

Crush
& Go



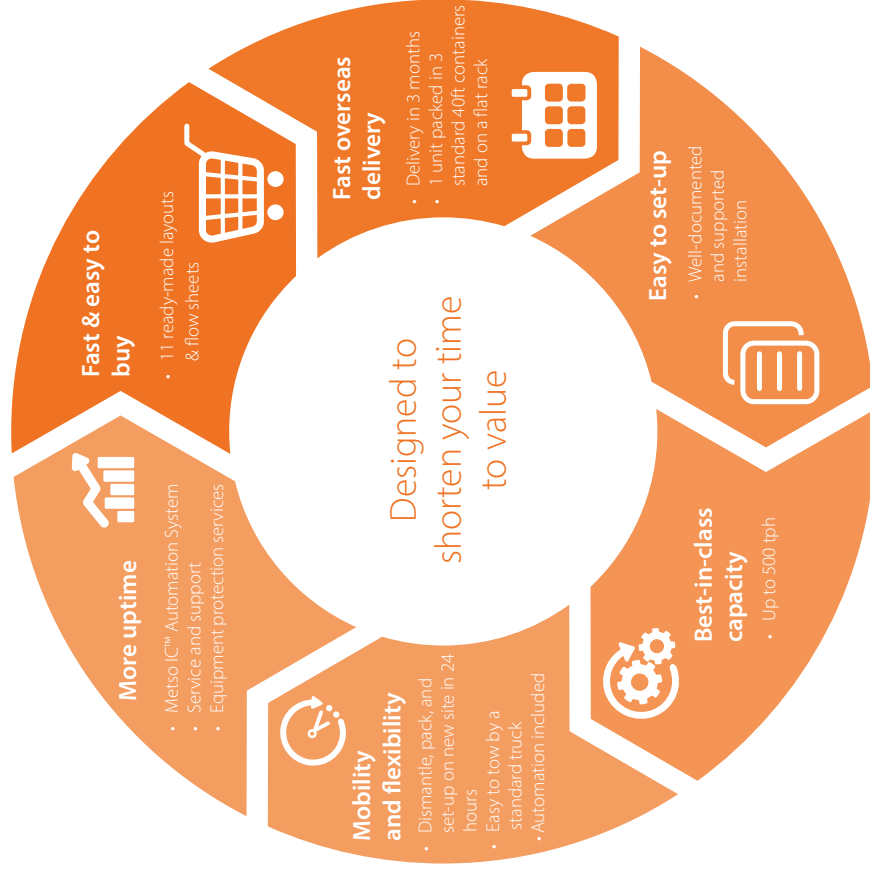
When time, mobility, and capacity are of the essence

Today, work assignments in new locations can come at short notice, making it difficult for quarries to respond. The faster you can move from idea to action, the better your chances of success.

Civil engineering works, such as road, bridge, airport, and dam construction projects, usually last anything from a couple of months to a couple of years. Projects like these require high volumes of different types of high-precision aggregates. If the material can be sourced on-site or in the surrounding area, the construction company can realize significant economic and environmental benefits, meaning aggregate producers who can deliver on this demand gain a notable competitive edge.

We have designed our Metso NW Rapid™ Portable Crushing and Screening Solutions especially for the needs of multistate quarries that have to move their equipment between sites periodically. They are easy to tow by a standard truck. With Metso NW Rapid Portable Solutions, you can stop compromising between time, mobility and production capacity, and tap into new business opportunities.

NW Rapid™ Portable Solutions Crush and Go



Metso NW Rapid Portable Solutions are designed to deliver a faster return on investment. We have optimized all the critical milestones in the solution's lifetime – starting from purchase and continuing all the way to after-sales support.

Choose your winning combination

The modular design of Metso NW Rapid Portable Solutions allows you to choose the optimal equipment combination for your needs. Eleven ready-made layouts – and more to come – with related flowsheets ensure that you can specify your optimal solution in weeks instead of months.

Modularity and automation also make Metso NW Rapid extremely adaptive; you can add modules to existing worksites whenever your requirements change, or modify your equipment to serve different needs and sites.

Getting started

Step 1

1. How many different end products do you need to produce?

Step 2

2. What is the planned production capacity (tph)?
3. How consistent is your end product quality?

Step 3

4. How often do you need to move the plant?
5. How important is production efficiency compared to site mobility?
6. What is the desired automation level (onboard or remote control)?

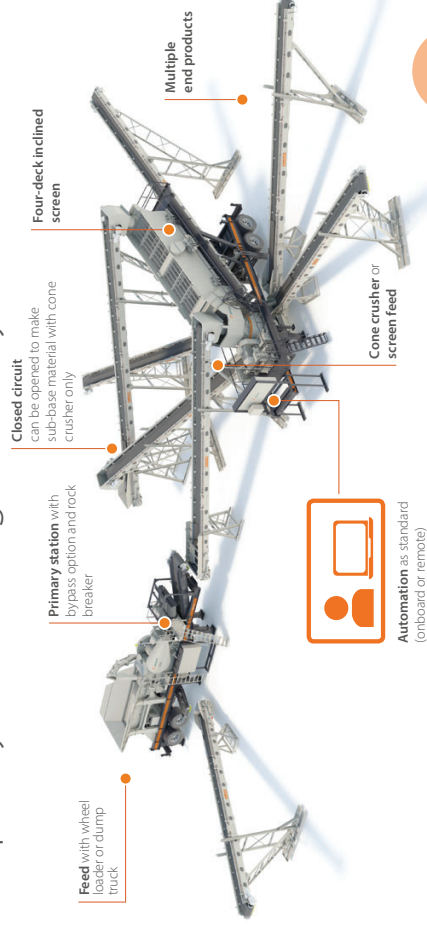
Your NW Rapid Solution

Feed material	Low to very abrasive rock					
Number of end products	4	5	4	4	4	7
Plant capacity tph/ashph	250 / 275	250 / 275	250 / 275	330 / 375	330 / 375	330 / 375
Product cubicity	...	...	...	...	...	...
Mobility	..	.	...	..	..	.
Efficiency	...	...	..	...	...	...
Automation	Onboard/ Remote	Onboard/ Remote	Onboard/ Remote	Onboard/ Remote	Onboard/ Remote	Onboard/ Remote

NW Rapid layout number	1	2	5B	9A	9B	10
Configuration	NW106/NW116 + NW209APD/ NW220GPD	NW106/NW116 + NW113SD	NW106 + NW220GPD	NW120 + NW300HP5	NW120 + NW330GFS/ NW330GFS	NW120 + NW330GFS/ NW300HP5 + NW330GFS/ NW113SD/ NW113SD
Process type	Feed to crusher	Feed to crusher	Feed to crusher	Feed to crusher	Feed to screen	Feed to crusher
Stages	2	3	2	2	2	3

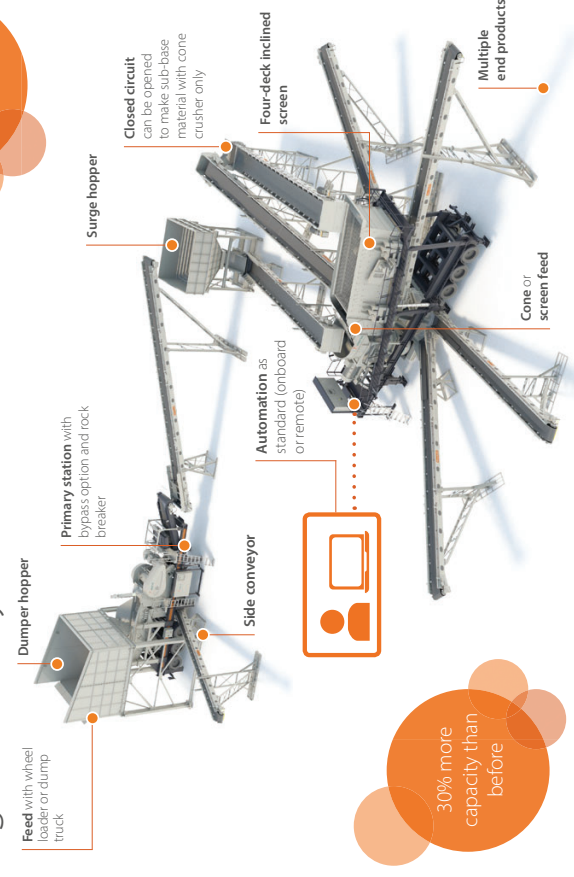
NW Rapid Layout 5B

Simple layout with high mobility



NW Rapid Layout 9A

Close to stationary plant with high efficiency





Metso ICS™ Series Automation Solutions for NW Rapid

Crusher automation is a standard feature in Metso NW Rapid Portable Solutions. When automation and equipment are provided by the same partner, you can be confident that you're getting the most out of your crushing process.

Metso ICS Series Automation Solutions automate, monitor, and control the crushing process, as well as optimizes it.

Unlike other crushing automation solutions, Metso ICS Series Automation Solution offers a Remote User Interface (RUI). This means that instead of controlling the automation from an individual piece of equipment, you can do it centrally from a remote control-room using a PC without additional programming. This has a direct impact on the level of safety at your site and the well-being of your employees, as they don't have to go to the crushing station to start and stop it, or to change settings.

Automation allows you to adjust process without stopping it, leading to improved productivity and a reduction in unplanned downtime through preventive maintenance. Furthermore, the end product quality will be more consistent as the process is automatically controlled.



Metso ICS Series Automation Solutions

A field-proven platform

Automatic **start and stop sequence** with single button

Choice of **automatic control options** (e.g. metal detector, magnetic separator, water sprays, etc.)

Touch display with **data logs** and option to export data to USB



Automatic **crushing optimization** by feed-rate control, based on material level and crusher's load conditions

Automatic **CSS** (closed side setting) calibration and control

Automatic **lubrication and hydraulics** control for cooling, heating, and circulation

Crusher condition monitoring and early warning of any problems

Easy configuration to meet alternative worksite layouts

- Devices can be enabled or disabled from the automatic sequence
- Switch between closed circuit and open circuit

Metso LCS & Metso Metrics

Together with Metso Life Cycle Services (LCS) Metso offers a digital solution to help further optimize your NW Rapid Portable Solutions. Through remote data monitoring, Metso Metrics Services gives you access to critical insights on your fleet's performance and maintenance needs, with optional access to expertise that will help you to analyze the data.



With Metso Metrics integration you get:

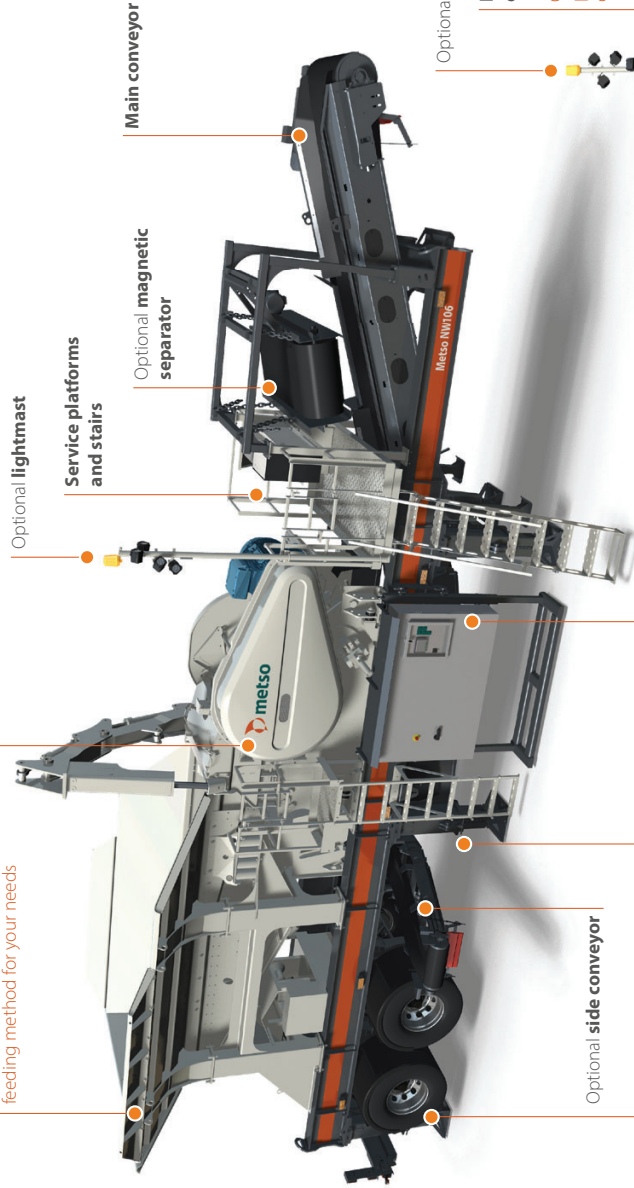
- **24/7 access to your data** via computer or tablet, using a secured cloud-based platform
- visibility on your equipment's **key operating data**, including utilization rates, energy consumption, alarms, and parameter changes
- **location data** for your entire fleet in map format



➤ Scan the QR code to read more about Metso Metrics

Vibrating feeder with optional hydraulic side walls and bypass
Choose the most suitable feeding method for your needs

Jaw crusher – electric driven with optional rock breaker
Choose from proven Metso crushers



NW Rapid Secondary and tertiary units



Dividing hopper with multiple screening process configurations
Multiple end products – up to 7 variations

Four-deck inclined screen

Optional lightmast

Electric driven cone crusher

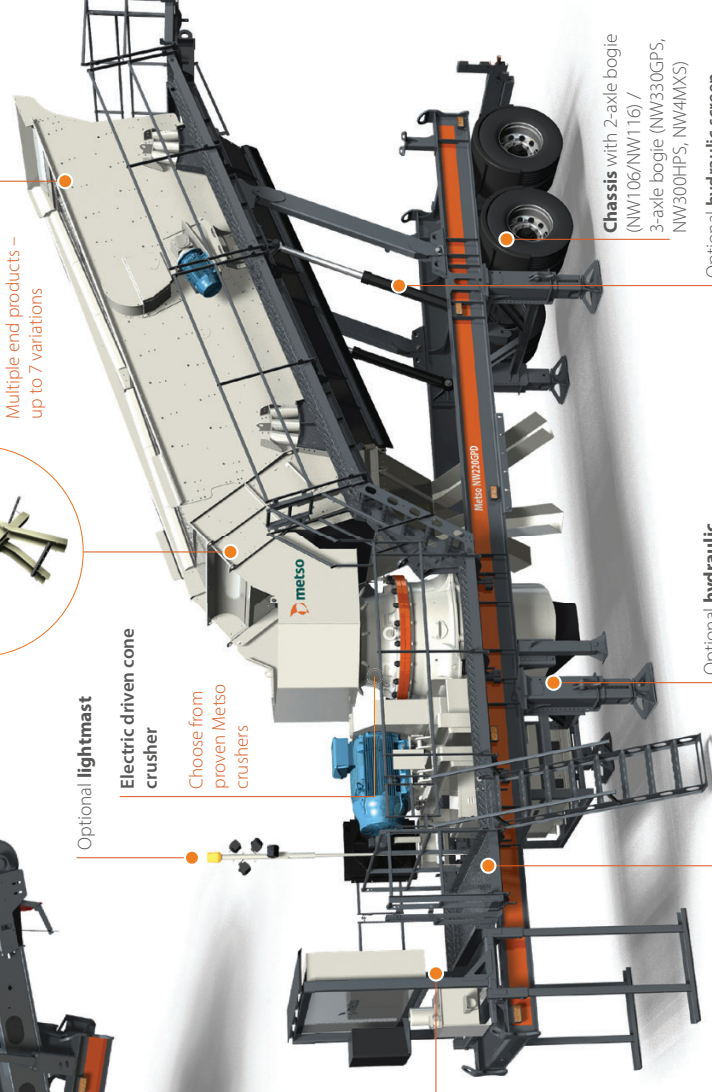
Choose from proven Metso crushers

Optional side conveyor

Chassis with 2-axle bogie (NW106/NW116) / 3-axle bogie (NW120)

Optional hydraulic support legs
Quick setup

Automation as standard
Improved safety and maximized production



Optional hydraulic support legs
Quick setup

Optional hydraulic lifting
Quick setup

Chassis with 2-axle bogie (NW106/NW116) / 3-axle bogie (NW300GPS, NW300HPS, NW4MXS)

NW Rapid Primary crushing units

Equipment Protection Services for NW Rapid

It's all about protecting your assets

As part of Metso's Life Cycle Services for aggregates, Equipment Protection Services (EPS) brings you added protection for your most valuable assets. The comprehensive EPS plan includes extended warranties, scheduled inspections with Metso-certified technicians, and Metso Metrics.

EPS gives you improved cost predictability by anticipating and minimizing unexpected equipment failures. Along with extended warranties that cover repairs or replacements on key wear parts, the plan includes comprehensive inspections and other services to keep your equipment running smoothly throughout its operational lifespan.



Extended warranty 10,000 h/5 yrs

for specified major components on designated equipment. Scheduled inspections with Metso-trained and certified technicians, as well as parts recommendations.



Annual maintenance contracts

Maintenance planning and reporting for mobile equipment through Metso Metrics.



Metso Metrics

Complete fleet visibility.



Scan the QR code to
read more about EPS



Metso NW Rapid™ user experiences Delivering timely results

With over 1000 plants delivered to more than 20 countries, Metso NW Rapid Portable Solutions have been helping quarries around the world succeed since 2015.



"With Metso's expert team by our side, our plants are always up and running, and Metso's services differentiates it from all the players in the market."

Chakresh Jain,
Managing Director
PNC Infratech Ltd



> Read the whole case



"Completing a project on time is the most crucial aspect for us, and Metso has indeed helped us in doing so by generating more production and saving costs."

Mr. Sandeep Reddy,
Managing Director, Gayatri Projects Ltd.



> Read the whole case



"We define Metso's NW Rapid plant as easy to fix and easy to move, which supports the biggest issue of mobility in the construction business. It is aptly suited for those who work on a project-to-project basis, since moving from one project to the next is very critical and involves cost, which can be minimized with the NW Rapid."

Udit Mittal,
Director, M/s M G Contractors Pvt Ltd.



> Read the whole case

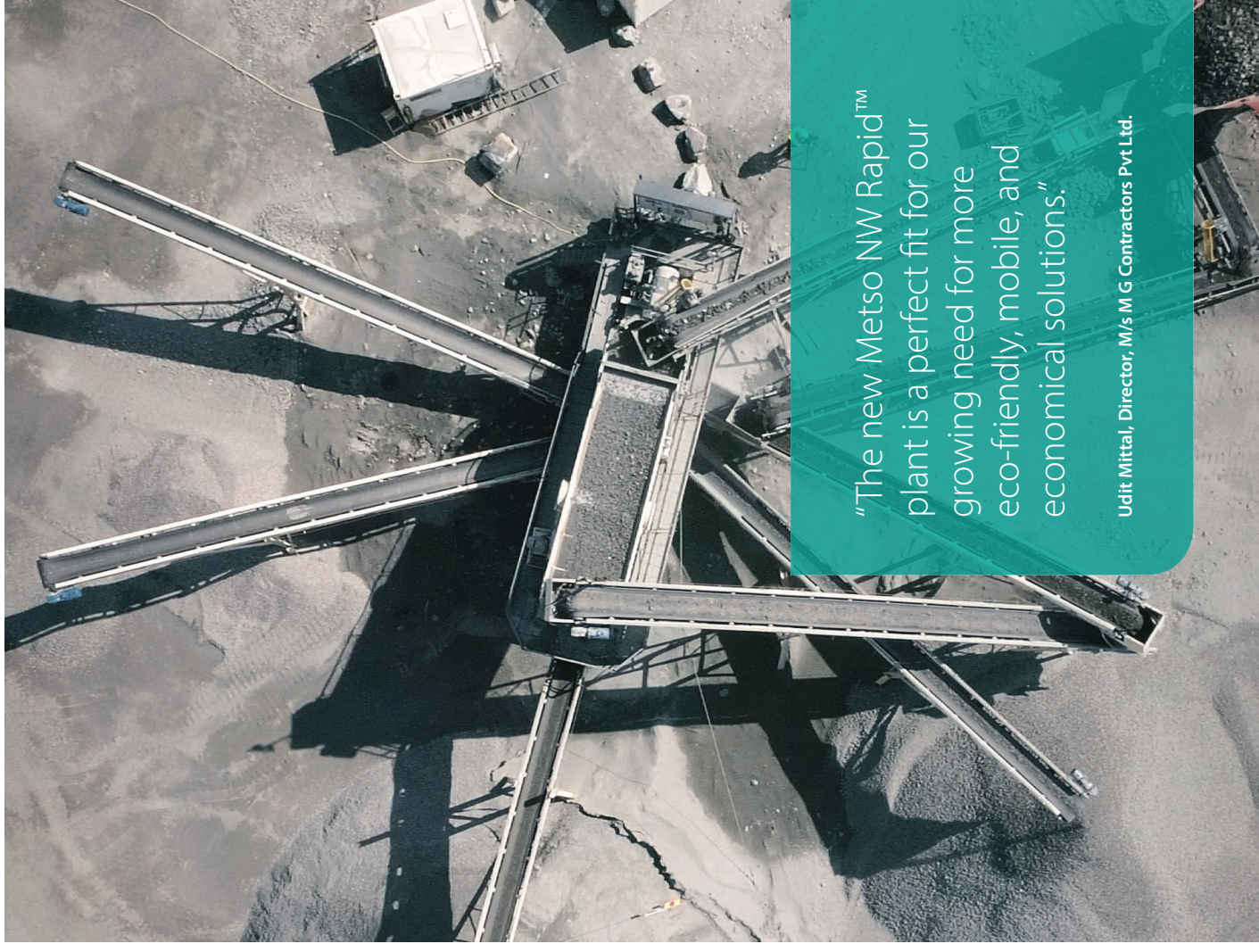
Read more customer cases



metso.com/showroom

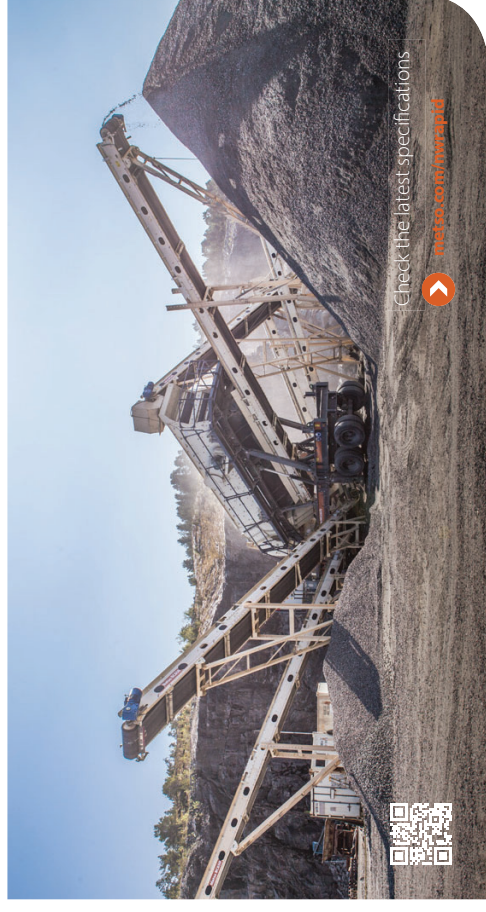
"The new Metso NW Rapid™ plant is a perfect fit for our growing need for more eco-friendly, mobile, and economical solutions."

Udit Mittal, Director, M/s M G Contractors Pvt Ltd.



Key technical specifications

NW RAPID PRIMARY CRUSHING UNITS		
Jaw plants	Rapid NW106™	Rapid NW116™
TRANSPORT DIMENSIONS		
Length	14 250 mm	13 730 mm
Width	3 000 mm	3 000 mm
Height	4 170 mm	4 750 mm
Weight	35 500 kg	41 300 kg
Bogie weight	18 950 kg	23 300 kg
King pin weight	16 050 kg	18 000 kg
CRUSHER		
Model	Nordberg® C106™	
Fixed opening (width x depth) (mm)	1 060 x 700	
Setting angle	70 - 200 mm	
Motor power	110 kW	
FEEDER		
Model	TKF11-42-2V	
- length	4 200 mm	
- width	1 100 mm	



NW RAPID SECONDARY AND TERTIARY CRUSHING UNITS (CONE PLANTS)				NW RAPID SECONDARY AND TERTIARY CRUSHING UNITS (IMPACTOR PLANTS)				SCREEN ONLY	
Cone plants / Impactor plants	Rapid NW200HPD™	Rapid NW220GDP™	Rapid NW300HPS™	Rapid NW330GFS™	Rapid NW4MKS™	Rapid NW7150D™ Single drive	Rapid NW7150D™ Dual drive	Rapid NW1213™	Rapid NW1855D™
TRANSPORT DIMENSIONS									
Length	13 500 mm	13 500 mm	15 200 mm	15 000 mm	15 000 mm	13 500 mm	13 500 mm	15 600 mm / 14 200 mm	13 700 mm
Width	3 000 mm	3 000 mm	3 200 mm	3 200 mm	3 200 mm	3 000 mm	3 000 mm	2 500 mm	3 000 mm
Height	4 400 mm	4 400 mm	4 200 mm	4 200 mm	4 200 mm	4 400 mm	4 600 mm	4 100 mm	4 500 mm
Weight	33 500 kg	33 500 kg	33 500 kg	53 600 kg	53 600 kg	32 500 kg	33 000 kg	35 000 kg / 39 000 kg	33 500 kg
Bogie weight	19 000 kg	19 600 kg	34 500 kg	34 500 kg	34 500 kg	18 500 kg	18 600 kg	19 000 kg / 22 000 kg	18 200 kg
King pin weight	14 500 kg	13 900 kg	19 100 kg	19 100 kg	19 100 kg	14 000 kg	14 400 kg	16 000 kg / 17 000 kg	7 900 kg
CRUSHER									
Model	Nordberg® HP200™	Nordberg® GP220	Nordberg® HP300™	Nordberg® GP330™	Metso MX4™	Barmac® 7150SE™	Barmac® 7150SE™	Nordberg® NP1213™	-
Feed opening	25 - 185 mm	58 - 213 mm	25 - 230 mm	85 - 225 mm	25 - 257 mm	-	-	-	-
Max feed size	-	-	-	-	-	45 mm	45 mm	250 mm (belt feeder) / 600 mm (grizzly feeder)	-
Setting range	10 - 38 mm	8 - 35 mm	10 - 45 mm	8 - 35 mm	8 - 49 mm	-	-	-	-
Motor power	132 kW	220 kW	220 kW	315 kW	315 kW	220 kW	2x 150 kW	250 kW	-
SCREEN									
Model	D51855-4	D51855-4	C182060-4M	C182060-4M	C182060-4M	D51855-4	D51855-4	-	D51855-4
- length	5 500 mm	5 500 mm	6 000 mm	6 000 mm	6 000 mm	5 500 mm	5 500 mm	-	5 500 mm
- width	1 800 mm	1 800 mm	2 000 mm	2 000 mm	2 000 mm	1 800 mm	1 800 mm	-	1 800 mm

See it in action



Find your local Metso sales team
or distributor

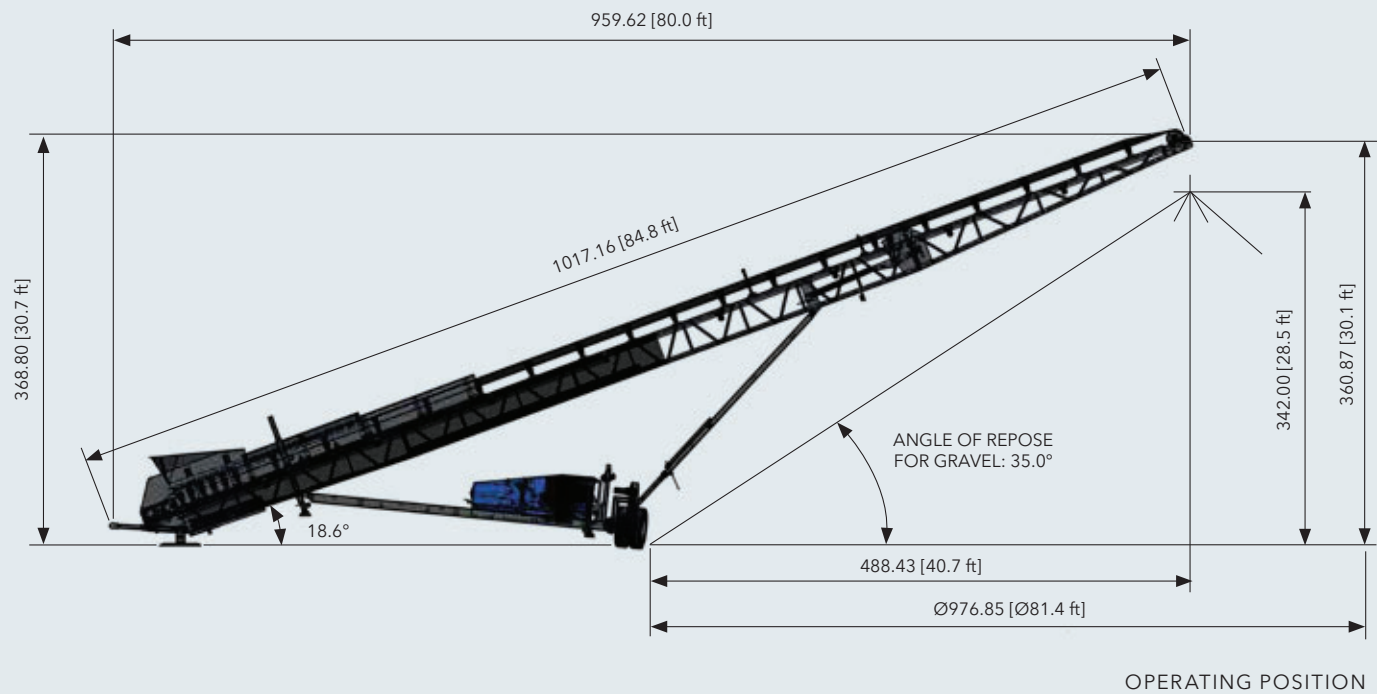




TECHNICAL INFORMATION | WHEELED MOBILE STACKER

MOBIBELT KW 80-2





TECHNICAL HIGHLIGHTS

- Heavy duty mobile tracked stockpiling conveyor
- 80' long conveyor
- Road towable
- Air brakes, mud flaps, lights
- Large feed hopper
- Hydraulic folding frame for easy transport, fast on site setup time (5 minutes)
- Abundant service room inside the power-pack
- Adjustable hopper height to optimize operational efficiency

TECHNICAL INFORMATION KW 80-2

Feeding unit

Feed capacity (t/h)	350
Hopper volume (yd³)	1.33

Conveyor

Width x length	3' x 80'
Discharge height at 23° conveyor incline	30.1'
Stockpile volume (yd³) at 23° conveyor incline	1,831
Belt specification	3-ply Vulcanized
Belt drive (cm³)	630
Belt trough angle	35°

Power supply unit

Drive concept	Diesel Hydraulic
Engine (Tier 4f/ Stage IV) (kW)	47.6 HP
Diesel tank capacity (gal)	73 gallons (275 liters)

Dimensions and weight

Working dimensions:	
Width x Length	10.8' x 80'
Height	30.7'
Transport dimensions:	
Transport height approx.	13.7'
Transport length	63.5'
Transport width	10.1'
Transport weight of basic plant (lbs)	22,600

Standard features: External belt alignment points / Auxiliary Guarding / External grease points / Axle Jacks / Engine safety shutdown systems / Full safety guarding for pinch points

March 24, 2021

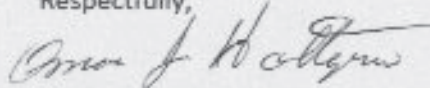
City Of Edgerton
404 East Nelson
Edgerton, KS 66021
Attn: Katy Crow – Development Services Director

Re: Arrowhead Intermodal – Phase 3 – Rock Crushing and Haul Off Permit

Dear Katy,

Please consider this letter as written permission for CY Edgerton, LLC, by way of their agreement with ARCO National Construction – KC, LLC, and their subcontractors to implement rock crushing and hauling operations for the purpose of constructing Arrowhead Intermodal Phase 3 on the property as illustrated in their permit submission packet and attached herein.

Respectfully,



Omar J. Holtgraver
Property Owner