

**EDGERTON PLANNING COMMISSION
MEETING AGENDA
CITY HALL, 404 EAST NELSON STREET
March 8, 2022
7:00 P.M.**

The City of Edgerton encourages public participation in local governance issues. To facilitate an efficient and effective meeting, persons wishing to address the Planning Commission must sign-up before the meeting begins. During public hearings, comments must be limited to three (3) minutes per speaker. The maximum time limit for all speakers during each public hearing will be one (1) hour. The chair may modify these provisions, as necessary. Speakers should state their name and address and then make comments that pertain to the public hearing item.

The chair may limit any unnecessary, off-topic, or redundant comments or presentations. Speakers should address their comments to Planning Commission members only and should not speak to fellow audience members. Commission members will not engage in a dialogue or debate with speakers. Speakers and audience members should conduct themselves in a civil and respectful manner. Disruptive conduct may result in removal from the meeting.

Seating in City Hall is limited to fifty (50) people. Masks are not required, per the current CDC guidelines. No overflow space will be provided.

Call to Order

1. **Roll Call** _____ Daley _____ Berger _____ Crooks _____ Lebakken _____ Little
2. **Welcome**
3. **Pledge of Allegiance**

Consent Agenda *(Consent Agenda items will be acted upon by one motion unless a Planning Commissioner requests an item be removed for discussion and separate action.)*

4. Approve Minutes from the December 14, 2021 Planning Commission Meeting.
5. Approve Extension of Site Plan Expiration Date for FS2019-02 TSL-Edgerton Phase II

Motion: _____ Second: _____ Vote: _____

Regular Agenda

6. **Declaration.** At this time Planning Commission members may declare any conflict or communication they have had that might influence their ability to impartially consider the agenda items.

Business Requiring Action

New Business

7. **PUBLIC HEARING TO CONSIDER APPLICATION PP2022-01 FOR A PRELIMINARY PLAT FOR LOGISTICS PARK KANSAS CITY SOUTH, FOURTH PLAT LOCATED EAST OF THE NORTHEAST OF THE CORNER OF 207TH STREET AND GARDNER ROAD** Applicant: Brett Powell, Agent – NorthPoint Development, LLC, Developer
8. **CONSIDER APPLICATION PP2022-01 FOR A PRELIMINARY PLAT FOR LOGISTICS PARK KANSAS CITY SOUTH, FOURTH PLAT LOCATED EAST OF THE NORTHEAST OF THE CORNER OF 207TH STREET AND GARDNER ROAD** Applicant: Brett Powell, Agent – NorthPoint Development, LLC, Developer

Motion: _____ Second: _____ Vote: _____

9. **CONSIDER APPLICATION FP2022-01 FOR A FINAL PLAT FOR LOGISTICS PARK KANSAS CITY SOUTH, FOURTH PLAT LOCATED EAST OF THE NORTHEAST OF THE CORNER OF 207TH STREET AND GARDNER ROAD** Applicant: Brett Powell, Agent – NorthPoint Development, LLC, Developer

Motion: _____ Second: _____ Vote: _____

10. **PUBLIC HEARING TO CONSIDER APPLICATION FS2022-01 FOR A FINAL SITE PLAN FOR LOGISTICS PARK KANSAS CITY SOUTH, FOURTH PLAT LOCATED EAST OF THE NORTHEAST OF THE CORNER OF 207TH STREET AND GARDNER ROAD** Applicant: Brett Powell, Agent – NorthPoint Development, LLC, Developer

11. **CONSIDER APPLICATION FS2022-01 FOR A FINAL SITE PLAN FOR LOGISTICS PARK KANSAS CITY SOUTH, FOURTH PLAT LOCATED EAST OF THE NORTHEAST OF THE CORNER OF 207TH STREET AND GARDNER ROAD** Applicant: Brett Powell, Agent – NorthPoint Development, LLC, Developer

Motion: _____ Second: _____ Vote: _____

12. Future Meeting Reminders

- Regular Session – April 12, 2022 at 7:00 PM
- Regular Session – May 10, 2022 at 7:00 PM
- Board of Zoning Appeals Regular Session – June 14, 2022 at 6:30 PM
- Regular Session – June 14, 2022 at 7:00 PM

13. Adjourn

**EDGERTON CITY HALL
PLANNING COMMISSION MEETING
December 14, 2021**

A regular session of the Edgerton Planning Commission (the Commission) was held in the Edgerton City Hall, 404 E. Nelson Edgerton, Kansas on December 14, 2021. The meeting convened when Chairperson John Daley called the meeting to order at 7:00 PM.

1. ROLL CALL

Jeremy Little	absent
Charlie Crooks	present
Tim Berger	absent
Deb Lebakken	present
John Daley	present

With a quorum present, the meeting commenced.

Staff in attendance: Katy Crow, Development Services Director
 Beth Linn, City Administrator

2. WELCOME. Chairperson Daley welcomed all in attendance to the meeting.

3. PLEDGE OF ALLEGIANCE. All present participated in the Pledge of Allegiance.

CONSENT AGENDA

4. Approve Minutes from the November 9, 2021 Planning Commission Meeting.

Commissioner Lebakken moved to approve the consent agenda. Commissioner Crooks seconded the motion. The consent agenda was approved, 3-0.

REGULAR AGENDA

5. DECLARATION. The Commissioners did not have anything to declare at this time.

BUSINESS REQUIRING ACTION

Chairman Daley stated during the remainder of this meeting, there will be four public hearings for new items and an opportunity to hear public comment and concerns regarding that specific item. He stated the applicant will be allowed to present their information in order for this commission to either approve that item or make a recommendation to the Governing Body, if so warranted.

He stated anyone wanting to speak during the public comments portion of tonight's meeting will be able to do so. He stated persons will be asked to sign in and provide their name and address for the record, speakers will be limited to 3 minutes each.

He stated comments must pertain to the specific item in which the public hearing is being held.

He stated as the chairman of this body, he reserves the right to modify these procedures as needed to conduct an orderly and efficient meeting.

NEW BUSINESS

6. HOLD A PUBLIC HEARING TO CONSIDER APPLICATION PP2021-05 FOR A PRELIMINARY PLAT FOR JB HUNT TRANSPORT, INC. LOCATED AT 30650 W. 191ST STREET (NORTHEAST CORNER OF 191ST STREET AND MONTROSE STREET)

Chairman Daley opened the Public Hearing at 7:01 PM.

Ms. Katy Crow, Development Services Director, presented the application using information from the Staff Report provided in the Planning Commission packet. The applicant has been provided with the Staff Report comments and stipulations required for approval. She stated Zach Fletcher is present to represent the applicant.

With no comments made from the applicant or persons in the audience, Chairman Daley then closed the Public Hearing at 7:06 PM.

7. CONSIDER APPLICATION PP2021-05 FOR A PRELIMINARY PLAT FOR JB HUNT TRANSPORT, INC. LOCATED AT 30650 W. 191ST STREET (NORTHEAST CORNER OF 191ST STREET AND MONTROSE STREET)

Chairman Daley stated with the conclusion of the discussion on this item, the Commission will now vote on Application PP2021-05, Preliminary Plat for JB Hunt Transport, Inc.

He asked for a motion to recommend approval, denial, or the continuance of PP2021-05.

Commissioner Crooks made motion to approve the application, seconded by Commissioner Lebakken. The Application was approved, 3-0.

8. CONSIDER APPLICATION FP2021-04 FOR A FINAL PLAT FOR JB HUNT TRANSPORT, INC. LOCATED AT THE 30650 W. 191ST STREET (NORTHEAST CORNER OF 191ST STREET AND MONTROSE STREET)

Ms. Crow presented the information for FP2021-04, using information from the Staff Report provided in the Planning Commission packet.

There were no questions or comments from the Commissioners.

Commissioner Crooks made motion to approve the application, seconded by Commissioner Lebakken. The Application was approved, 3-0.

9. HOLD A PUBLIC HEARING TO CONSIDER APPLICATION PP2021-04 FOR A PRELIMINARY PLAT FOR LOGISTICS PARK KANSAS CITY FIFTH PLAT LOCATED NORTH OF 187TH STREET BETWEEN KILL CREEK ROAD AND WAVERLY ROAD

Chairman Daley opened the Public Hearing at 7:12 PM.

Ms. Crow presented the application using the Staff Report information provided in the Planning Commission packet. She stated Aaron Burks and Melissa DeGonia from NorthPoint, were in attendance

to represent the applicant. Upon conclusion of Ms. Crow's presentation, Mr. Burks stated that this parcel is the triangle shaped piece of ground as shown on the map, south and directly adjacent to the BNSF Intermodal Maintenance Facility in the heart of LPKC.

Commissioner Lebakken asked what restrictive covenant is.

Ms. Crow responded that it is a stipulation that runs with the ground and thus must be shown on the Plat document. It is most commonly seen in residential developments which have an HOA in place. It can also be seen in commercial strip malls pertaining to common area maintenance. There will be none on this property.

Commissioner Crooks asked if the containers will be stacked on the ground.

Chairman Daley stated that those details will be discussed during review of the Site Plan.

With no further questions or comments, Chairman Daley closed the Public Hearing at 7:17 PM.

10. CONSIDER APPLICATION PP2021-04 FOR A PRELIMINARY PLAT FOR LOGISTICS PARK KANSAS CITY FIFTH PLAT LOCATED NORTH OF 187TH STREET BETWEEN KILL CREEK ROAD AND WAVERLY ROAD

Chairman Daley stated with the conclusion of the discussion on this item, the commission will now vote on Application PP2021-04, Preliminary Plat for LPKC Fifth Plat.

He asked for a motion to recommend approval, denial, or the continuance of PP2021-04.

Commissioner Lebakken made motion to approve the application with stipulations as listed in the Planning Commission packet, seconded by Commissioner Crooks. The Application was approved, 3-0.

11. CONSIDER APPLICATION FP2021-03 FOR A FINAL PLAT FOR LOGISTICS PARK KANSAS CITY FIFTH PLAT LOCATED NORTH OF 187TH STREET BETWEEN KILL CREEK ROAD AND WAVERLY ROAD

Ms. Crow presented the application using information from the Staff Report provided in the Planning Commission packet. She reminded the Commission that while the date indicated in the Staff Report for the item to be heard at the City Council meeting is January 13, 2022, the actual date can vary based upon the timeliness of the applicant's response to stipulations required on the submittal.

There were no comments made by the applicant.

There were no questions or comments made by the Commissioners.

Commissioner Crooks made motion to approve the application with stipulations as listed in the Planning Commission packet, seconded by Commissioner Lebakken. The Application was approved, 3-0.

12. HOLD A PUBLIC HEARING TO CONSIDER APPLICATION FS2021-11 FOR A FINAL SITE PLAN FOR LOGISTICS PARK KANSAS CITY FIFTH PLAT LOCATED NORTH OF 187TH

STREET BETWEEN KILL CREEK ROAD AND WAVERLY ROAD

Chairman Daley opened the Public Hearing at 7:25 PM.

Ms. Katy Crow presented the application using information from the Staff Report provided in the Planning Commission packet.

She stated the proposed use of the facility will be a cargo container storage lot. There will be a proposed maintenance facility near the southeast corner of the parcel and just to the west of the maintenance facility, is a 'pre-tripping' area where containers will be rinsed and prepped for the storage yard.

Ms. Crow referenced the packet, noting Article 10, Section 10.1, of the Unified Development Code (UDC) related to contents of Site Plan drawings. The City Engineer has indicated that the proposed access points will require reconstruction of the existing sidewalks. She also noted that the applicant has stated a photometric plan will be provided when available. She stated this submittal will be required prior to issuance of a building permit, once received, city staff will review the plan to ensure it complies with the UDC. She noted additional easements will be needed for the proposed public sanitary sewer line, these are being reviewed.

Ms. Crow also referenced Article 5, Section 5.2 of the UDC related to Logistics Park zoning designations. She noted it is required that all rooftop units must be completely screened from view, typically handled with fencing of some kind. This includes HVAC units. All operations must be fully screened from view including trash enclosures. The applicant has noted the project will include vinyl coated chain link fencing around the perimeter of the project with solid vinyl fencing around the 'pre-tripping' area to fully screen it from view. The building is in compliance with the UDC and the applicant is required to move the landscaping to the top of the berms. There are shrubs missing from the landscape plan but the applicant has agreed to add them.

Ms. Crow stated staff recommends approval of this application with the stipulations as listed in the packet.

Mr. Burks with NorthPoint Development stated that the applicant agrees to comply with all stipulations listed. He noted that operations on this parcel will have 5 main functions - to the east, container storage, to the west, wheeled container storage, a 'pre-tripping' area and maintenance area for the containers, and it will also include a space for a shop with an office and a specific inspection station with canopy.

Commissioner Crooks asked why they want to locate the facility here.

Mr. Burks stated because of the general need of container storage in the Logistics Park. When containers arrive on the trains, they have to be unloaded and moved out of the BNSF facility. More storage area for containers is needed as containers are a by-product of intermodal operations. He stated roughly 200 containers a week are needed to ship agricultural products and they must have a place to store the empty containers. This location is ideal due to it being surrounded by industrial development.

Commissioner Crooks asked if there would be traffic going out of the intermodal.

Mr. Burks stated there will still be traffic. He stated it is possible that in the long term it may be possible to access BNSF property directly, and an option for this has been taken into consideration in the plan submitted. He stated NorthPoint executed this exact plan in Alliance, TX, and it does take a long time to work out the details with BNSF.

Chairman Daley asked about plans for a detention basin. Mr. Burks stated there is an existing detention basin for IP5 and can be adjusted in their design to meet City Engineer requirements.

Chairman Daley asked how many containers would be stored at the facility. Mr. Burks stated that the exact number of containers that will be located at this project is unknown. Ms. Crow stated that for cargo container storage operations it is really about setbacks discussed in conditional use permit which limit the storage area. Stacking is limited in height as well.

Ms. Crow also stated that it has not yet been determined if the pre-tripping area drainage will be connected to the sanitary or stormwater system. Ms. DeGonia stated that NorthPoint is still working with KDHE to determine what will be allowed. The plan is for a drain to be installed that would trap anything that floats from entering the system. Mr. Burks stated that the 'pre-tripping' area will only be for refrigerated containers not standard, regular containers. The proposed tenant has strict policies for 'pre-tripping' inspections.

Chairman Daley stated he would assume there will be no gravel. Ms. Crow confirmed that all surfaces will be paved. Mr. Burks stated internal roadways are connected with asphalt.

Commissioner Crooks asked if the lifts are diesel or electric, is there an underground tank.

Mr. Burks stated yes, there is an underground fuel tank. He stated it is diesel for the hauler (yard) trucks. He stated he's pretty sure the container lifts are also diesel.

Chairman Daley asked if UPS had hidden their pumps. Ms. Crow stated UPS has an above ground tank fueling operations but regulations now require all tanks to be underground.

Chairman Daley asked what the plans are for the southwest corner. Mr. Burks stated currently, no work is planned for the parcel, but will still be combined. It will be left as grass area.

With no further questions or comments, Chairman Daley then closed the Public Hearing at 7:50 PM.

13. CONSIDER APPLICATION FS2021-11 FOR A FINAL SITE PLAN FOR LOGISTICS PARK KANSAS CITY FIFTH PLAT LOCATED NORTH OF 187TH STREET BETWEEN KILL CREEK ROAD AND WAVERLY ROAD

Chairman Daley stated with the conclusion of the discussion on this item, the commission will now vote on Application FS2021-11, Final Site Plan for LPKC Fifth Plat.

He asked for a motion to recommend approval, denial, or the continuance of FS2021-11.

Commissioner Crooks made motion to approve the application with stipulations as listed in the Planning Commission packet, seconded by Commissioner Lebakken. The Application was approved, 3-0.

14. HOLD A PUBLIC HEARING TO CONSIDER CONDITIONAL USE PERMIT APPLICATION CU2021-04 FOR LOGISTICS PARK KANSAS CITY FIFTH PLAT CARGO CONTAINER STORAGE LOT LOCATED NORTH OF 187TH STREET BETWEEN KILL CREEK ROAD AND WAVERLY ROAD

Chairman Daley opened the Public Hearing at 7:52 PM.

Ms. Crow presented the application using information from the Staff Report provided in the Planning Commission packet.

Mr. Burks stated the applicant has no comment on this item other than that they are in agreement with all comments and stipulations provided by staff.

There were no public comments made.

Commissioner Lebakken asked if any traffic from the project will be using Waverly Road to 56 Highway. Mayor Roberts stated he has the same concern and has had numerous conversations with Johnson County about that particular roadway. Commissioner Lebakken asked if the road was in the county. Mayor stated that from the mainline (train tracks) to 56 is in the County. Chairman Daley asked if trucks still drive on it. Ms. Linn stated that there is infrastructure in place for trucks to use in the Logistics Park. Mayor Roberts stated the intent is to get rail served development in the area.

With no further questions or comments, Chairman Daley closed the Public Hearing at 8:05 PM.

15. CONSIDER CONDITIONAL USE PERMIT APPLICATION CU2021-04 FOR LOGISTICS PARK KANSAS CITY FIFTH PLAT CARGO CONTAINER STORAGE LOT LOCATED NORTH OF 187TH STREET BETWEEN KILL CREEK ROAD AND WAVERLY ROAD

Chairman Daley stated with the conclusion of the discussion on this item, the commission will now vote on Application CU2021-04, Conditional Use Permit for LPKC Fifth Plat Cargo Container Storage Lot.

He asked for a motion to recommend approval, denial, or the continuance of CU2021-04.

Commissioner Lebakken made motion to approve the application with stipulations as listed in the Planning Commission packet, seconded by Commissioner Crooks. The Application was approved, 3-0.

16. FUTURE MEETING

Chairman Daley stated having no further items on the agenda, please note that the next regular session of the Planning Commission is scheduled for January 11, 2022 at 7:00 PM.

17. ADJOURNMENT

Chairman Daley asked for a motion to adjourn the meeting.

Commissioner Lebakken motioned to adjourn the meeting. Commissioner Crooks seconded the motion. The motion was approved, 3-0. The meeting was adjourned at 8:07 PM.

Submitted by Beth Linn, City Administrator.

DRAFT

TSL EDGERTON PHASE II

Application FS2019-02

Southwest Corner of 199th Street and Waverly Road

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting an extension of a Final Site Plan for a parcel located southwest of the corner of 199th Street and Waverly Road.

This application DOES NOT require a Public Hearing.

Owner and Applicant

Hastings Family Holdings, LLC represented by Chris Stara, Agent

Zoning and Land Use

L-P (Logistics Park) with cargo container storage and maintenance facility

Legal Description

The NE ¼ of Section 3, Township 15 South, Range 22 East in Johnson County, Kansas; see attached application for full legal description

Parcel Size

44.34 acres

Staff Report Prepared by

Chris Clinton



BACKGROUND

Subject Site

The parcel is located within the Bull Creek watershed. The land where the existing operations are was annexed on October 10, 2013. The land where the expansion is to take place was annexed into the City of Edgerton on September 24, 2015.

Utilities and service providers:

- a. Johnson County Rural Water District #7.
- b. Sanitary Sewer - City of Edgerton.
- c. Electrical Service - Evergy.
- d. Gas Service – Kansas Gas Service.
- e. Police protection is provided by the City of Edgerton through the Johnson County Sheriff's Office.
- f. Fire protection is provided by Johnson County Fire District #1.

Site History and Past Approvals

Per the Johnson County AIMS map, the parcel was undeveloped since 2006 until the current operations were developed in 2015.

The current operations were rezoned from Johnson County *RUR, Rural* to City of Edgerton *L-P, Logistic Park* on November 14, 2013. The land where the expansion is going to occur was rezoned from Johnson County *RUR, Rural*, to City of Edgerton *L-P, Logistics Park*, on October 25, 2018.

The Final Plat was originally accepted by the Governing Body on February 13, 2014. On March 12, 2019, the City of Edgerton Planning Commission approved a new Final Plat that incorporated the southern area for expansion. That Final Plat was then accepted by the Governing Body on April 25, 2019 and was recorded with Johnson County.

The Planning Commission approved the first phase Final Site Plan on October 22, 2013 and then again on December 10, 2013 with changes made by the applicant. The Final Site Plan for the expansion was approved by the Planning Commission on April 9, 2019. Per the Unified Development Code, Article 10, Section 10.4, Final Site Plan approval is for a period of one (1) year from the date of approval. If no building permit has been issued for the project within that 1 year, the Final Site Plan becomes null and void, unless an extension is requested by the applicant to the Planning Commission. On January 14, 2020, the Planning Commission did extend the expiration date by another year to April 9, 2021. On February 9, 2021, the applicant did request another 1-year extension from the Planning Commission, which was granted. The current Final Site Plan is set to expire on April 9, 2022.

This facility is used as a cargo container storage lot which requires a Conditional Use Permit (CUP). The original CUP was approved by the Governing Body on January 9, 2014. When the applicant applied for the expansion, a new CUP was needed. The CUP that includes the expansion area was approved by the Governing Body on April 25, 2019.

Proposed Use

The applicant has proposed an expansion of current operations. The expansion is proposed to include a 10,000 square foot maintenance and fueling facility located near the southwestern corner of the property. The applicant wishes to construct six (6) fueling pumps with three (3) above ground fuel tanks with containment basins. The above ground fuel tanks were approved

on the Final Site Plan prior to the amendment to the UDC banning above ground fuel tanks. A guard shack is proposed adjacent to Waverly Road as well.

The applicant has indicated that they intend to start working on the site shortly to construct the expansion. The construction of the site could take as long as four (4) years and will be done in 3 phases. The first phase will take place on the southern section of the platted land. The second phase will expand existing operations southward. The third and final phase will fill between the first and second phases and will contain the drainage easement. This phasing and time for construction is due to the need for materials needed for fill and the cost of those materials.

Project Timeline

- Final Site Plan Approved by Planning Commission: April 9, 2019
- Extension Approved by Planning Commission: January 14, 2020
- Extension Approved by Planning Commission: February 9, 2021
- Extension Requested by Applicant: February 2, 2022

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project. Please contact the Building Codes Division of the Community Development Department for more information about City permits. The project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
Letter	Letter Requesting Extension	2/2/2022
Staff Report	Compiled Staff Report	4/9/2019

STAFF RECOMMENDATION

City Staff recommends approval of the extension Final Site Plan **FS2019-02 TSL Edgerton, Phase II** for a period of one year with an expiration on **April 9, 2023** subject to the following stipulations:

1. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City.
2. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads, and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all

specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

3. All fencing and landscaping approved by the Planning Commission included in Final Site Plan Application FS2019-02 must be installed during the first phase of construction.

Note: For Final Site Plan FS2019-02 Extension, the Planning Commission is the final authority for approval.



February 2, 2022

City of Edgerton
Attn: Ms. Katy Crow
404 East Nelson Street
Edgerton, KS 66021

RE: TSL – Edgerton Phase II, Site Plan (FS2019-02)

Dear Ms. Katy Crow:

TranSpec Leasing, Inc. requests an extension of the Final Site Plan approval for TSL – Edgerton's Phase II expansion for a period of one year.

As the City is aware, our facility operates as a container yard and truck terminal. The expansion of our current facility had initially stalled due to U.S. trade disputes with China and other foreign trading partners. It is our intent to start Phase II construction this Summer. TranSpec Leasing is requesting a one-year extension to the Final Development Plan approval as the company prepares to apply for construction permits and begin construction.

Best regards,

A handwritten signature in black ink, appearing to read 'C. Stara'.

Christopher Stara
General Manager of Real Estate Services

TranSpec Leasing, Inc.
10001 S 152nd Street
Omaha, NE 68138-3801

STAFF REPORT

April 9, 2019

To: Edgerton Planning Commission
Fr: Chris Clinton, Planning and Zoning Coordinator
Re: **FS2019-02** Final Site Plan for *TSL Edgerton Phase II*, located along the south side of 191st Street, and the west side of Waverly Road.

APPLICATION INFORMATION

Applicant:	Chris Stara, representing Transpec Leasing Incorporated 10001 S. 152 nd St. Omaha, Nebraska 68138
Property Owners:	Hastings Family Holdings, LLC 25830 W Dodge Rd Waterloo, NE 68069
Requested Action:	Final Site Plan approval for <i>TSL Edgerton Phase II</i>
Legal Description:	Part of the NE Quarter of Section 3, Township 15 South, Range 22 East; see attached application for complete legal description.
Site Address/Location:	Along the south side of 191 st Street, and along the west side of Waverly Road.
Existing Zoning and Land Uses:	Existing zoning L-P (Logistics Park) District; Parcels are currently undeveloped.
Existing Improvements:	None.
Site Size:	29.44 acres

Subject Property



PROJECT DESCRIPTION

This request is for approval of Application **FS2019-02** Final Site Plan for the Phase II expansion of the current TSL Edgerton cargo container storage/maintenance facility and truck yard. The proposed expansion would occur on the adjacent parcels located directly south of current operations. Phase II includes a proposed 10,000 square foot Maintenance and Fueling Facility located near the southwestern corner of the property. If approved, this facility would include 6 (six) fueling pumps and 3 (three) above ground fuel tanks with containment basins. Also included is a proposed guard shack on the east side of the project, adjacent to Waverly Road. Increased demand for businesses which store and maintain cargo containers is a by-product of the activity in and around the intermodal facility.

A Preliminary Site Plan was not required due to the nature of the project and the proposed operation. Tracts A and B are to be utilized as part of the stormwater system. Building elevations for both the maintenance building and guard shack have been included. The Final Site Plan sheets include general information about the development including items such as overall layout, access, circulation and landscape plans.

Cargo container storage facilities are permitted by condition on parcels containing L-P District zoning designation. As such, operators are required to obtain a Conditional Use Permit. TSL Edgerton currently possesses a Conditional Use Permit for Phase I of their operations. As part of the Phase II expansion, they have applied for a new Conditional Use Permit (Application CU2019-01) which would include both phases of the operation and will be considered under separate review from this Site Plan Application.

INFRASTRUCTURE AND SERVICES

1. Requested access to the project operations will be from 191st Street via one (1) existing private drive and two (2) private drives off of Waverly Road. Proposal is to remove the existing drive off of Waverly and add two new drives further south.
2. Utilities.
 - a. Johnson County Rural Water District #7.
 - b. Sanitary Sewer - City of Edgerton.
 - c. Electrical Service - Kansas City Power & Light.
 - d. Gas Service – Kansas Gas Service.
3. Police protection is provided by the City of Edgerton through the Johnson County Sheriff's Office.
4. Fire protection is provided by Johnson County Fire District #1.
5. Located within the Bull Creek watershed.

FINAL SITE PLAN REVIEW

Staff has reviewed the Final Site Plan submittal for compliance with the requirements in Article 10, *Site Plans and Design Standards* and Section 5.2, *Logistics Park (L-P) District* of Article 5 of the Edgerton Unified Development Code (UDC). Review comments are listed below.

Article 10 - Site Plan Requirements

1. Sheet #3
 - a. Parking areas, paths, walkways with sizes and surfaces material specifications.
Driveway aprons should not exceed 30' in width at the throat. Phase I driveway throats are 36', which was allowed as part of the approval of the original

Phase I Site Plan in 2013. Phase II driveway throats are 36' and 34'. This meets the standard that was agreed upon for Phase I.

- b. A sketch of the entry sign and all other free-standing, façade, and building signs to be used on the premises. *No signage was submitted with the application. Signage proposed later shall receive separate approval from the Zoning Administrator according to the provisions of the UDC.*
- c. Features to facilitate handicapped access. *The accessible parking spaces and access areas should not exceed 2% slope in any direction. The accessible route to the building should meet ADAAG requirements. Applicant acknowledges.*

Section 5.2 – L-P Logistics Park District

1. District Regulations

- a. All storage of motorized machinery and equipment, materials, products or equipment shall be within a fully enclosed building, or in a storage area or yard. Said storage shall be limited to twenty percent (20%) of the ground floor area of the building or tenant space. All storage materials shall be one hundred (100) percent screened from public view, except when adjacent to another storage area, which is one hundred (100) percent screened from public view. For the purposes of this section, the phrase "screened from public view" means not visible at eye level from adjoining properties or any street right-of-way. Use of landscaping materials is encouraged in lieu of privacy fencing. All storage areas shall be paved or surfaced. *Building elevations indicate exterior HVAC units on the west side of the maintenance facility building. Screening of this equipment from public view is necessary. Landscaping or vinyl fencing material may be used. Update Final Site Plan.*

2. Architectural Design Standards.

- a. Building Materials. One hundred percent (100%) of the surface of each exterior wall (excluding doors and windows) facing a public street, residential use or public open space shall consist of materials including but not limited to stone, brick, glass block, tile, cast metal, cast or cultured stone, concrete (tilt-up walls), glass, or a combination of these materials. The use of other cementitious products (e.g. stucco, Hardy Plank, or other similar materials) shall be limited to fifty percent (50%) of the buildings' exterior finishes where it is deemed important as a design feature and where it will be applied under the highest standards for quality and durability. However, stucco may not be located in the first eight feet (8') above grade on a façade visible from a public right-of-way or a public area. *The proposed east façade of the maintenance facility building is shown with 100% complete coverage utilizing a stone veneer product. The proposed west façade shows 100% stucco finish. The north and south facades show the stone veneer in the first 8' above grade then stucco on the remaining height. All surfaces on this building should be finished with the same material as the front of the building that faces 191st Street. Update Final Site Plan.*
- b. Screening of Rooftop Equipment. For buildings within the L-P District, all rooftop mounted mechanical, air conditioning, electrical, and satellite dish equipment shall not be visible. Rooftop equipment shall be screened from ground and street level view with parapets or other architectural design features constructed of the same materials used on the exterior walls. *Site plan does show proposed location for rooftop equipment, but it does not confirm that the equipment will be screened from the ground. If rooftop equipment is*

visible from the ground, street level parapets or screening to conceal it from the ground and the street shall be required.

3. Parking and Loading.

- a. Specific Requirements. Each establishment shall provide sufficient off-street parking spaces for all employees, customers, visitors and others who may spend time at the establishment during working hours. Such parking space shall be at least nine (9) feet by twenty (20) feet. ***There are no dimensions provided on the provided plans of the vehicular parking spaces. Update Site Plan.***

4. Landscape Standards.

- a. Perimeter Landscape Buffer Requirements. Perimeter landscape buffers shall be determined based upon adjacent land uses. Table 2, Perimeter Landscape Buffer Requirements, defines the required buffer to be provided.
 - i. West side of project: Phase II operations are adjacent to another approved cargo container operation containing L-P District zoning designation and adjacent to walking trail easement. Per the UDC, Type 1 and Type 2 Buffers are not required along rear property lines or along interior side property lines behind the front face of the building. ***Final Site Plan meets UDC requirements.***
 - ii. North side of project: No landscaping is required on the north side of Phase II operations due to adjacency to Phase I operations. ***Final Site Plan meets UDC requirements.***
 - iii. East side of project: Phase II operations are adjacent to Waverly Road right-of-way. Applicant has indicated included a Right-of-Way Buffer on Landscaping Plans. ***Landscaping requirements met.***
 - iv. South side of project: South side of Phase II operations will be adjacent to private roadway for Inland Ports 32 and 33. ***Full evaluation of Landscape Buffer cannot be performed by staff as no Line of Sight drawings were provided. Provide Line of Sight drawings for staff review or continue Landscape Buffer to west property line to ensure proper screening. Update Final Site Plan.***
- b. Dumpster and Compactor Screening. All dumpsters and compactors visible from public right-of-way and/or abutting residential, commercial, public, or civic property shall be screened with a consistent six (6) foot opaque screening wall with a solid metal gate. Chain link fences or wooden fences are not acceptable. Dumpsters shall be set back a minimum of twenty-five (25) feet from adjacent residential uses. ***Final Site Plan indicates dumpster will be located on west side of project adjacent to Waverly Road right-of-way and landscape berm. Dimensions for dumpster and a Line of Sight drawing were not provided for this area. Staff is unable to evaluate if the dumpster will be fully screened from view. If deemed required, applicant may use landscaping or screening materials similar to those used for the building to screen dumpster from public view. Prior to issuance of Building Permit, this information must be provided to insure adequate landscaping and screening, especially adjacent to public right of way. Update Final Site Plan.***

5. Diesel Emission Requirements. No electrical hookups have been shown as they relate to the elimination of excessive truck idling. ***Refer to Article 5, Section 5.2.Q to ensure all***

requirements are met regarding diesel emissions and idling. Applicant acknowledges and will address if necessary.

OTHER COMMENTS

1. Proposed black galvanized steel fencing which encloses the entire property is indicated. Edgerton UDC perimeter fencing requirements call for black vinyl coated 1" mesh chain link fencing.
2. A Stormwater management plan has been submitted for review by the City Engineer. The following comments must be addressed to the City Engineer's satisfaction prior to building construction:
 - a. The site plan proposes to add 2.5 acres of impervious area which drains to the undetained Phase I portion of the TSL site. This results in an increase of runoff from the site. An increase in runoff from the site is not acceptable and stormwater management should be proposed to control the runoff from the site to no greater than the existing.

RECOMMENDATION

City staff recommends **approval** of **FS2019-02** Final Site Plan for *TSL Edgerton Phase II*, subject to compliance with the following stipulations:

1. The staff recommendations and comments noted related to building materials, landscaping, the stormwater plan and all else discussed as included in this Staff Report are included as stipulations as part of approval of this Final Site Plan.
2. A Final Site Plan with corrections must be submitted and approved prior to commencement of uses and the property shall be developed in accordance with the approved Final Site Plan, Landscaping Plan, Photometric Plan, Stormwater Study and SWPPP.
3. A Public Improvement Inspection Fee, established by the Fee Schedule for the Unified Development Code, shall be submitted with the document of financial assurance as defined in Section 13.7 prior to the commencement of any improvements.
4. No signage is proposed with this application. Signage proposed later shall receive separate approval according to the provisions of the UDC.
5. All construction plans for any public infrastructure shall be prepared to City standards and approved by the City. The property owner and/or developer shall work with City staff to determine the best possible placement for a storm water easement and shall dedicate said storm water easement on the Final Plat.
6. A Stormwater Management Plan has been submitted. However, all comments must be addressed to the satisfaction of the City Engineer.

ATTACHMENTS

- Application FS2019-02
- Final Site Plan for *TSL Edgerton Phase II*

☒ PRELIMINARY SITE PLAN☐ FINAL SITE PLANNAME OF PROPOSED SUBDIVISION: TSL Edgerton (Phase II Portion)LOCATION OR ADDRESS OF SUBJECT PROPERTY: 31115 West 191st StreetLEGAL DESCRIPTION: See attachedCURRENT ZONING ON SUBJECT PROPERTY: Logistics Park CURRENT LAND USE: VacantTOTAL AREA: 30.14 Ac. (Phase II Area) Acres NUMBER OF LOTS: 1 AVG. LOT SIZE: 1,312,898.4 Sq. Ft.DEVELOPER'S NAME(S): Chris Stara PHONE: 531-444-4820COMPANY: Transpec Leasing Incorporated FAX: 402-895-7033MAILING ADDRESS: 10001 South 152nd St. Omaha NE 68138
Street City State ZipPROPERTY OWNER'S NAME(S): Hastings Family Holdings, LLC PHONE: 402-895-6692COMPANY: Hastings Family Holdings, LLC FAX: 402-895-7033MAILING ADDRESS: 10001 South 152nd St. Omaha NE 68138
Street City State ZipENGINEER'S NAME(S): Patrick Cassity PHONE: 816-800-0950COMPANY: Renaissance Infrastructure Consulting FAX: N/AMAILING ADDRESS: 5015 NW Canal St. Suite 100 Riverside MO 64150
Street City State ZipSIGNATURE OF OWNER OR AGENT: 

If not signed by owner, authorization of agent must accompany this application.

NOTE: Three (3) copies of the site plan must accompany this application for staff review. One (1) reduced copy (8 1/2 x 11) must also be submitted with the application.**FOR OFFICE USE ONLY**

Case No.: S- _____ Amount of Fee Paid: \$ _____ Date Fee Paid: _____ Receipt # _____

Received By: _____ Date of Hearing: _____

SITE PLAN INSTRUCTIONS**SUBMITTAL DEADLINE:** The applicant shall submit an application at least thirty (30) working days prior to the public hearing.**NOTICE REQUIREMENTS:** The City shall publish notice of the public hearing at least twenty (20) days prior to the hearing in the official City newspaper. The City shall make one copy available for public inspection at least fourteen (14) days in advance of the public hearing.



DESIGN STANDARDS: Applicants within the Logistics Park (L-P) District should abide by the district regulations and design standards set forth in Section 5.2 of the Edgerton Unified Development Code. These regulations and design standards include, but are not limited to, building placement, architectural design standards, parking and loading, access management, photometrics, landscaping, signage and diesel emissions.

PLANNING COMMISSION REVIEW: The Edgerton Planning Commission meets in the City Hall on the second Tuesday of every month. The Planning Commission shall review the site plan to determine conformity with the design guidelines and other requirements included within the Edgerton Uniform Development Code.

APPROVAL LIMITATIONS: If the Final Site Plan is in conformance with an Approved Preliminary Site Plan, notice and publication of Planning Commission or City Council meetings is not required.

CHECKLIST

The following items shall be included on the site plan. All (FINAL) Site Plans must be submitted on superior quality paper in a 24 x 36 inches format (or a format specified by the Zoning Administrator). The scale shall be a professionally acceptable standard suitable to the area of the proposed project.

Front or Cover Sheet

- ☐ A scale, vicinity map showing the relationship of the site to surrounding neighborhoods, roads and other physical features.
- ☐ A project title, zoning designation and project sponsor.
- ☐ A street, lot or tract address of the project.
- ☐ An index to contents and a data table which includes:
 - ☐ Acreage of the site and number of units per acre (if applicable)
 - ☐ Gross square feet of the building(s) area
 - ☐ Proposed use of each building
 - ☐ Number of employees and the BOCA or Uniform Building Code or NEPA 101 Life Safety Code Occupancy Design Load
 - ☐ Total number of parking places
- ☐ Name of the architect, engineer, surveyor or draftsman.
- ☐ Following certificates and signature blocks:

CERTIFICATE:

Received and placed on record this _____ day of _____, 20____ by

_____ (Zoning Administrator).

Approved by the Edgerton City Planning Commission this _____ day of _____, 20____ by

_____ (Chair of Planning Commission).

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant signature _____ Date _____

**Sheet #2**

- ☐ A landscape plan drawn to scale, showing the site, building location, planting and seeding schedules, refuse and outdoor storage screening and boundary screening. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives.
- ☐ A table entitled "Planting Schedule" which lists the common name, size and condition of all planting materials, together with a timetable for planting.

Sheet #3

- ☐ A site map with the following features:
 - ☐ Topography at reasonable intervals
 - ☐ Exterior lot lines with any survey pins
 - ☐ Location of buildings
 - ☐ Parking areas, paths, walks with sizes and surfaces material specifications
 - ☐ Exterior lighting specifications
 - ☐ Site entrance and connections to streets
 - ☐ Location of easements
 - ☐ Connection point for utilities
- ☐ A sketch of the entry sign, and all other free-standing, façade, and building signs to be used on the premises
- ☐ Features to facilitate handicapped access
- ☐ Profile and detail for roads (if required)

Sheet #4

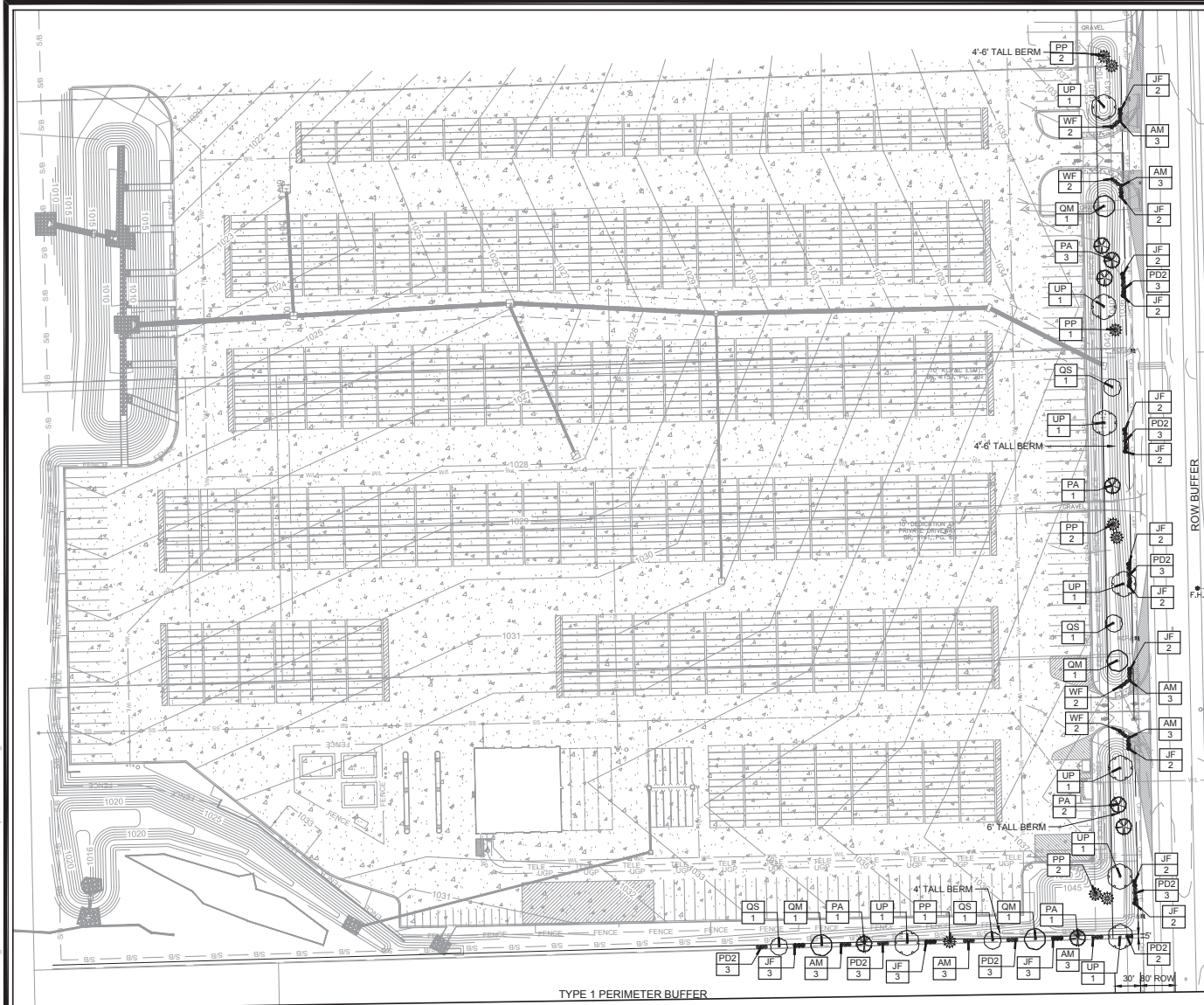
- ☐ Scale drawing of building floor plans
- ☐ Dimensions and use of rooms and areas
- ☐ Dimensions of entrances/exits and corridors
- ☐ Interior specifications for handicapped accessibility as required by ANSI 117.1 and this ordinance

Sheet #5 (if requested)

- ☐ Scale drawings of all building elevations
- ☐ Roof pitch and materials
- ☐ Siding type and materials, including facade

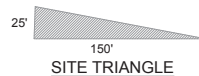
ADDITIONAL REQUIREMENTS: Depending upon circumstances (especially buildings used for assembly), the Planning Commission may require additional sheets for mechanical and electrical and building materials specifications. The Planning Commission may also require additional information for hazardous material or other environmental impacts.

Mar 25, 2019, 8:54am
Z:\RCD\Design\2019\15-0184-TSL Edgerton Phase II Landscape 03-19-2019.dwg



TYPE 1 PERIMETER BUFFER South Property Line - 450 LF
REQUIRED
Buffer Width 5'
Evergreen Trees = 1 / 50' = 9
25% Coverage Shrubs @ 4' o.c. = 29
PROVIDED
Buffer Width 10' w/Berm
Evergreen Trees = 23
Shrubs = 65

ROW BUFFER
Waverly Road - 1040 LF
REQUIRED
Buffer Width 5'
Evergreen Trees = 1 / 50' = 21
25% Coverage Shrubs @ 4' o.c. = 65
PROVIDED
Buffer Width 10' w/Berm
Evergreen Trees = 23
Shrubs = 65



LANDSCAPE NOTES

1. LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
3. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
4. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
5. ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
6. PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
7. SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
8. ALL TREES SHALL BE STAKED PER DETAIL.
9. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
10. THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
11. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
12. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE.
13. ALL TURF AND SHRUB AREAS SHALL BE WATERED DURING THE ESTABLISHMENT PERIOD.
14. DECIDUOUS TREES ARE TO BE SELECTED BY CALIPER INCH. "N/A" HAS BEEN DESIGNATED IN THE PLANT SCHEDULE FOR THE SIZE CATEGORY TO INDICATE THIS CRITERIA DOES NOT APPLY.
15. EVERGREEN TREES ARE TO BE SELECTED BY SIZE OF HEIGHT MINIMUM. "N/A" HAS BEEN DESIGNATED IN THE PLANT SCHEDULE FOR THE CALIPER (CAL) CATEGORY TO INDICATE THIS CRITERIA DOES NOT APPLY.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
PA	Picea abies / Norway Spruce	B&B	N/A	12" Ht. Min.	8	7%
PP	Picea pungens 'Fat Albert' / Colorado Spruce	B&B	N/A	12" Ht. Min.	8	7%
OM	Quercus macrocarpa / Burr Oak	B&B	2.5" Cal.	N/A	4	3%
OS	Quercus shumardii / Shumard Red Oak	B&B	2.5" Cal.	N/A	4	3%
UP	Ulmus americana 'Princeton' / American Elm	B&B	2.5" Cal.	N/A	8	7%
WF	Wegelia florida 'Alexandra' TM / Weigela	5 Gal.			21	18%
PD2	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	1 Gal.			23	20%
AM	Aconia metacarpa 'Morton' TM / Inquis Beauty Black Chokeberry	5 Gal.			8	7%
JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 Gal.			33	28%
WF	Wegelia florida 'Alexandra' TM / Weigela	5 Gal.			8	7%
TOTAL:						117 100%

PLANTING TIME TABLE

Spring 2019 - Fall 2019



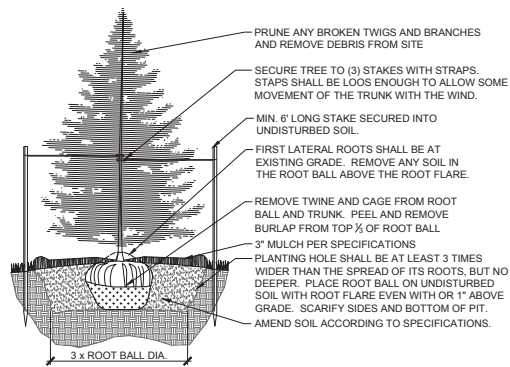
Sheet
L01

Final Site Plan

15-0184
TSL Edgerton SE Entrance

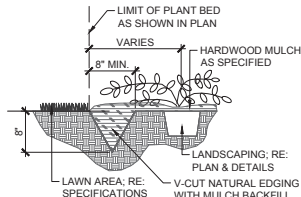
Landscape Plan





EVERGREEN TREE PLANTING DETAIL
NTS

- NOTES:
- CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.
 - TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE: DETAIL, THIS SHEET.
 - CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.

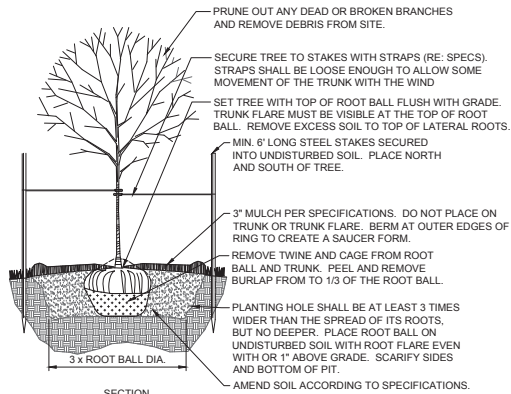


V-CUT / CULTIVATED EDGE
NTS

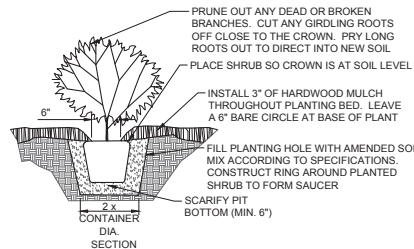


UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE
UTILITY BOX SCREENING DETAIL
NTS

- NOTES:
- TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED
 - TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.

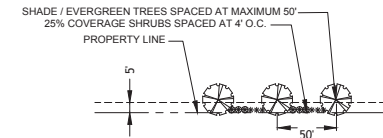


TREE PLANTING DETAIL
NTS



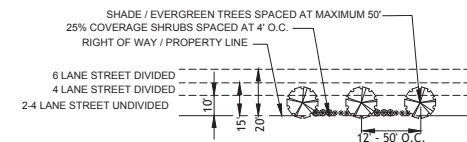
- NOTES:
- REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
 - CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING
 - INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS

SHRUB PLANTING DETAIL
NTS



MINIMUM PLANTING REQUIREMENTS
SHADE TREES: 2.5" CALIPER
EVERGREEN TREES: 6" TALL
SHRUBS: 24" TALL

TYPE 1 PERIMETER BUFFER
NTS



RIGHT OF WAY PLANTING REQUIREMENTS
2-4 LANE UNDIVIDED 10' BUFFER
4 LANE DIVIDED 15' BUFFER
6 LANE DIVIDED 20' BUFFER

MINIMUM PLANTING REQUIREMENTS
SHADE TREES: 2.5" CALIPER
EVERGREEN TREES: 6" TALL
SHRUBS: 24" TALL

RIGHT OF WAY BUFFER
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Room Schedule					
Number	Name	Base Finish	Wall Finish	Floor Finish	Ceiling Finish
01	Driver's Lounge	4" rubber cove	Painted gyp. b/d	VCT	2x4 Suspended Acoustical
02	Men	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical
03	Women	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical
04	Hallway	4" rubber cove	Painted gyp. b/d	Carpet	2x4 Suspended Acoustical
05	Shop Foreman	4" rubber cove	Painted gyp. b/d	Carpet	2x4 Suspended Acoustical
06	Office	4" rubber cove	Painted gyp. b/d	Carpet	2x4 Suspended Acoustical
07	Women	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical
08	Men	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical
09	Parts	4" rubber cove	Painted gyp. b/d	VCT	2x4 Suspended Acoustical
10	Warehouse	None	None	Concrete	None
11	Mech	4" rubber cove	Painted gyp. b/d	Concrete	2x4 Suspended Acoustical
12	Storage	None	Painted gyp. b/d	Deck	None

CEILING HEIGHT TO BE 9' 0" AFF

Wall Schedule		
Type Mark	Type	Type Comments
1a	Interior Partition-Metal Stud	3-5/8" Metal studs @ 16" o.c. w/ 3 1/2" fiberglass batt insulation and (1) layer 5/8" gyp. board each side. To 6" above ceiling
3a	Interior Furring wall metal studs	Furr out Columns
4a	Stone Veneer Wainscot	Thin Stone Veneer
5a	Exterior Wall - Metal Bldg w/ stucco finish	Per metal building mfr
6a	Interior Partition-Metal Stud 2	3-5/8" Metal studs @ 16" o.c. w/ 3 1/2" fiberglass batt insulation and (1) layer 5/8" gyp. board each side. To roof deck

Window Schedule					
Type Mark	Type	Height	Width	Sill Height	Count
1	36" x 48"	4' - 0"	3' - 0"		13

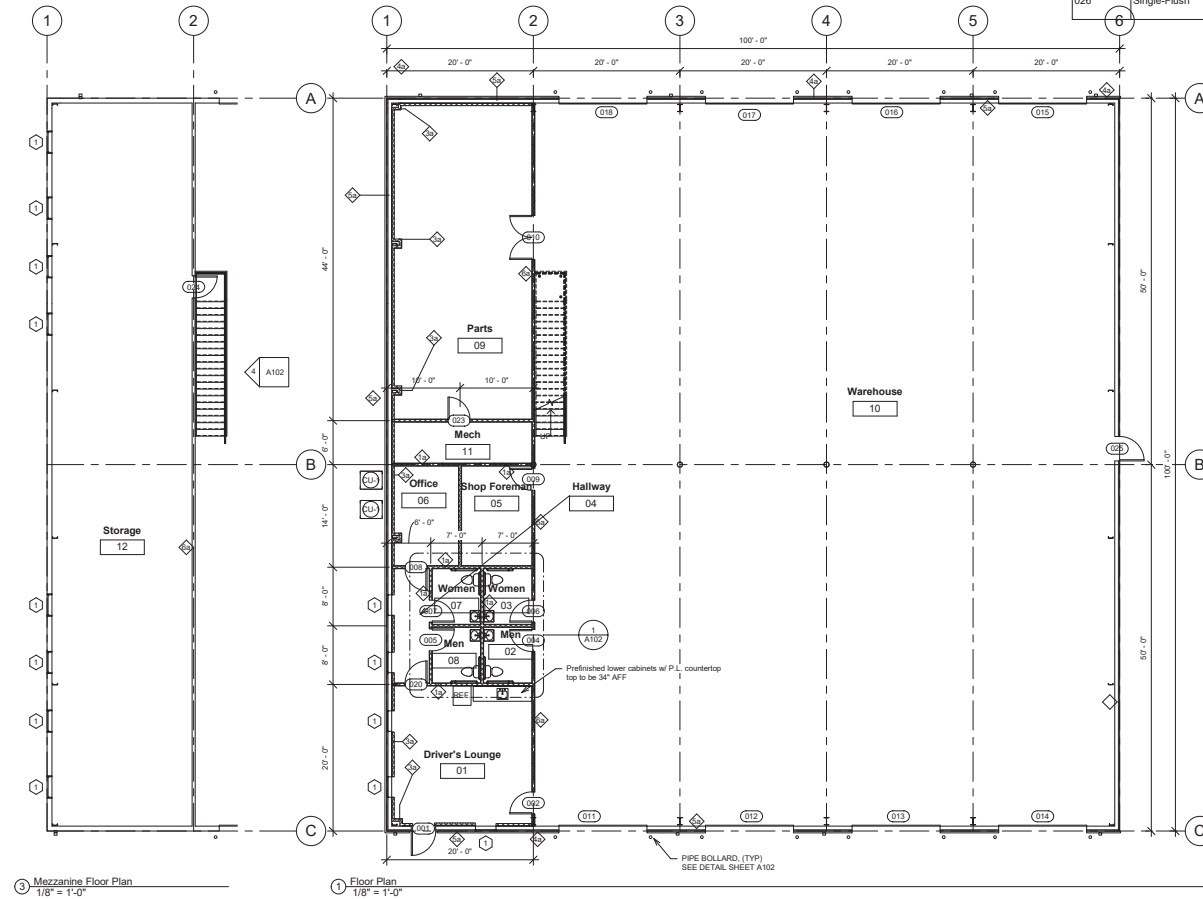
Door Schedule					
Mark	Family	Type	Door Finish	Frame Finish	hardware type
001	Single-Flush	3 x 7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.
002	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges
004	Single-Flush	3 x 7 Toilet	HM	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.
005	Single-Flush	3 x 7 Toilet	HM	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.
006	Single-Flush	3 x 7 Toilet	HM	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.
007	Single-Flush	3 x 7 Toilet	HM	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.
008	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges
009	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges
010	Double-Flush	6x7 Interior	WD	HM	Lockset w/ lever handles, strike plate, 2 - 1/2 pair hinges
011	Door-Overhead-Sectional	12 x 16	---	---	
012	Door-Overhead-Sectional	12 x 16	---	---	
013	Door-Overhead-Sectional	12 x 16	---	---	
014	Door-Overhead-Sectional	12 x 16	---	---	
015	Door-Overhead-Sectional	12 x 16	---	---	
016	Door-Overhead-Sectional	12 x 16	---	---	
017	Door-Overhead-Sectional	12 x 16	---	---	
018	Door-Overhead-Sectional	12 x 16	---	---	
020	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges
023	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges
024	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges
025	Single-Flush	3 x 7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.
026	Single-Flush	3 x 7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.

HM = 16 GA. HOLLOW METAL, PAINTED
WD = SOLID CORE RED OAK, STAINED
AL = ANODIZED ALUMINUM
IRP = IMPACT RESISTANT PLASTIC

HARDWARE SHALL BE MEDIUM DUTY COMMERCIAL GRADE. DOOR HARDWARE SHALL CONSIST OF BUTTS, LATCHSET OR LOCKSET, SILENCERS, SMOKE GASKETING FOR RATED DOORS, CLOSERS WHERE NOTED, PANIC DEVICES WHERE NOTED. EXTERIOR DOORS SHALL ALSO HAVE THRESHOLD, WEATHERSTRIPPING, SWEEP AND KEYED LOCK. CONTRACTOR SHALL COORDINATE ALL LATCH/LOCK FUNCTIONS AND KEYING OF LOCKS WITH OWNER. MAX. THRESHOLD = 1/2". ALL HARDWARE TO BE LEVER TYPE OR PUSH/PULL. ALL DOORS IN EGRESS PATHWAYS SHALL BE FREE TURNING FOR EXITING.

GLASS IN DOORS AND SIDELIGHTS SHALL BE SAFETY GLASS PER IBC SEC. 2406.1

OVERHEAD DOORS SHALL MEET DASHA WIND LOAD REQUIREMENTS



3 Mezzanine Floor Plan
1/8" = 1'-0"

1 Floor Plan
1/8" = 1'-0"

scharhag
KERNAL SCHARHAG COMPANY ARCHITECTS
6247 Brookside Blvd. #204 Kansas City, Mo 64113
Phone: 816-656-5055 Scharhag@att.net

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NEW BUILDING FOR
TSL EDGERTON
191st AND WAVERLY ROAD

J. Jeffrey Schneider, K.A. Lincum 2018
Herman Scharhag Co., Architects Cert. of Authority 0340140

No.	Description	Date
Revision Schedule		

Floor Plan

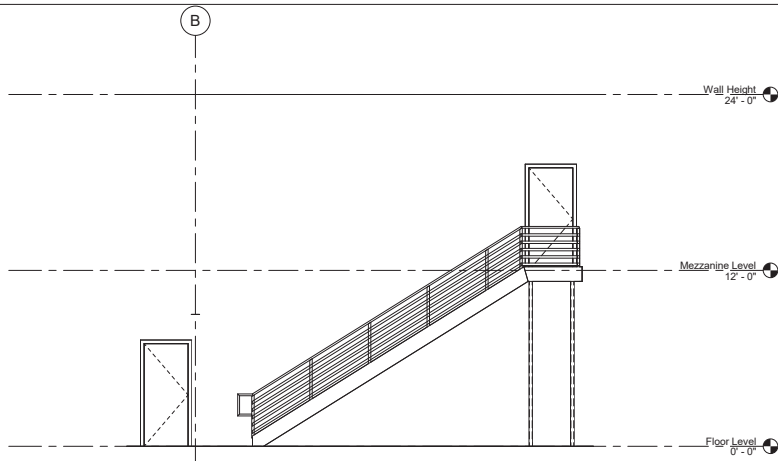
Project number 2141

Date 02.15.2019

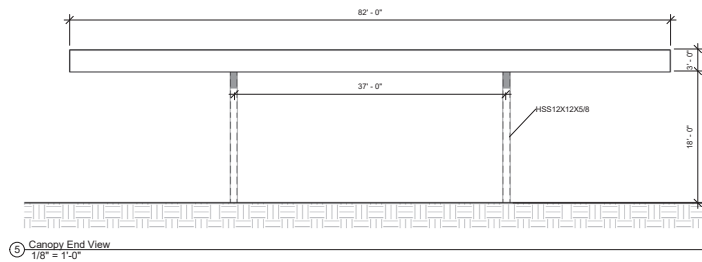
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Scale 1/8" = 1'-0"

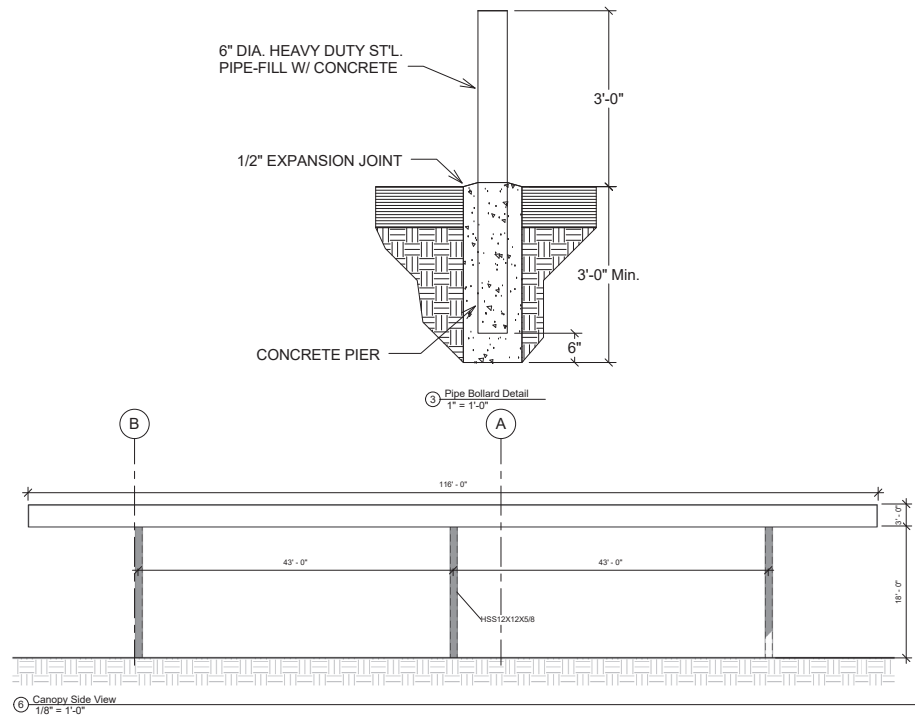
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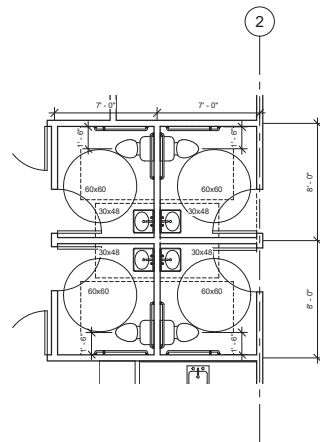
4 Stair Detail
1/4" = 1'-0"



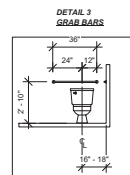
5 Canopy End View
1/8" = 1'-0"



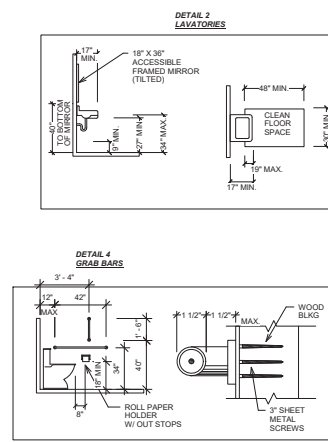
6 Canopy Side View
1/8" = 1'-0"



1 ADA Toilet Detail
1/4" = 1'-0"



2 ADA Toilet Notes
1/4" = 1'-0"



SANITARY FACILITIES		ICC/ANSI A117.1-2009
1.	GENERAL - PROVIDE SUFFICIENT SPACE IN THE BATHROOM FOR A WHEELCHAIR MEASURING 30" WIDE X 48" LONG TO ENTER THE ROOM AND PERMIT THE DOOR TO CLOSE. THERE SHALL BE ROOM FOR A 60" DIA. TURNING CIRCLE AS SHOWN ON PLAN. THE WATER CLOSET SHALL BE LOCATED IN A SPACE WHICH PROVIDES A 60" WIDE CLEAR SPACE FROM A FIXTURE OR A WALL AT ONE SIDE AND 60" OF CLEAR SPACE IN FRONT OF THE WATER CLOSET.	
2.	DOORS - SANITARY FACILITY DOORS SHALL HAVE AN AUTOMATIC CLOSING DEVICE & BE 3'0" WIDE	
3.	GRAB BARS - GRAB BARS SHALL BE AS PER DETAIL 3 & 4 AND SHALL BE CAPABLE OF CARRYING 250 LBS PER FT.	
4.	LAVATORY - LAVATORY HEIGHTS AND CLEARANCES SHALL COMPLY WITH DETAIL 2. INSULATE HOT WATER AND DRAIN PIPES UNDER LAVATORIES. NO SHARP OR ABRASIVE SURFACES ARE ALLOWED UNDER LAVATORIES. FAUCET CONTROLS AND OPERATING MECHANISMS ARE REQUIRED TO BE OPERABLE WITH ONE HAND AND CAN NOT REQUIRE GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS IS NOT TO EXCEED 5 LBS. LEVER-OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.	
5.	ACCESSORIES - IF MIRRORS, PAPER TOWEL, SANITARY NAPKIN, WASTE RECEPTACLES AND SIMILAR DISPENSING AND DISPOSAL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH TYPE IS TO BE LOCATED WITH BOTTOM MAX. 48 INCHES ABOVE THE FLOOR.	
6.	FINISHES - FLOOR FINISH SHALL BE VCT WITH 6" RUBBER COVE BASE. WALL FINISHES WILL BE EPOXY PAINT	
7.	URNAL - IF PROVIDED, URINAL UP SHALL BE MAX. 17" ABOVE FLOOR WITH A CLEAR SPACE OF 30" WIDE X 48" IN FRONT OF URINAL.	

scharhag
FEBRUARY, SCHARHAG COMPANY ARCHITECTS

6247 Brookside Blvd. #204 Kansas City, Mo 64113
Phone: 816-656-5055 Scharhag@att.net

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NEW BUILDING FOR

TSL EDGERTON

191st AND WAVERLY ROAD

J. Jeffrey Schneider, K.C., Licensed 2018
Herman Scharhag Co., Architects, Cert. of Authority 12601403

No.	Description	Date
Revision Schedule		

Architectural
Details

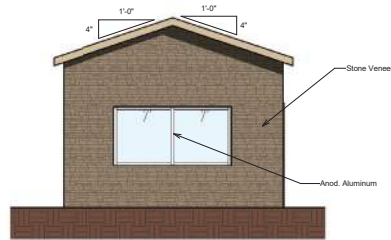
Project number 2141

Date 02.15.2019

A102

Scale As Indicated

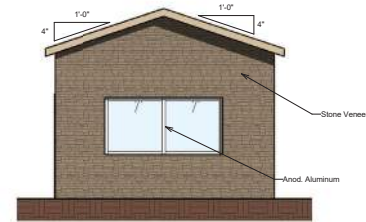
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③ Elevation 2 - a
1/4" = 1'-0"



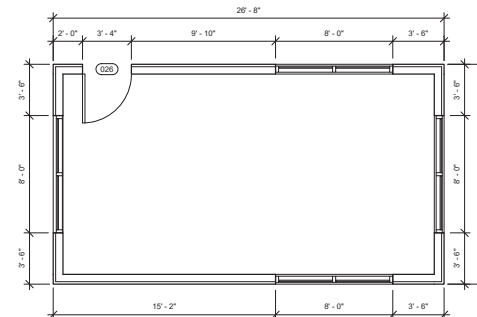
② Elevation 1 - a
1/4" = 1'-0"



⑤ Elevation 4 - a
1/4" = 1'-0"



④ Elevation 3 - a
1/4" = 1'-0"



① Guard Shack Floor Plan
1/4" = 1'-0"

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JEREMIAH SCHARHAG COMPANY ARCHITECTS

6247 Brookside Blvd. #204 Kansas City, Mo 64113
Phone: 816-656-5555 Scharhag@att.net

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NEW BUILDING FOR

TSL EDGERTON

191st AND WAVERLY ROAD

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Jeremia Scharhag Co., Architects, Cert. of Authority 1504145

1	City Comments	2	15
No.	Description	Date	
Revision Schedule			

**Guard Shack
Plans**

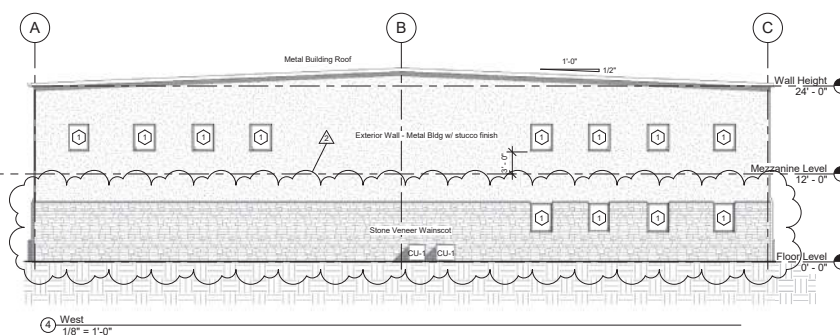
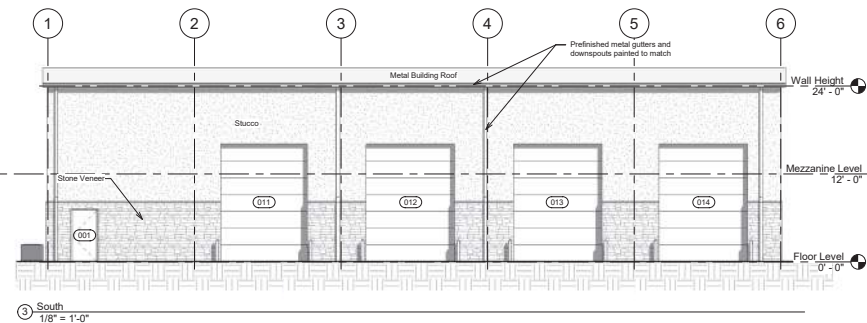
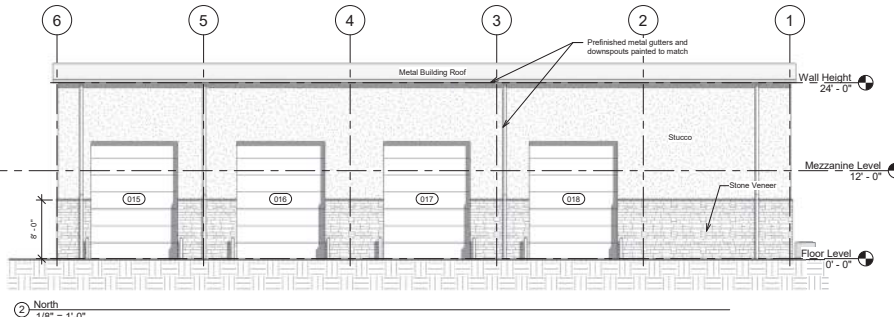
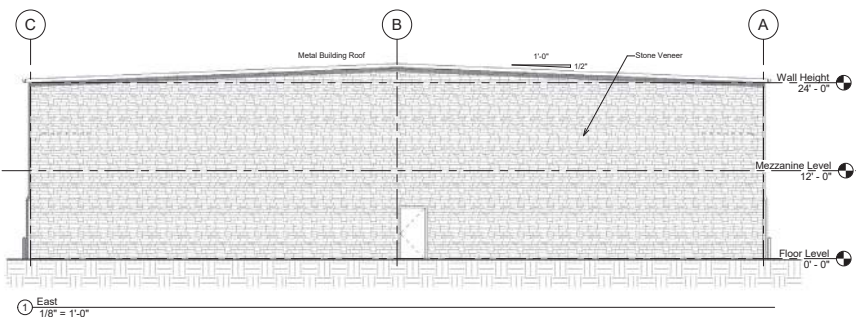
Project number 2141

Date 02.15.2019

A103

Scale 1/4" = 1'-0"

3/2/2019 11:04:10 AM



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FEBIANA SCHARHAG COMPANY ARCHITECTS

6247 Brookside Blvd. #204 Kansas City, Mo 64113
Phone: 816-656-5555 Scharhag@att.net

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NEW BUILDING FOR

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191st AND WAVERLY ROAD

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No.	Description	Date
2	City Comments	3.21
1	City Comments	2.15

Revision Schedule

Elevations

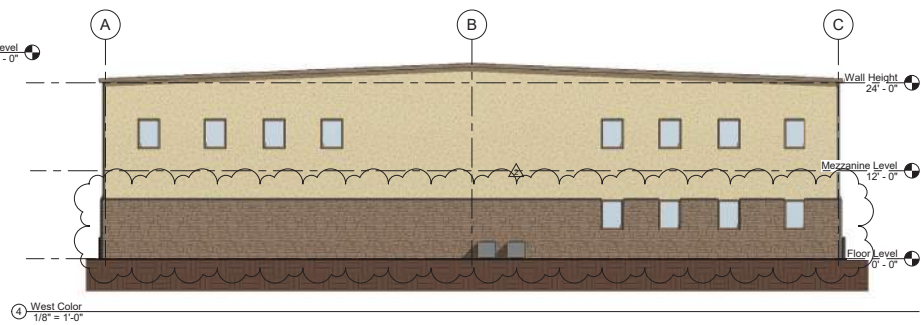
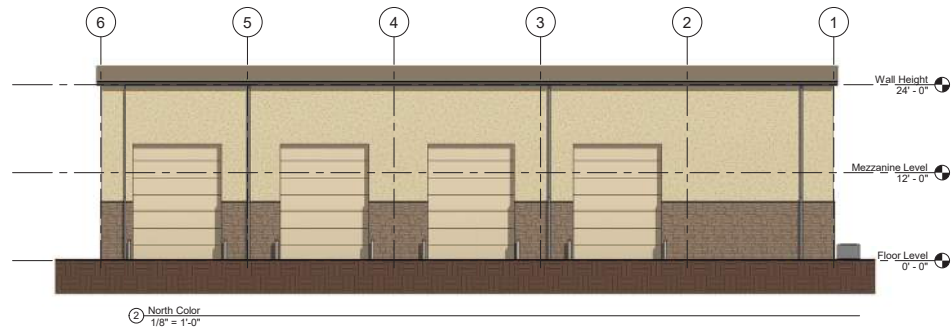
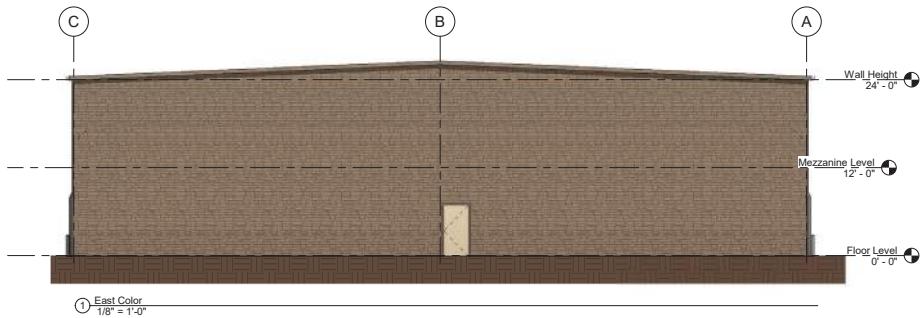
Project number 2141

Date 02.15.2019

A201

Scale 1/8" = 1'-0"

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HERMAN A. SCHARHAG COMPANY ARCHITECTS

6247 Brookside Blvd. #204 Kansas City, Mo 64113
Phone: 816-656-5055 Scharhag@att.net

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NEW BUILDING FOR

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191st AND WAVERLY ROAD

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2	City Comments	3.21
1	City Comments	2.15
No.	Description	Date
Revision Schedule		

Colored
Elevations

Project number 2141

Date 02.15.2019

A202

Scale 1/8" = 1'-0"

3/2/2019 11:04:14 AM

LOGISTICS PARK KANSAS CITY (LPKC) SOUTH, FOURTH PLAT

Application PP2022-01

Located East of the Northeast Corner of 207th Street and Gardner Road

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Preliminary Plat for a parcel located northeast of the corner of 207th Street and Gardner Road.

This application requires a Public Hearing.

Owner and Applicant

Hillsdale Land and Cattle, LLC
represented by Brett Powell,
Agent for Property Owner

Zoning and Land Use

L-P (Logistics Park) with no
existing improvements

Legal Description

The SW ¼ of Section 12,
Township 15 South, Range 22
East in Johnson County, Kansas;
see attached application for full
legal description

Parcel Size

118.783 acres

Staff Report Prepared by

Chris Clinton



BACKGROUND

Subject Site

The subject site is located within the Bull Creek watershed and was annexed into the City of Edgerton on December 17, 2020.

Utilities and service providers:

- a. Water Service - Johnson County Rural Water District #7.
- b. Sanitary Sewer - City of Edgerton.
- c. Electrical Service - Evergy.
- d. Gas Service – Kansas Gas Service.
- e. Police protection is provided by the City of Edgerton through the Johnson County Sheriff's Office.
- f. Fire protection is provided by Johnson County Fire District #1.

Site History and Past Approvals

Per the Johnson County AIMS map, the subject site has been undeveloped since 2006.

The parcels comprising the subject site were rezoned from Johnson County *RUR* to City of Edgerton *L-P, Logistic Park* on April 22, 2021 (Applications ZA2020-03 and ZA2020-04).

The Planning Commission will be presented with Final Plat Application FP2022-01 and Final Site Plan Application FS2022-01 during this same meeting.

Proposed Use

The applicant has proposed combining two parcels into one and then dividing that new parcel into two (2) lots with both of the lots having access to 207th Street. This Preliminary Plat request is being made in preparation for logistics park development.

Project Timeline

- Application submitted to the City: January 18, 2022
- Public Hearing Notice Published: February 16, 2022
- Public Hearing Notices Mailed: February 16, 2022 (sent to 21 properties)

PRELIMINARY PLAT REVIEW

Staff has reviewed the Preliminary Plat submittal for compliance with the requirements in Section 13.3 of Article 13 of the Edgerton UDC. Review comments are listed below.

Content of Preliminary Plat

1. A copy of the proposed restrictive covenants.
 - a. *No restrictive covenants have been shown.****Any restrictive covenants will need to be shown on the Final Plat.***

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project. Please contact the Building Codes Division of the Community Development Department for more information about City permits. The project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
Application	Application for PP2022-01	1/18/2022
1	Title Sheet	03/01/2022
2	Existing Conditions	12/17/2021
3	Overall General Layout	03/01/2022
4	Preliminary Plat	03/01/2022
5	Overall Grading Plan	03/01/2022

STAFF RECOMMENDATION

City Staff recommends approval of Preliminary Plat **Application PP2022-01 LPKC South, Fourth Plat**, subject to the following stipulations:

1. All Preliminary Plat requirements of the City listed above shall be met or addressed.
2. All infrastructure requirements of the City shall be met.
3. All City Engineer comments related to Stormwater Management Plan must be addressed.
4. Preliminary plat shall be approved for a one-year period and shall be extended for an additional year upon the approval of a final plat for the same parcel of land or any part thereof. If a final plat is not approved for a portion or all of the land covered under the preliminary plat within one year, the preliminary plat shall be ruled null and void. The Planning Commission upon submittal and approval of a written request may grant a one-year extension on the approval of the preliminary plat.

Note: For Application PP2022-01 the Planning Commission is the final authority for approval.

☒ INITIAL SUBMISSION☐ RE-REVIEW

NAME OF PROPOSED SUBDIVISION: Logistics Park Kansas City South, Fourth Plat

LOCATION OR ADDRESS OF SUBJECT PROPERTY: Northeast of the intersection of 207th Street and S Gardner Road

LEGAL DESCRIPTION: See attached.

CURRENT ZONING ON SUBJECT PROPERTY: L-P CURRENT LAND USE: Vacant

TOTAL AREA: 118.783 Acres NUMBER OF LOTS: 2 AVG. LOT SIZE: 2,538,267 Sq. Ft.

DEVELOPER'S NAME(S): Brett Powell PHONE: 816-384-2282

COMPANY: Northpoint Development FAX: N/A

MAILING ADDRESS:	4825 NW 41st Street, Suite 500	Riverside	MO	64150
	Street	City	State	Zip

PROPERTY OWNER'S NAME(S): Hillsdale Land and Cattle, LLC PHONE: 816-888-7380

COMPANY: Hillsdale Land and Cattle, LLC FAX: N/A

MAILING ADDRESS:	4825 NW 41st Street, Suite 500	Riverside	MO	64150
	Street	City	State	Zip

ENGINEER'S NAME(S): Patrick Cassity PHONE: 913-317-9500

COMPANY: Renaissance Infrastructure Consulting FAX: N/A

MAILING ADDRESS:	8653 Penrose Ln	Lenexa	KS	66219
	Street	City	State	Zip

SIGNATURE OF OWNER OR AGENT: _____

If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 ½ x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

Application No.: PP2022-01 Application Fee Paid: \$ 320 Date Fee Paid: 1-18-22 Receipt # 62850

Publication Fee Paid: \$ 161 Date Fee Paid: 3-1-22 Receipt # 70546491

Received By: Christopher Winters



PROPERTY OWNER NOTIFICATION AFFIDAVIT

Case No.: PP2022-01; FP2022-01; FS2022-01

I, Brett Powell, of lawful age being first duly sworn upon oath, state:

That I am the owner (agent, owner, attorney) for the property for which the application was filed and did, not later than twenty (20) days prior to the date of the public hearing scheduled before the Edgerton Planning Commission, mail certified notice to all persons owning property within the notification area (two hundred (200) feet in the City of Edgerton, one thousand (1,000) feet in the unincorporated area of the subject property) in compliance with the Unified Development Code.

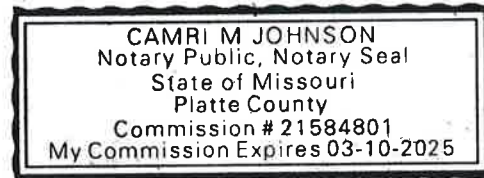
These notices were mailed on the 16th day of February, 2022.

[Signature]
Signature of Agent, Owner or Attorney

Subscribed and sworn to before me this 28th day of February, 2022.

[Signature]
Notary Public

My Commission Expires: 3/10/2025 (SEAL)
Date



STATE OF KANSAS
JOHNSON COUNTY, SS

Brandon Humble, being first duly sworn, deposes and says: That he is the editor of **THE GARDNER NEWS** A weekly newspaper printed in the State of Kansas, and published in and of general circulation in Johnson County, Kansas and that said newspaper is a bi-weekly published at least weekly, 52 times a year; has been published continuously and uninterruptedly in said county and state for a period of more than five years prior to the first publication of said notice; and has been admitted at the post office in Gardner, Kansas in said county as second class matter.

That the attached notice is a true copy there of and was published in the regular and entire issue of said newspaper for 1 consecutive weeks(s),

The first publication there of being made as aforesaid on February 16, 2022
Publications being made on the following .

EDITOR 

SUBSCRIBED AND SWORN TO ME THIS : Feb 18, 2022

NOTARY PUBLIC 



MY COMMISSION EXPIRES 11/2022

COST-----

ADDITIONAL COPIES-----

IN THE DISTRICT COURT OF JOHNSON, COUNTY KANSAS-----

The within Proof Of Publication approved

-----JUDGE

Public Notice

CITY OF EDGERTON, KANSAS
NOTICE OF HEARING FOR PRELIMINARY PLAT AND FINAL SITE PLAN
Case Nos.: PP2022-01 and FS2022-01

Notice is hereby given that the Planning Commission of the City of Edgerton, Kansas, will hold a Public Hearing at their regular scheduled meeting on Tuesday, March 8, 2022 at the Edgerton City Hall, 404 E. Nelson Street, Edgerton, Kansas at 7:00 p.m. at which time and place the public may be heard in regards to the Preliminary Plat and Final Site Plan of the following described real property situated in the City of Edgerton, Johnson County, Kansas to wit:

NorthPoint Development, LLC, repre-

First published in *The Gardner News* Wednesday, Feb. 16, 2022

sented by Brett Powell, requests approval for a Preliminary Plat and Final Site Plan of the real property located on the northeast of the intersection of 207th Street and Gardner Road:

All that part of the Southwest Quarter of Section 12, Township 15 South, Range 22 East, in Johnson County, Kansas, more particularly described as follows:

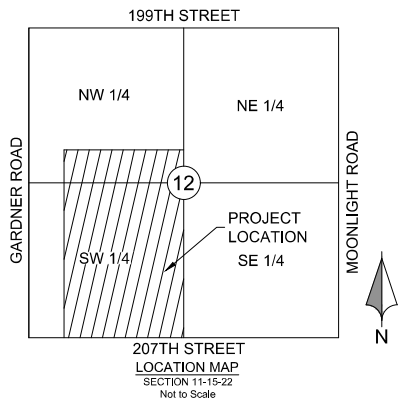
Commencing at the Southeast corner of said Southwest Quarter; thence South 88°29'48" West, along the South line of said Southeast Quarter, a distance of 10.51 feet to the Point of Beginning; thence continuing South 88°29'48" West, along said South line, a distance of 1953.39 feet; thence departing said South line, North

01°50'26" West, parallel with the West line of said Southwest Quarter, a distance of 1,322.95 feet to a point on the South line of the North half of said Southwest Quarter; thence South 88°30'28" West, along said South line, a distance of 9.57 feet; thence departing said South line, North 01°50'26" West, parallel with the West line of said Southwest Quarter, a distance of 1,322.95 feet to a point on the North line of said Southwest Quarter; thence North 88°31'08" East, along said North line, a distance of 1,955.64 feet to the Northeast corner of said Southwest Quarter; thence South 02°13'38" East, along the East line of said Southwest Quarter, a distance of 1323.02 feet to a point on the North

line of Lot 1, CASEY'S SUBDIVISION, a platted subdivision in said Johnson County; thence South 88°16'56" West, along said North line, a distance of 5.07 feet to the Northwest corner of said Lot 1; thence South 01°59'28" East, along the West line of said Lot 1 and its southerly prolongation, a distance of 1322.19 feet to the Point of Beginning, containing 5,174,200 square feet or 118.783 acres, more or less.

Dated this 16th day of February, 2022.
John Daley, Chairperson
Edgerton Planning Commission
City of Edgerton, P.O. Box 255, 404 E. Nelson St., Edgerton, KS 66021

Revised: 01/2022
Date: 01/2022
Project: 21-0219
Sheet: 01 of 01
Scale: 1"=500'



IP 61 & 62

Edgerton, Johnson County, KS
Section 12, Township 15S, Range 22E

Preliminary Plat



INDEX OF SHEETS

C01	Title Sheet
C02	Existing Conditions
C03	Overall Layout
C04	Preliminary Plat
C05	Grading Plan

Legal Description: per "LOGISTICS PARK KANSAS CITY SOUTH, FOURTH PLAT"

All that part of the Southwest Quarter of Section 12, Township 15 South, Range 22 East, in Johnson County, Kansas, more particularly described as follows:

Commencing at the Southeast corner of said Southwest Quarter; thence South 88°29'48" West, along the South line of said Southeast Quarter, a distance of 10.51 feet to the Point of Beginning; thence continuing South 88°29'48" West, along said South line, a distance of 1953.39 feet; thence departing said South line, North 01°50'28" West, parallel with the West line of said Southwest Quarter, a distance of 1,322.95 feet to a point on the South line of the North half of said Southwest Quarter; thence South 88°30'28" West, along said South line, a distance of 9.57 feet; thence departing said South line, North 01°50'28" West, parallel with the West line of said Southwest Quarter, a distance of 1,322.95 feet to a point on the North line of said Southwest Quarter; thence North 89°31'08" East, along said North line, a distance of 1,955.64 feet to the Northeast corner of said Southwest Quarter; thence South 02°13'38" East, along the East line of said Southwest Quarter, a distance of 1323.02 feet to a point on the North line of Lot 1, CASEY'S SUBDIVISION, a platted subdivision in said Johnson County; thence South 89°16'58" West, along said North line, a distance of 5.07 feet to the Northwest corner of said Lot 1; thence South 01°59'28" East, along the West line of said Lot 1 and its southerly prolongation, a distance of 1322.19 feet to the Point of Beginning, containing 5,174,200 square feet or 118.783 acres, more or less.

Project Architect

Studio North
4825 NW 41st Street, Suite 500
Riverside, MO 64150

Project Surveyor

Renaissance Infrastructure Consulting, LLC
5015 NW Canal St. Suite 100
Riverside, Missouri 64150

Project Engineer

Renaissance Infrastructure Consulting, LLC
5015 NW Canal St. Suite 100
Riverside, Missouri 64150

Project Applicant

Clayco
2199 Innerbelt Business Center Drive
St. Louis, MO 63114

Note:

Screening of added site items and site signage will be the responsibility of the tenant. Tenant should adhere to the current City of Edgerton regulations.

Overhead door position to be used as loading spaces.

UTILITY SERVICE NOTE:

- This property to be served by Water District No. 7.
- This property to be served by City of Edgerton Public Sanitary Sewer.
- This property is served by Evergy (Electric).
- This property is served by Kansas Gas Service.
- This property is served by Century Link (Telephone and Cable).

CERTIFICATE:

Reviewed by the Edgerton City Engineer this _____ day of _____, 20____ by

City Engineer

David Hamby

Received and placed on record this _____ day of _____, 20____ by

Katy Crow, Zoning Administrator.

Reviewed and authorized preparation of Final Plat
by the Edgerton City Planning Commission this _____ day of _____, 20____ by

Chair of Planning Commission.

John E. Daley

Approved by the Governing Body of the City of Edgerton, Johnson County, Kansas, on
the _____ day of _____, 20____

Donald Roberts, Mayor

DATE OF SURVEY

Survey of this property was completed December 2021



Preliminary Plat

21-0219
IP 61 & 62
Edgerton, Johnson County, KS

Title Sheet

NO.	DATE	REVISION
01	01/2022	Per City Engineer
02	01/2022	Original Preparation
03	01/2022	Revised

DESIGNED BY	CHECKED BY
DA	DA

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01/2022	DA

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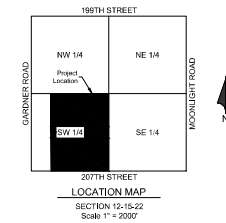
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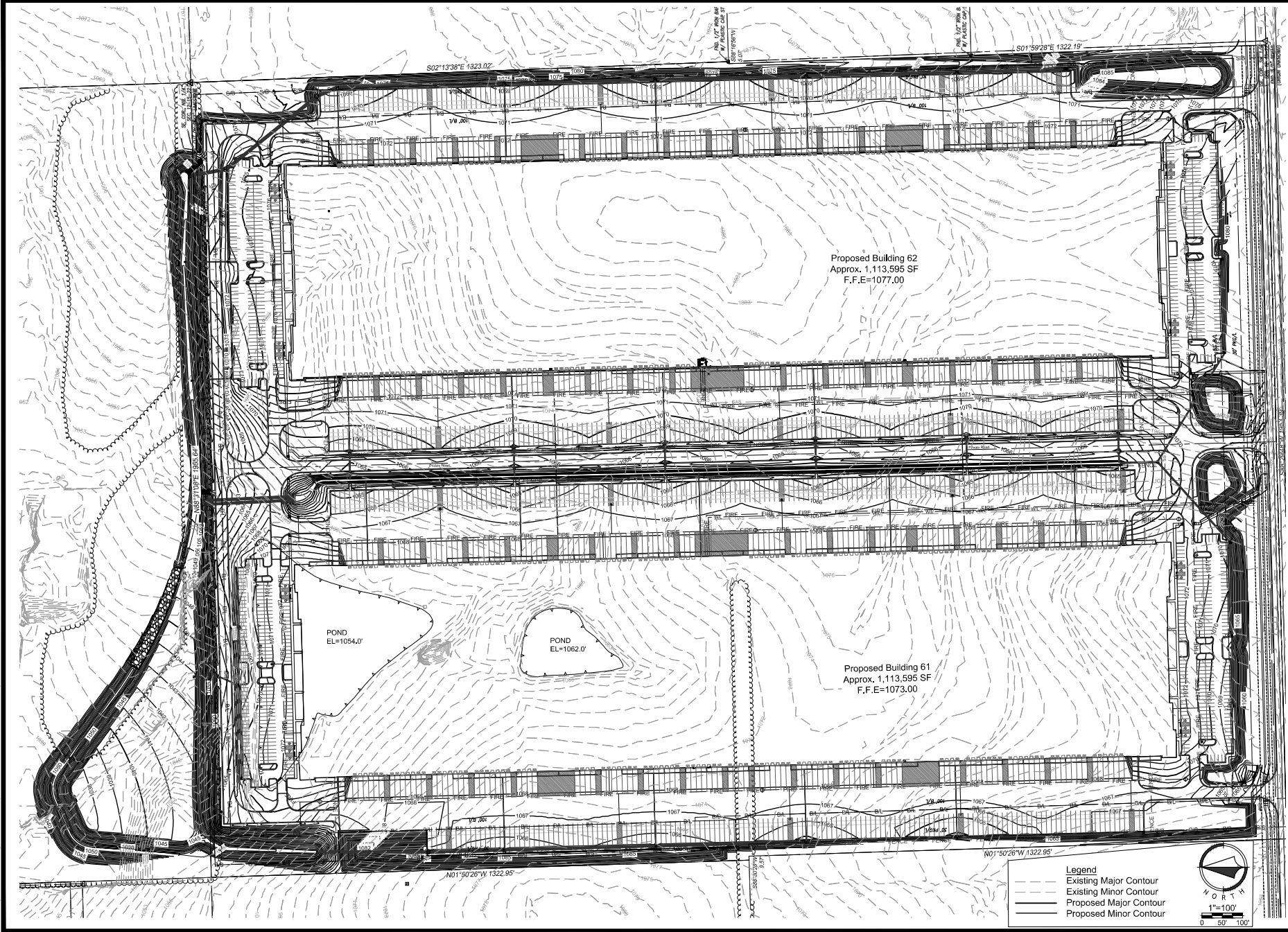
RIVERSIDE, MISSOURI 64150
KS Certificate of Authority: E-1814

PART OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 15 SOUTH, RANGE 22 EAST,
IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS



LOT INFORMATION					
LOT NO.	LOT AREA	FRONT SETBACK	SIDE SETBACK	REAR SETBACK	BUILDING ENVELOPE
1	2,511,414 S.F. 57,654 Acres	50'	100'	50'	2,139,416 S.F. 49,114 Acres
2	2,565,120 S.F. 58,687 Acres	50'	100'	50'	2,169,950 S.F. 50,274 Acres
ROW	97,666 S.F. 2.242 Acres	N/A	N/A	N/A	N/A
TOTALS	5,174,200 S.F. 118,783 Acres				

Sheet
C04



Preliminary Plat

21-0219
 IP 61 & 62
 Edgerton, Johnson County, KS

Overall Grading Plan

Renaissance
Infrastructure
Consulting

5005 NW Canal Street, Suite 100
 Lawrence, Kansas 66040
 www.rii-consult.com



Sheet
 C05

LOGISTICS PARK KANSAS CITY (LPKC) SOUTH, FOURTH PLAT

Application FP2022-01

Located East of the Northeast Corner of 207th Street and Gardner Road

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Final Plat for a parcel located northeast of the corner of 207th Street and Gardner Road.

No Public Hearing is required.

Owner and Applicant

Hillsdale Land and Cattle, LLC
represented by Brett Powell,
Agent for Property Owner

Zoning and Land Use

L-P (Logistics Park) with no
existing improvements

Legal Description

The SW ¼ of Section 12,
Township 15 South, Range 22
East in Johnson County,
Kansas; see attached
application for full legal
description

Parcel Size

118.783 acres

Staff Report Prepared by

Chris Clinton



BACKGROUND

Subject Site

The subject site is located within the Bull Creek watershed and was annexed into the City of Edgerton on December 17, 2020.

Utilities and service providers:

- a. Water Service - Johnson County Rural Water District #7.
- b. Sanitary Sewer - City of Edgerton.
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- d. Gas Service – Kansas Gas Service.
- e. Police protection is provided by the City of Edgerton through the Johnson County Sheriff's Office.
- f. Fire protection is provided by Johnson County Fire District #1.

Site History and Past Approvals

Per the Johnson County AIMS map, the subject site has been undeveloped since 2006.

The parcels comprising the subject site were rezoned from Johnson County *RUR* to City of Edgerton *L-P, Logistic Park* on April 22, 2021 (Applications ZA2020-03 and ZA2020-04).

The Planning Commission will be presented with Preliminary Plat Application PP2022-01 and Final Site Plan Application FS2022-01 during this same meeting.

Proposed Use

The applicant has proposed combining two parcels into one and then dividing that parcel into two (2) lots with both of the lots having access to 207th Street. This Final Plat request is being made in preparation for logistics park development.

Project Timeline

- Application submitted to the City: January 18, 2022

FINAL PLAT REVIEW

Staff has reviewed the Final Plat submittal for compliance with the requirements in Section 13.3 of Article 13 of the Edgerton UDC. Review comments are listed below.

Content of Final Plat

1. The instrument of survey which shows the point of beginning, corners, bearings, courses, distances, exterior boundaries, interior lot boundaries, abandoned lot lines, pins, monuments found or set. All P.I.'s corners, boundaries must be monumented with a 2" x 24" metal bar.
a. Confirm all monuments have been set.
Applicant will confirm the monuments have been set upon recording of the Final Plat.
2. All easements with widths, and roads with curve data.
a. The proposed stormwater detention area is located outside of this property. Documentation of recorded drainage easement for this area needs to be provided.
Applicant has provided the drainage easement to the City Engineer for review. Upon the approval by the City Engineer, the easement will be recorded either before or with the Final Plat.
3. Certificate of the Register of Deeds.
a. The County will add their information when the Final Plat is recorded.
Applicant acknowledges.

General Comment

1. The Final Plat will not be recorded prior to receipt and City Engineer approval of public infrastructure plans.
Applicant acknowledges.

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project. Please contact the Building Codes Division of the Community Development Department for more information about City permits. The project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
Application	Application for FP2022-01	1/18/2022
1	Final Plat	2/23/2022

STAFF RECOMMENDATION

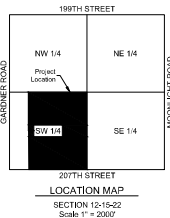
City Staff recommends approval of Final Plat **Application FP2022-01** for *LPKC South, Fourth Plat*, subject to the following stipulations:

1. The commencement of any improvements shall not occur prior to the approval and endorsement of the Final Plat by the Governing Body and the submittal and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the Final Plat.
2. The applicant shall meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton Unified Development Code (UDC).
3. The applicant shall meet all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton UDC.
4. All Final Plat requirements of the City listed above shall be met or addressed prior to recording of the Plat.
5. If the Final Plat is not recorded with the Johnson County Register of Deeds within one year after acceptance by the Governing Body, the plat will expire. Planning Commission re-approval and Governing Body re-acceptance is required for expired Final Plats.

Note: For Application FP2022-01 the Planning Commission will be recommending either approval or denial of the application to the Governing Body. If the Planning Commission recommends approval, the Final Plat will be presented to the Governing Body on March 24, 2022, subject to the applicant making the necessary corrections in a timely manner.

☐ RE-REVIEW

PART OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 15 SOUTH, RANGE 22 EAST,
IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS



LOT INFORMATION					
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ROW	97,666 S.F. 2,242 Acres	N/A	N/A	N/A	N/A
TOTALS	5,174,200 S.F. 118,783 Acres				

I hereby certify that during November 2021, this field survey was completed on the ground by me or under my direct supervision, and that said survey meets or exceeds the current "Kansas Minimum Standards For Boundary Surveys" as established by the Kansas Board of Technical Professions.

Chris R. Sprague, Kansas PS-1632
RIC KS CLS-234
csprague@ric-consult.com



**Renaissance
Infrastructure
Consulting**

132 Abbie Avenue
Kennesaw, GA 30144
913.317.9500
www.renaissanceinf.com