

**EDGERTON PLANNING COMMISSION  
MEETING AGENDA  
EDGERTON CITY HALL - 404 EAST NELSON STREET  
April 9, 2024  
7:00 P.M.**

The City of Edgerton encourages public participation in local governance issues. To facilitate an efficient and effective meeting, persons wishing to address the Planning Commission must sign-up before the meeting begins. During public hearings, comments must be limited to three (3) minutes per speaker. The maximum time limit for all speakers during each public hearing will be one (1) hour.

The chair may modify these provisions, as necessary. Speakers should state their name and address and then make comments that pertain to the public hearing item.

The chair may limit any unnecessary, off-topic, or redundant comments or presentations. Speakers should address their comments to Planning Commission members only and should not speak to fellow audience members. Commission members will not engage in a dialogue or debate with speakers. Speakers and audience members should conduct themselves in a civil and respectful manner. Disruptive conduct may result in removal from the meeting.

**Call to Order**

1. **Roll Call** \_\_\_\_ Daley \_\_\_\_ Draskovich \_\_\_\_ Mathos \_\_\_\_ Little \_\_\_\_ Mueller
2. **Welcome**
3. **Pledge of Allegiance**

**Consent Agenda** (*Consent Agenda items will be acted upon by one motion unless a Planning Commissioner requests an item be removed for discussion and separate action.*)

4. Approve Minutes from the March 12, 2024 Planning Commission Meeting.

**Regular Agenda**

5. **Declaration.** At this time Planning Commission members may declare any conflict or communication they have had that might influence their ability to impartially consider the agenda items.

**Business Requiring Action**

**New Business**

6. **FSP2024-0001: FINAL SITE PLAN APPLICATION FOR CONGLOBAL LOCATED AT 31220 W. 187<sup>TH</sup> STREET –THIS ITEM MUST BE CONTINUED TO THE MAY 14, 2024 PLANNING COMMISSION MEETING**

- a. Discussion Regarding Status of Application FS2024-0001

7. **FSP2024-0003: FINAL SITE PLAN APPLICATION FOR ON THE GO TRAVEL CENTER EV CHARGING STATIONS LOCATED AT 32501 W. 200<sup>TH</sup> STREET**

- a. Presentation from Dan Finn, Applicant, for Final Site Plan Application FSP2024-0003
- b. Presentation from City Staff for Final Site Plan Application FSP2024-0003
- c. Public Hearing for Final Site Plan Application FSP2024-0003
- d. Discussion of Final Site Plan Application FSP2024-0003
- e. Consideration of Final Site Plan Application FSP2024-0003

8. **FSP2024-0002: FINAL SITE PLAN APPLICATION FOR MAVERIK LOCATED AT THE NORTHWEST CORNER OF 200<sup>TH</sup> STREET AND HOMESTEAD LANE**

- a. Presentation from Kason Schwalm, Engineer, for Final Site Plan Application FSP2024-0002
- b. Presentation from City Staff for Final Site Plan Application FSP2024-0002
- c. Public Hearing for Final Site Plan Application FSP2024-0002
- d. Discussion of Final Site Plan Application FSP2024-0002
- e. Consideration of Final Site Plan Application FSP2024-0002

9. **Future Meeting Reminders**

- May 14, 2024 at 7:00 PM – Regular Session
- June 11, 2024 at 7:00 PM – Regular Session
- July 9, 2024 at 7:00 PM – Regular Session

10. **Adjourn**

**PLANNING COMMISSION  
March 12, 2024 Minutes**

A regular session of the Edgerton Planning Commission (the Commission) was held in the Edgerton City Hall, 404 E. Nelson Street, Edgerton, Kansas on March 12, 2024. The meeting convened when Chairperson John Daley called the meeting to order at 7:01 PM.

**1. ROLL CALL**

Jeremy Little	absent
Tina Mathos	present
Adam Draskovich	absent
John Daley	present
Jordyn Mueller	present

With a quorum present, the meeting commenced.

Staff in attendance: Zachary Moore, Development Services Director  
Chris Clinton, Planning and Zoning Coordinator/Deputy City Clerk

2. **WELCOME** Chairperson Daley welcomed all in attendance to the meeting.
3. **PLEDGE OF ALLEGIANCE** All present participated in the Pledge of Allegiance.

**CONSENT AGENDA**

4. Approve Minutes from the December 12, 2023 Planning Commission Meeting.
5. Approve Application PUD2024-0100 for monument signs for the Dwyer Farms subdivision.

Commissioner Mueller moved to approve the Consent Agenda. The motion was seconded by Commissioner Mathos. The Consent Agenda was approved, 3-0.

**REGULAR AGENDA**

**6. DECLARATION**

Chairperson Daley asked the Commissioners to declare any correspondence they have received or communication they have had regarding the matters on the agenda. If they have received correspondence or have had any communication, he asked if it may influence their ability to impartially consider the agenda items. The Commissioners did not have anything to declare.

**BUSINESS REQUIRING ACTION**

**NEW BUSINESS**

## **7. ELECTION OF PLANNING COMMISSION OFFICERS**

Chairperson Daley stated that due to the vacancy of the Secretary position of the Planning Commission, an election must be held. He stated that the position of Chair and Vice Chair will remain until the annual election of Officers in June.

Chairperson Daley nominated Commissioner Mathos to serve as Secretary. The nomination was seconded by Commissioner Mueller. Commissioner Mathos will serve as the Planning Commission Secretary, 3-0.

## **8. ENVISION EDGERTON 2050 COMPREHENSIVE PLAN**

Mr. Zachary Moore, Development Services Director, stated a public hearing is required prior to adoption of a comprehensive plan. The City has been in the process of updating the comprehensive plan since May 2022. City staff hired a consultant, Confluence, to aid in the drafting of the plan. A work session was with the Governing Body February 29, 2024, where Confluence went over each chapter. Mr. Moore stated the comprehensive plan is to be a guiding document of how the City envisions development moving forward. He explained Ms. Abbey Eckberg with Confluence will do another overview of the chapters and answer any questions regarding the proposed comprehensive plan.

Ms. Eckberg addressed the Commission. She explained she will give a high-level overview since it was gone over in more detail a few weeks ago. She will go over the project scope and schedule, an overview and summary of how the public was engaged, the new plan and the next steps for the proposed plan.

She stated Phase I out of IV started on May 26, 2022 when Confluence presented to the City Council and Planning Commission. A steering committee was created to help usher the plan through development and their first meeting was on June 7, 2022. A public outreach plan was drafted, the name of the project, Envision Edgerton, and a plan logo was created during that time as well. A windshield survey of existing housing conditions was done on June 7, 2022. This looked at the condition of roofing, siding and other items on the houses in Edgerton to gauge the overall condition of the housing stock. The results of that survey were reviewed and analyzed. A meeting with the steering committee was held where the survey results were presented to the committee.

Ms. Eckberg explained Phase II started later in 2022. A website went live and used tools to engage members of the community. This allowed people to provide feedback and input whenever was convenient for them. Interviews with stakeholders were completed. Those interviews helped Confluence learn about the general happenings in and around Edgerton. This also helped Confluence create some ideas for long term fixes of development issues. Ms. Eckberg stated there were community events that Confluence attended to help reach more people. The results of those stakeholder interviews and other community engagement events were shared with the steering committee.

She said Phase III was drafting the plan and meeting with the steering committee to go over the proposed chapters. Discussions were had over the chapters with the steering committee over two meetings. The draft plan was presented during an Open House held on August 7,



2023. The draft plan was then presented to the Planning Commission and City Council at the joint workshop. The final step is adoption which includes this public hearing and then a presentation to the City Council on April 11, 2024.

Ms. Eckberg explained public engagement is key in comprehensive plan drafting. It started early and happened often in Edgerton. Public engagement started with the Kickoff Presentation on May 26, 2022. It continued to the first steering committee meeting on June 7, 2022. Confluence spent time with City staff and members of the community during different events and received comments during the time the social website was live. The key takeaways from the public workshop held on September 12, 2022 was that the community wants more diverse housing as there is a lot of single-family residential, beautification efforts throughout Edgerton are needed, the job growth and development needs to continue, the park investments need to be supported, more commercial business are needed, and residents love the small-town feel. She said Confluence was tasked with figuring out what components help keep the small town feel while helping the City grow. They tried to find that balance of growing but keeping the small-town feel in the plan. The website included a mapping function that allowed people to post their favorite place, ideas, and other items in and around Edgerton. Residents were able to pinpoint key areas of functions for the community and what they love most about Edgerton. The mapping system showed where trails could be expanded. All the public engagement identified four (4) guiding principles of the plan. Those principles are Downtown Edgerton, Housing Diversity, Business Growth, and Community Amenities.

She said that not everyone speaks in planning terms, so a strong introduction helps people understand the plan and how to implement it. The first chapter is an introduction to the plan. The second chapter is all about land use and how it might look in the future. The guiding principles make up the next four (4) chapters; Downtown Edgerton, how to keep Downtown a focal point of Edgerton; Housing Diversity, what does the existing stock look like, where are there gaps, and what is the target for the future of housing; Business Growth, what type of development can help community; and Community Facilities, park level of service (LOS), existing and possible infrastructure and street. The final chapter lists out how to implement the plan and lists all of the goals, action items and policies.

Ms. Eckberg stated the intent of the plan is it's a way to regulate the development as items come before the Commission. Commissioners can and should use the plan to guide discussions and actions. The document should be referenced and align with capital projects. She recommended that the plan be reviewed annually.

Ms. Eckberg stated the first chapter outlines the purpose of the plan and how to use it. Previous plans and the Guiding Principals are stated in this chapter.

She explained Chapter 2 goes over future land use. This is a key point that hinges the plan. There is a lot of detail in this chapter. It establishes the basis of zoning and outlines the existing land use in the City. Population patterns are used to estimate population growth within the City. Those estimates are used to set a target housing mix. The planning boundary is established and defines the different types of land use. The Future Land Use Plan is found in this chapter as well. The chapter ends by listing the goals, policies and action items.

She explained each land use. Agriculture and Open Space is most of the surrounding

properties as Edgerton is rural. The City wants to grow, but not develop all of the land. The Greenbelt uses the existing floodplain to keep areas free of development. Parks and Recreation is land reserved for parkland and community spaces. Rural-to-Low Density Residential will be large lot parcels, typically over one acre. Low-to-Medium Density Residential will have single-family residences with some duplexes or triplexes. Medium-to-High Density Residential is reserved for townhomes, condos, and apartment complexes. The densities are met to overlap to increase the diversity of housing. Downtown Transitional Mixed-Use is a low scale commercial land use with retail on the first floor and residential above the retail area. Mixed-Use will have a higher density with commercial use on the first floor and multi-family residences above that. Neighborhood Commercial is for small scale commercial that has a combination of commercial uses. Gateway Commercial are the big-name box stores. Public or semipublic is for the City, County, or School. Business/Logistics Park is the land use for the warehouses. Industrial is where heavy manufacturing would take place and could have outdoor storage.

Ms. Eckberg explained for the population projection, algorithms are used with current population trends. It is estimated that in 2050, Edgerton could have a population close to 14,205. This means that lots of housing will be needed to support that type of growth. The community desires more choices and more housing diversity. Currently, Edgerton's housing is 96.4% single-family homes and only 3.6% multifamily housing. By increasing the diversity to close to 55% single-family housing, 30% duplexes or triplexes, and 15% multifamily, less land will be needed. The number of acres needed is compared to the Future Land Use Plan to ensure that there is room for all of the housing. Just because a parcel is included in the Land Use Plan does not mean it land is going to be developed. She showed the Future Land Use Plan and explained that along the outer fringes of the planning area, there is Agriculture and Open Space with Greenbelt areas. Rural-to-Low Density Residential tapering towards the City with areas designated for commercial development. The Future Land Use Plan recognizes that neighboring jurisdictions can grow and provides land uses for how Edgerton can grow congruently with its neighbors. She stated each chapter ends on high arching goals and each goal has separate policies and actions items to help obtain those goals. She said the goals of the Land Use Chapter are to promote a balanced mix of land uses that supports growth and development, grow in an efficient and sustainable manner that considers the needs and impacts expanding services, promote quality new development and infill redevelopment to ensure all areas of Edgerton continue to thrive, and coordinate land use planning with transportation and other public investments.

She stated Chapter 3 starts out with an overview of Downtown Edgerton. It then provides a summary of what the public had to say about Downtown and explains the current plans that are in use. The plan looks at what is in Downtown Edgerton today and some recommendations for the future. The chapter closes with the following goals, continue to improve and expand Downtown Edgerton and make it a destination for residents and visitors; continue to make Downtown Edgerton a beautiful, engaging, and fun place to visit, work, and live; enhance mobility and connectivity to and within Downtown Edgerton; and expand commercial and mixed-use activity outside of Downtown Edgerton.

Ms. Eckberg said Chapter 4 addresses housing diversity in Edgerton. The existing housing stock and affordability are looked at first, then a summary of a housing study done by Johnson County around 2020 is summarized. The findings of the windshield survey are presented along

with the summary of the public engagement results. A target mix of housing is provided for the future and proposes what and where residential development should take place. The Dwyer Farms development was initiated during the drafting of the comprehensive plan and is included in the future planning of residences. The goals outlined in Chapter 4 are to increase housing diversity in Edgerton; promote best practices for all proposed residential development; and consider development impacts to adjacent lands and mitigate negative effects to the environment.

She explained Chapter 5 is dedicated to business growth in Edgerton. It starts by examining Edgerton based jobs, jobs available in Edgerton, and compares that to where Edgerton residents work. This ties into commuting patterns of people coming in and leaving Edgerton. With the related public input, the focus is how to create jobs for Edgerton residents so commuting isn't as prevalent. What drives growth and areas for new growth are explored as well. The plan also provides strategic opportunities the City can use to help drive business growth. The goals for Chapter 5 are to continue to support Edgerton's specialization in transportation and warehousing while also diversifying its economic base; foster strong partnerships to promote economic growth for Edgerton and the surrounding area; and to become a full-service community with a wide variety of amenities, jobs, and housing types.

Ms. Eckberg stated Chapter 6 dives into the community facilities and infrastructure. The existing park system is examined, and a LOS analysis is provided. She said the standard LOS is 10.5 acres of park land per 1,000 residents. Along with the parks, the existing trails are outlined as well. As the population grows, the LOS will change so the City will need to plan for park space as the City expands. Chapter 6 also looks at current infrastructure conditions and a preliminary plan for where future streets could be installed. This helps ensure the City is set up for success for future development. The railroad is a strong focus here in Edgerton, and those facilities are evaluated as well. The goals for the community facilities and infrastructure are to maintain the parks system as a major community asset; continue to plan for the future of Edgerton's parks and recreation system; improve infrastructure connections of all kinds in Edgerton; improve pedestrian and bicyclist mobility throughout Edgerton; and provide a robust transportation network based on the future streets plan.

The final chapter focuses on implementation of the plan. All of the goals are listed. Each goal has policies and action items associated with it. Policies are broader and action items are strategic steps for the City to take to achieve the goals. Each policy and action item are assigned a priority and time frame.

Ms. Eckberg said the next step is for formal adoption of the plan by the Governing Body.

Chairperson Daley opened the public hearing.

There were no public comments made.

Commissioner Mathos moved to close to the public hearing. Commissioner Mueller seconded the motion. The public hearing was closed, 3-0.

Chairperson Daley stated the Commissioners all received a copy of the comprehensive plan on February 29, 2024, and have had time to review it. Mr. Moore asked for any ideas or

questions from the Commissioners' reviews. Commissioner Mathos stated it was exciting to see what Edgerton could be in the future.

Commissioner Mathos moved to recommend adoption of the Envision Edgerton 2050 Comprehensive Plan to the Governing Body. Commissioner Mueller seconded to recommend adoption. The Envision Edgerton 2050 Comprehensive Plan was recommended for adoption, 3-0.

Mr. Moore stated it will be presented to the Governing Body on April 11, 2024.

## **9. FUTURE MEETING REMINDERS**

Chairperson Daley stated that the next regular sessions are scheduled for April 9, 2024; May 14, 2024; and June 11, 2024.

## **10. ANNOUNCEMENTS**

Mr. Moore stated there are no announcements.

## **11. ADJOURN**

Commissioner Mueller moved to adjourn the meeting. Commissioner Mathos seconded the motion. The meeting was adjourned at 7:34 PM, 3-0.

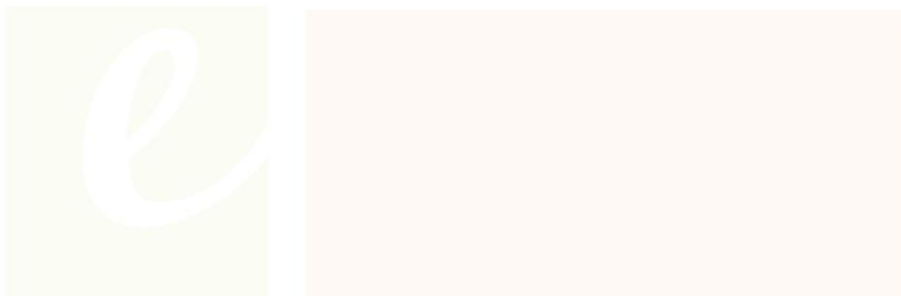


**MEMORANDUM**

Date: April 9, 2024  
To: City of Edgerton Planning Commission  
From: Zachary Moore, Development Services Director  
Re: FSP2024-0001: Final Site Plan for Project Door Pre-tripping Area

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The City received an application for a Final Site Plan for Project Door Pre-tripping Area on February 20, 2024. Staff has been working with the applicant on the details of the application, however, staff has not received a resubmittal following the initial review of the application. Staff recommends continuing FSP2024-0001 to a future date to allow the applicant additional time to revise drawings and provide a resubmittal.



## ON THE GO EV CHARGERS

**Application FSP2024-0003**  
**32501 W. 200<sup>th</sup> Street**

### QUICK FACTS

#### PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Revised Final Site Plan located at 32501 W. 200<sup>th</sup> Street.

#### Owner and Applicant

Moussa Sobaiti,  
Property Owner and  
Dan Finn, Agent of  
Phelps Engineering

#### Existing Zoning and Land Use

The property was rezoned to City of Edgerton C-2 (Heavy Service Commercial) District on March 26, 2015 (Ord. 996). The property is currently developed with a convenience store, fuel pumps, truck scale, and a truck maintenance and wash facility.

#### Parcel Size

12.21 acres

#### Staff Report Prepared by

Chris Clinton



## BACKGROUND

### ***1. Proposal***

This Revised Final Site Plan request is being made in preparation for the installment of 11 electric vehicle (EV) charging stations at the existing On the Go travel plaza at 32501 W. 200<sup>th</sup> Street. The site is currently developed with a convenience store, car and truck fueling stations, a truck scale, and a truck maintenance and wash facility. The current operations are permitted uses in the C-2 District as a truck stop and convenience store. The proposed EV charging stations is an approved accessory use as a service provided by a convenience store. The applicant is proposing eight (8) EV charging stations to be constructed where current parking stalls are located, and creating three (3) new parking stalls to the north of the easternmost truck parking area. The charging stations would be covered by a canopy that is equipped with solar panels. A new electrical transformer will be installed from the current electrical sectionalizer. Site Plans are required for all new structures per Section 10.1.B of the Unified Development Code (UDC) and must be considered following a public hearing by the Planning Commission.

### ***2. Subject Site History***

The 12.21-acre subject property was annexed on January 8, 2015 (Ordinance 990) and was rezoned to the C-2 (Heavy Service Commercial) District on March 26, 2015 (Ordinance 996). The subject property was created when the Governing Body approved the Final Plat for this property on March 12, 2020 (FP2019-03).

The Planning Commission approved Final Site Plan FS2019-04 on August 13, 2019 for the development of the convenience store, fueling stations, truck scale, truck maintenance and wash facility. On March 10, 2020, the Planning Commission approved FS2020-01, which revised the previously approved Final Site Plan, but did not change the overall scope of the development. The site was once again modified by Revised Final Site Plan FS2021-01 which included a minor change to the truck maintenance and wash facility, the location of the pole sign, and the expansion of the convenience store to include the restaurant space with a drive through. The location of the pole sign was again changed to the current location and approved administratively on Revised Final Site Plan FS2021-09. The drive through that was previously approved was removed on another administratively approved Revised Final Site Plan (FS2022-02).

### ***3. Zoning and Development Requirements***

#### ***A. Canopy Design Standards***

The applicant is proposing a canopy to span over each EV charging stall. Section 4.7.B of the UDC states that canopies should never visually dominate the site. The fascia and soffit of the canopy is proposed to be clad in stucco. Steel beams will support the roof, and are proposed to be wrapped with stone to match the fuel canopies. To cap the beams, stucco will be added to the steel beams and that color is to match the fuel canopies. Solar panels will be installed on the roof to power the chargers. The ends of the structures and the back will have tempered glazing with two (2) inch aluminum framing.

The provided elevations depict a typical four (4) stall bay, while the proposed parking sites shown on the site plan as a row of eight (8) stalls and another bay of three (3) stalls. Prior to the Zoning Administrator certifying the Revised Final Site Plan, color elevations for the proposed structures must be provided. All other items either meet or exceed the requirements set forth in the UDC.



**B. Parking**

The site has 92 existing parking stalls for passenger vehicles and 79 truck parking stalls. The applicant is proposing to convert eight (8) stalls and adding three (3) new stalls for EV charging stalls. This would exceed the minimum required amount of parking stalls (84).

**C. Landscape**

The applicant is proposing landscaping to aid in screening of the chargers and electrical equipment. Additional landscaping is proposed around the sectionalizer to aid in screening. The proposed landscaping meets or exceeds the requirements of the UDC. However, there is a discrepancy between the number of golden bells forsythia shown on the landscape plan and what is on the plant schedule. This will must be corrected prior to the signing of the Revised Final Site Plan by the Zoning Administrator.

**NOTICE OF CITY CODES AND PERMITS**

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project and the project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

**DOCUMENTS INCLUDED IN PACKET**

Sheet #	Title	Date on Document
Application	Application for FSP2024-0003	02/20/2024
1	C1 Overall Site Plan	01/15/2024
2	C2 Demolition Plan	03/22/2024
3	C3 Site Plan	03/22/2024
4	C4 Grading Plan	03/22/2024
5	C5 Utility Plan	03/22/2024
6	Landscape Plan	02/20/2024
7	A1-100 Elevations	

**STAFF RECOMMENDATION**

Staff recommends approval of Final Site Plan **Application FSP2024-0003** *On the Go EV Chargers*, subject to the following stipulations:

1. The following comments must be addressed prior to certification by the Zoning Administrator:
  - a. Elevations showing a bay of three (3) and eight (8) EV chargers must be provided.
  - b. Color elevations must be submitted showing the stucco on the canopies being compatible with the main building.



- c. The discrepancy on the landscape plan of the number of golden bell forsythia must be corrected.
2. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads, and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

***Note: For application FSP2024-0003 the Planning Commission is the approving authority.***





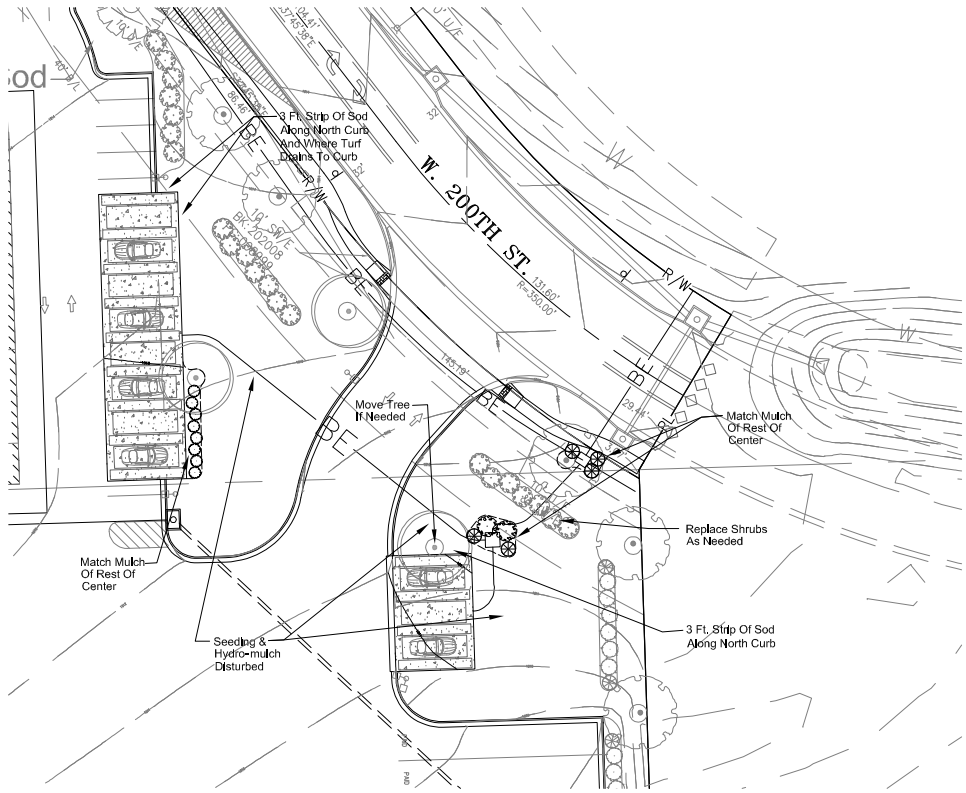








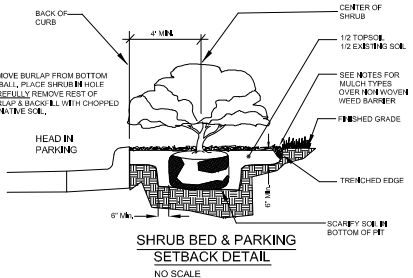




**PLANT SCHEDULE**

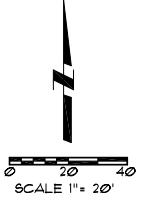
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.
	8	<i>Aronia arbutifolia</i> 'Brilliantissima' / Brilliant Red Chokeberry/Red Chokeberry 24"x30" hgt.	3 gal
	3	<i>Forsythia x Intermedia</i> 'Beatrix Farrand' / Goldenbells 24"x30" hgt. & sp.	3 gal
	5	<i>Juniperus chinensis</i> 'Sea Green' / Sea Green Juniper 24"x30" hgt. & sp.	5 gal

- Transplant Additives:**
1. Apply a commercial transplant additive (approved by the Landscape Architect) to all trees, shrubs and groundcover at rates recommended by the manufacturer during the planting. This item shall be substituted to other planting items.
  2. Transplant additive shall be Horticulture Alliance "Chemard Transplant" or approved equal mycorrhizal fungal transplant inoculant or equivalent equal containing the appropriate species of mycorrhizal fungi and bacteria, fungal stimulant, water retaining agents, mineral & organic nutrients and insect repellents.
  3. Demonstrate installation of all transplant additives for this project to the Landscape Architect. Provide actual additive product as evidence of sufficient quantity of product. (Empty product bags to be stockpiled for inspection by the Landscape Architect prior to disposal).
  4. Number of transplant additive packets per tree, shrub or groundcover shall be applied according to the manufacturer's recommended rates and instructions. For all plants the packet mix shall be evenly distributed into the upper approximately 8" of backfill soil next to the roots. Do not place mix in the bottom of the planting pit.
  5. Furnishing and application of transplant additive shall be substituted to the planting operations.



**General Landscape Notes:**

1. Contractor shall verify the existence and location of all utilities before starting any work.
2. Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.
3. Contractor shall make no substitutions without the approval of the Landscape Architect.
4. Contractor shall stake layout plan in the field and shall have the layout approved by the Landscape Architect before proceeding with the installation.
5. All shrub beds within lawn areas shall receive a trenched edge.
6. Shrub beds shall be mulched with 3" Stungs Kansas Large 2" (OAE) rock mulch over a fast type soil separator fabric. See Tree Detail for tree mulch.
7. All shrub beds shall be treated with the pre-emergent herbicide Pre M 60 DG (granular) or an approved equal in accordance with the manufacturer's instructions.
8. All lawn areas as noted shall be fertilized, and drill seeded with a Turf-Type Tall Fescue grass seed blend at a rate of 5#/1000 s.f. including public ROW. See notes #21 & 22 for erosion control. See note #23 for sod areas.
9. Fertilizer for lawns, trees and container stock areas shall be a balanced fertilizer applied at rates per manufacturers recommendations and soil test results.
10. Contractor shall warranty all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner.
11. Any plant material which dies during the one year warranty period shall be replaced by the Contractor during normal planting seasons.
12. Contractor shall be responsible for maintenance of the plants until initial completion of the job and acceptance by the Owner. After initial acceptance, maintenance shall be by the owner.
13. All plant names on the plant list conform to the Standardized Plant Names prepared by the American Joint Committee on Horticultural Nomenclature or to names generally accepted in the nursery trade.
14. All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.
15. Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than the specified sizes be accepted.
16. Plants shall not be pruned prior to delivery to the site or after installation except for those branches that have been damaged in some way.
17. Plants shall not have name tags removed prior to final inspection.
18. Contractor shall be responsible for weed control on the project during and after construction until the project is turned over to the owner.
19. All plantings shall receive a commercial transplant additive per manufacturers recommended rates and instructions for application.
20. Successful landscape bidder shall be responsible for modifying the irrigation system if the project has one. If irrigation is to be installed it shall be coordinated and approved by the Owner prior to construction.
21. Erosion control blanket shall be S150 by North American Green or approved equal. Blanket shall be installed per manufacturers specifications. Blanket staples shall be bio degradable. Blanketed area shall be seeded areas and any slopes of 4:1 or greater and any swales.
22. All blanketed & non blanketed seed areas shall be hydro mulched at a rate of 2500 lbs./acre including a dyed blue tackifier.
23. A 3 ft. band of sod shall be placed uphill from any sidewalk or back of curb.



**Landscape Plan  
On The Go  
Travel Center  
EV Charging**  
Edgerton, Kansas



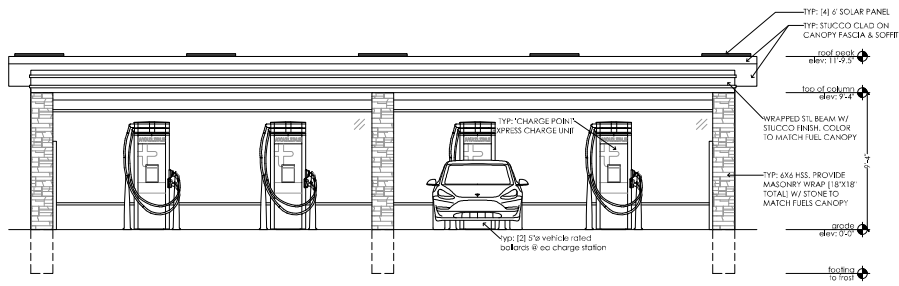
**Oppermann LandDesign, LLC**  
Land Planning • Landscape Architecture  
18290 West 117th Street  
Olathe, Kansas 66061  
oppermannlanddesign.com  
phillips@landdesign.com  
913.894.9497

**Utility Note:**  
Utilities shown on plan are diagrammatic and some may be missing. Before starting any construction call appropriate locating service. In Kansas call 1-800-DIG-SAFE (344-7233) to have utilities located.

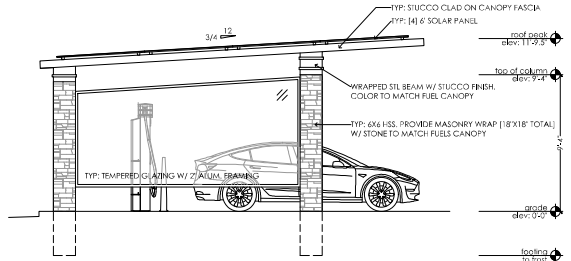
02/20/2024

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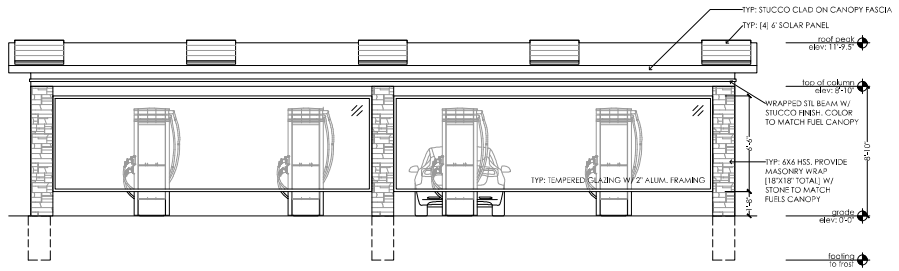




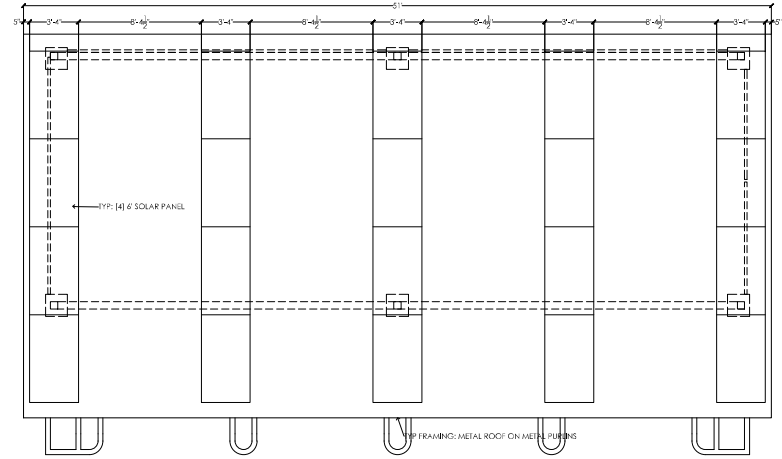
3 FRONT ELEVATION  
1/4" = 1'-0"



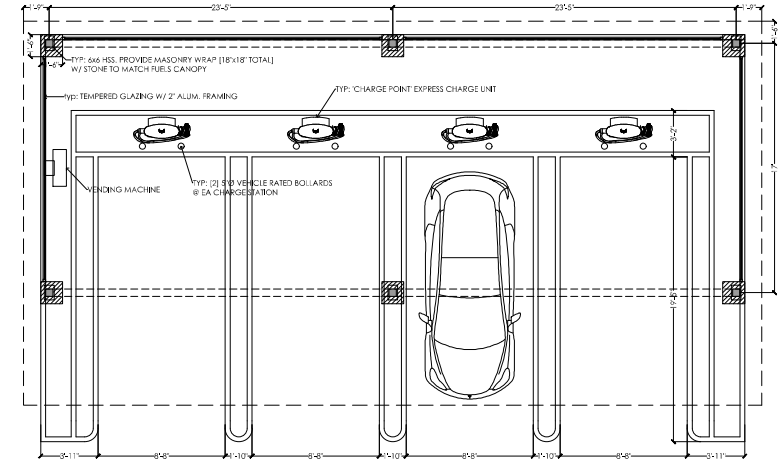
4 SIDE ELEVATION  
1/4" = 1'-0"



5 REAR ELEVATION  
1/4" = 1'-0"



2 ROOF PLAN  
1/4" = 1'-0"



1 FLOOR PLAN  
1/4" = 1'-0"

Four-stall charging hub

EV Blu Solutions  
Charge Hub  
Location



aia  
SULLIVAN  
PALMER  
ARCHITECTS  
100 EAST WASHINGTON AVE  
ANN ARBOR, MI 48106  
PH: 734.763.1200  
WWW.SULLIVANPALMERARCHITECTS.COM

Date:

Revision:

Drawn by:  
MWM  
Sheet:

A-100  
charge hub  
plan &  
elevations

## MAVERIK

**Application FSP2024-0002**

**Northwest corner of 200<sup>th</sup> Street and Homestead Lane**

### QUICK FACTS

#### PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Final Site Plan located on the northwest corner of 200<sup>th</sup> Street and Homestead Lane.

#### Owner and Applicant

Nick Halfhill,  
Agent, Maverik,  
Inc.

#### Existing Zoning and Land Use

The property was rezoned to City of Edgerton C-2 (Heavy Service Commercial) District on July 14, 2011 (Ord. 905). The property is currently vacant.

#### Parcel Size

8.00 acres

#### Staff Report Prepared by

Chris Clinton



## BACKGROUND

### 1. Proposal

This Final Site Plan request is being made in preparation for the development of a convenience store with fueling stations, which will be owned and operated by Maverik, Inc. The use of a convenience store with fueling operations is a permitted use in the C-2 District by right. The proposed convenience store will be 5,982 square feet with made-to-order food and general merchandise sales. The 14 gasoline fueling stations are proposed to be south of the store and the 10 diesel fueling stations will be to the north of the store. Just to the north of the diesel stations, a truck scale is also proposed. Site Plans are required for all new developments per Section 10.1.B of the Unified Development Code (UDC) and must be considered following a public hearing by the Planning Commission.

### 2. Subject Site History

The 8.00-acre subject property was annexed on February 24, 2011 (Ordinance 900) and was rezoned to the C-2 (Heavy Service Commercial) District on July 14, 2011 (Ordinance 905). On October 8, 2019, the Planning Commission approved a Preliminary Plat (PP2019-04) for the subject property and overall Edgerton Crossing development (then known as Lone Star). Pursuant to UDC Section 13.3.E.3, if a Final Plat is not approved for a portion or all of the subject property of a preliminary plat within a one (1) year period from the approval date, the preliminary plat becomes null and void. A Final Plat was not filed prior to the one (1) year expiration and Preliminary Plat PP2019-04 became null and void. On November 19, 2021, the Planning Commission approved Preliminary Plat Application PP2021-03 for the subject property. A Final Plat Application was then presented to the Planning Commission on April 12, 2022 and was recommended for approval to the Governing Body. On April 28, 2022, the Final Plat was accepted and later recorded with Johnson County. There have been no previous Preliminary or Final Site Plans submitted for the subject property.

### 3. Zoning and Development Requirements

#### A. Setbacks

The C-2 District has required building setbacks of 25 feet for the front yard (south) and rear yards (north), and 15 feet for the side yards (east and west). Table 1, below, indicates the required and proposed setbacks from the nearest proposed structure to each respective property line. The rear yard setback is measured from the rear of the convenience store (c-store) building to the interior lot line for the adjacent Lot 1A.

*Table 1: Setbacks*

Setback	Required	Proposed
South (Front)	25 feet	115.41 feet (gas canopy)
North (Rear)	25 feet	199 feet (C-store)
East (Side)	15 feet	140.90 feet (trash enclosure)
West (Side)	15 feet	208.25 feet (gas canopy)

#### B. Building Materials

The proposed building is subject to the Design Guidelines set forth in the C-2 District (UDC, Section 4.3.G). The proposed building will have one (1) primary façade, the south, with the north, east, and west façades being secondary façades. The building is proposed to be clad in brick, stone, glass, and stucco fascia siding. Table 2, on the next page, indicates the amount of Category 1 and 2 materials proposed on each façade.

Table 2: Building Materials

Façade	Category 1 Materials (stone, brick, glass)*	Category 2 Materials (stucco fascia siding)**
South (Primary)	93%	7%
North (Secondary)	92%	8%
East (Secondary)	93%	7%
West (Secondary)	92%	8%

\* Minimum 70% required for primary façades, minimum 60% required for secondary façades

\*\* Maximum 30% allowed on primary façades, maximum 40% allowed on secondary façades

Each façade exceeds the requirements for quality building materials and the south (primary) façade is proposed to include 24% glass, exceeding the requirement of 20% clear glass for primary façades. The applicant is also proposing a dumpster enclosure to screen the trash facilities from neighboring properties. This enclosure is clad with the same materials as the primary structure.

The south and north façades of the proposed building are longer than 75 feet and are therefore required to provide vertical and horizontal articulation. The changes in the horizontal plane are required to be offset at least four (4) feet and extend the full height of the building. The south façade (front) will span 20.5 feet before a change in plane of three and a half (3.5) feet. Another span of 21.5 feet will occur before another change in plane of two (2) feet and two (2) inches. This creates a total change of five (5) feet and eight (8) inches that spans over 19 feet before gradually returning to the original plane.

Vertical articulation is required to be provided by a variation in building or parapet height of at least two (2) feet or variations in roof forms. On the south façade, the applicant provides an increase of parapet height of one (1) foot, which occurs twice. A focal point element is provided which provides a ten (10) foot change in roof height. This focal point element also provides a variation in roof form, exceeding UDC requirements.

As a fuel station and convenience store, there are additional requirements set by the UDC for building materials and design. The applicant has accomplished this by providing a cap in the center of the front façade, as a focal point element, and awnings over each pedestrian entryway. The proposal meets or exceeds UDC requirements for convenience stores and fuel stations.

The height of the proposed fuel and diesel canopies is 19 feet and three (3) inches, which relates to the height of the primary building (19 feet), as is required by the UDC. The applicant is showing a similar stone veneer to that of the principal building to wrap the canopy columns. The canopy façade is proposed to be aluminum with a matte finish. The signs proposed on the canopy will require sign permits and will be reviewed separately. No photometric plan for the canopy areas have been provided and will must be approved prior to building permit issuance.

**C. Rooftop Screening**

The applicant provided a roof plan depicting the location of rooftop equipment and sight lines from adjacent roadways. It appears that the provided parapet will screen all of the rooftop equipment proposed. The applicant has also noted that if the parapet does not screen the equipment adequately, supplementary screening will be used. The screening is to be made of prefinished architectural metal panels, stucco panels, masonry walls, or



other similar building materials. City staff will continuously monitor the site to ensure compliance with the UDC.

**D. Landscaping**

Along the north, west, and south property line, the UDC requires a ten (10) foot landscape buffer with at least one (1) deciduous shade, ornamental and evergreen tree every 100 linear feet of street frontage. A minimum of 15 shrubs and ornamental grasses are also required every 100 linear feet of frontage. The required buffer width is increased to 15 feet on the west property line, but the number of plantings remains the same. The applicant has met or exceeded the minimum requirements of plantings mandatory for the development. Building façade and foundation landscaping is also required and provided, meeting UDC requirements. The applicant is also providing landscaping in the parking islands as required by the UDC. To prevent damage from trailers backing into the landscaping, a five (5)-foot gap has been proposed between the back of the curb to the plantings.

**E. Lighting**

The applicant has provided a preliminary photometric plan for the proposed development. The luminaries are proposed to be installed at 25 feet, which is the maximum allowed. While the proposed height of the luminaries does meet the UDC requirements, the foot-candle readings along the property lines do not. The maximum foot-candle reading at any property line for the subject property is 0.2. There are several areas where the reading exceeds the maximum. The applicant has informed City staff that a final photometric plan will be provided in the submittal of the building permit plans. City staff will review the photometric plan to ensure compliance with the requirements of the UDC.

**F. Handicap Access**

The applicant shows a proposed handicapped accessible route around the site. The City Engineer has required the ramps located in the concrete runout pad be constructed with the same thickness as the concrete entrance apron. The detectable warnings located in the Jubilee Street right-of-way must be "Armor-Tile" replaceable cast in place red tiles or approved equal matching the street plans. The City Engineer is also requiring the warnings match the sidewalk width of five (5) feet.

**G. Access**

The proposed development will include access to the public road network in three (3) separate locations along Jubilee Street to the west. Additionally, there is an approximately 2-acre lot remaining north of 200<sup>th</sup> Street and east of Jubilee Street, that is reserved for future development and is not owned by the applicant. Prior to development of this parcel, a private cross-access easement must be recorded.

**H. Parking**

The proposed development of the 5,982 square foot convenience store is required to provide a total of 30 parking stalls on site. The applicant is exceeding this requirement by providing stalls for 38 passenger vehicles and 37 truck stalls. The parking for passenger vehicles is located on the southern portion of the property, near the primary building, while the truck parking is provided on the northern portion of the property.

**I. Stormwater**

A stormwater management memorandum was provided by the applicant and reviewed by the City Engineer. The City Engineer stated that the report appears to be incomplete as there is nothing in Appendix A, limited information in Appendix B, and Figure 2 is missing. The conditions outlined in the memorandum differ than that of the original stormwater management study for the site. The City Engineer is requesting an updated stormwater management study reflecting the proposed conditions be provided. The City Engineer also needs a letter sealed by a Kansas Professional Engineer stating that the site design is in compliance with the approved stormwater study completed for the site. A diagram showing the areas tributary to each existing storm sewer pipe along with the design flows and how they compare to the original design condition shown on the site plans must be provided as well. An approved Notice of Intent from the Kansas Department of Health and Environment must be provided prior to construction as well.

**NOTICE OF CITY CODES AND PERMITS**

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project and the project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

**DOCUMENTS INCLUDED IN PACKET**

Sheet #	Title	Date on Document
Application	Application for FSP2024-0002	02/20/2024
1	C0.0 Cover Sheet	02/20/2024
2	C1.1 Overall Site Plan	02/20/2024
3	C1.2 South Site Plan	02/20/2024
4	C1.3 North Site Plan	02/20/2024
5	C2.1 South Grading Plan	02/20/2024
6	C2.2 North Grading Plan	02/20/2024
7	C2.3 South Drainage Plan	02/20/2024
8	C2.4 North Drainage Plan	02/20/2024
9	C2.5 Pre-Construction Erosion Control Plan	02/20/2024
10	C2.6 Site Construction Erosion Control Plan	02/20/2024
11	C2.7 Post-Construction Erosion Control Plan	02/20/2024
12	C2.8 Erosion Control Details	02/20/2024
13	C3.1 South Utility Plan	02/20/2024
14	C3.2 North Utility Plan	02/20/2024
15	L1.1 Landscape Plan	02/20/2024
16	L1.2 Landscape Calculations	02/20/2024
17	L1.3 Landscape Details & Notes	02/20/2024
18	SE1.1 Photometric Plan	02/20/2024
19	A-1 Floor Plan	
20	A-2 Roof Plan	
21	A-3 Perspective Views	

22	A-4 Exterior Elevations	
23	A-5 Exterior Elevations	
24	A-6 Canopy Elevations	
25	A-7 Canopy Elevations	
26	A-8 Exterior Material Board	
27	A-9 Trash Enclosure Elevations	

**STAFF RECOMMENDATION**

Staff recommends approval of Final Site Plan **Application FSP2024-0002** *Maverik* subject to the following stipulations:

1. The following comments must be completed prior to certification by the Zoning Administrator:
  - a. A photometric plan meeting all UDC requirements must be submitted.
  - b. The approved Notice of Intent must be provided.
  - c. The following comments by the City Engineer regarding the stormwater management report must be addressed:
    - i. The report appears to be incomplete. There is nothing in Appendix A and limited information in Appendix B. Figure 2 appears to be missing.
    - ii. It appears from the cover memo that the proposed conditions differ from the original stormwater management study for the site. Provide an updated stormwater management study reflecting the proposed conditions.
    - iii. Provide a letter sealed by a Kansas Professional Engineer stating that the site design is in compliance with the approved stormwater study for the site.
    - iv. Provide a diagram showing the areas tributary to each existing storm sewer pipe along with the design flows and how they compare to the original design condition shown on the street plans.
  
2. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads, and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

***Note: For application FSP2024-0002 the Planning Commission is the approving authority.***





## SITE PLAN INSTRUCTIONS

**SUBMITTAL DEADLINE:** The applicant shall submit an application at least forty-nine (49) calendar days prior to the public hearing.

**NOTICE REQUIREMENTS:** A public hearing is required for Site Plan applications at either the Preliminary or Final Site Plan stage, depending upon which is submitted first. If a public hearing is held for a Preliminary Site Plan, a public hearing does not need to be held for the Final Site Plan. The City shall publish notice of the public hearing at least twenty (20) days in advance of the hearing in the official City newspaper. One copy of the proposed Site Plan shall be made available for public inspection at least twenty (20) days prior of the public hearing.

**DESIGN STANDARDS:** Applicants should abide by the district zoning regulations and design standards set forth in the Edgerton UDC as noted in the appropriate Articles for the proposed development. These regulations and design standards include, but are not limited to, building placement, architectural design standards, parking and loading, access management, photometrics, landscaping, signage and diesel emissions.

**PLANNING COMMISSION REVIEW:** The Edgerton Planning Commission meets in the Edgerton City Hall on the second Tuesday of every month. The Planning Commission shall review the site plan to determine conformity with the design guidelines and other requirements included within the Edgerton UDC.

**APPROVAL LIMITATIONS:** The Site Plan approval expires after one year from the date of approval and becomes null and void unless the applicant has been issued a building permit for the project or has requested an extension of time from the Planning Commission.

## CHECKLIST

The following items shall be included on the site plan, and the scale shall be a professionally acceptable standard suitable to the area of the proposed project:

- A scale vicinity map showing the relationship of the site to surrounding neighborhoods, zoning of surrounding properties, roads and other physical features.
- A project title, zoning designation and applicant name. A street, lot or tract address of the project.
- An index of content pages.
- The data table as outlined in Section 10.1, Subsection G of the UDC.
- The name of the architect, engineer, surveyor and landscape architect, all licensed in the State of Kansas, who prepared the Site Plan.
- Engineer's seal with original signature.
- A landscape plan sealed by a landscape architect licensed to practice in the state of Kansas which is in conformance with applicable zoning district requirements. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. The submitted landscape plan drawn to scale, shall show the requirements as shown in Section 10.1, Subsection G.
- Existing and proposed topography including contours at two (2) foot intervals unless the property is too flat and then spot elevations shall be provided.
- Exterior lot lines with any survey pins.
- Location of buildings, proposed and existing if existing buildings will remain.
- Parking areas, paths, sidewalks with sizes and surface material specifications.

- Exterior lighting specifications including a preliminary photometric plan. A final photometric plan will be required at the time the applicant applies for a Building Permit.
- Site entrance and connections to streets.
- The location of existing and proposed easements.
- Connection point for utilities and the location and size of all utility lines including but not limited to sewer lines and manholes; water lines and fire hydrants; telephone, cable, fiber, and electrical systems; and storm drainage systems including inlets, catch basins, lines and other appurtenances, existing and proposed.
- Vehicular and pedestrian circulation within the site, entrances and exits, loading and unloading areas, and adjacent curb cuts.
- Scale drawings of all proposed signage including location, height, size, area, materials and design to be used on the premises with construction drawings required when applying for a sign permit in accordance with Article 12, Sign Regulations, of the UDC.
- Features to facilitate handicapped access.
- N/A  Profile and detail for roads the location and width of sidewalks and the location of trails.
- Storm Drainage Systems and Facilities shall be provided in connection with the proposed development of land in accordance with the Kansas City Metropolitan chapter of the American Public Works Association Construction and Material Specifications Section 5600 Storm Drainage Systems and Facilities. Said Site Plan shall show, by use of directional arrows, the proposed flow of storm drainage from the site. A summary table shall be provided on the Site Plan in the format outlined in Section 10.1, Subsection G of the UDC.
- A Storm Water Pollution Prevention Plan (SWPPP) shall also be provided and shall meet the known requirements of the National and Kansas General Permit. A signed and dated copy of the NOI shall be provided to the City prior to any disturbance of the soil on the construction site.
- Scale drawing of building floor plans with dimensions and square foot calculations.
- Scale drawings in full color with dimensions of all building facades or elevations including the labeling of exterior materials and color.
- Roof pitch and materials.
- The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right of way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. Include type of screening that will be used around equipment.
- Areas or facilities used for trash, trash compacting, recycling containers, service and loading are to be located out of public view from streets, adjacent to residential properties, and other highly visible areas such as parking lots, access drives, and similar areas. Refer to the regulations in Section 10.1, Subsection G of the UDC.
- Layout and design of all property designed required parking and loading areas in accordance with Article 16, Parking and Loading Regulations, of the UDC.

## POSSIBLE ADDITIONAL REQUIREMENTS

Depending upon circumstances the Zoning Administrator may require additional information related to business operations and their impact on adjacent properties including, but not limited to the requirement of additional information for hazardous material or other environmental impacts.

The Zoning Administrator may also require a detailed traffic impact study prepared by a Traffic Engineer, licensed in the State of Kansas, for large uses, mixed use and multi-tenant developments, or for developments in heavy traffic or congested areas to include:

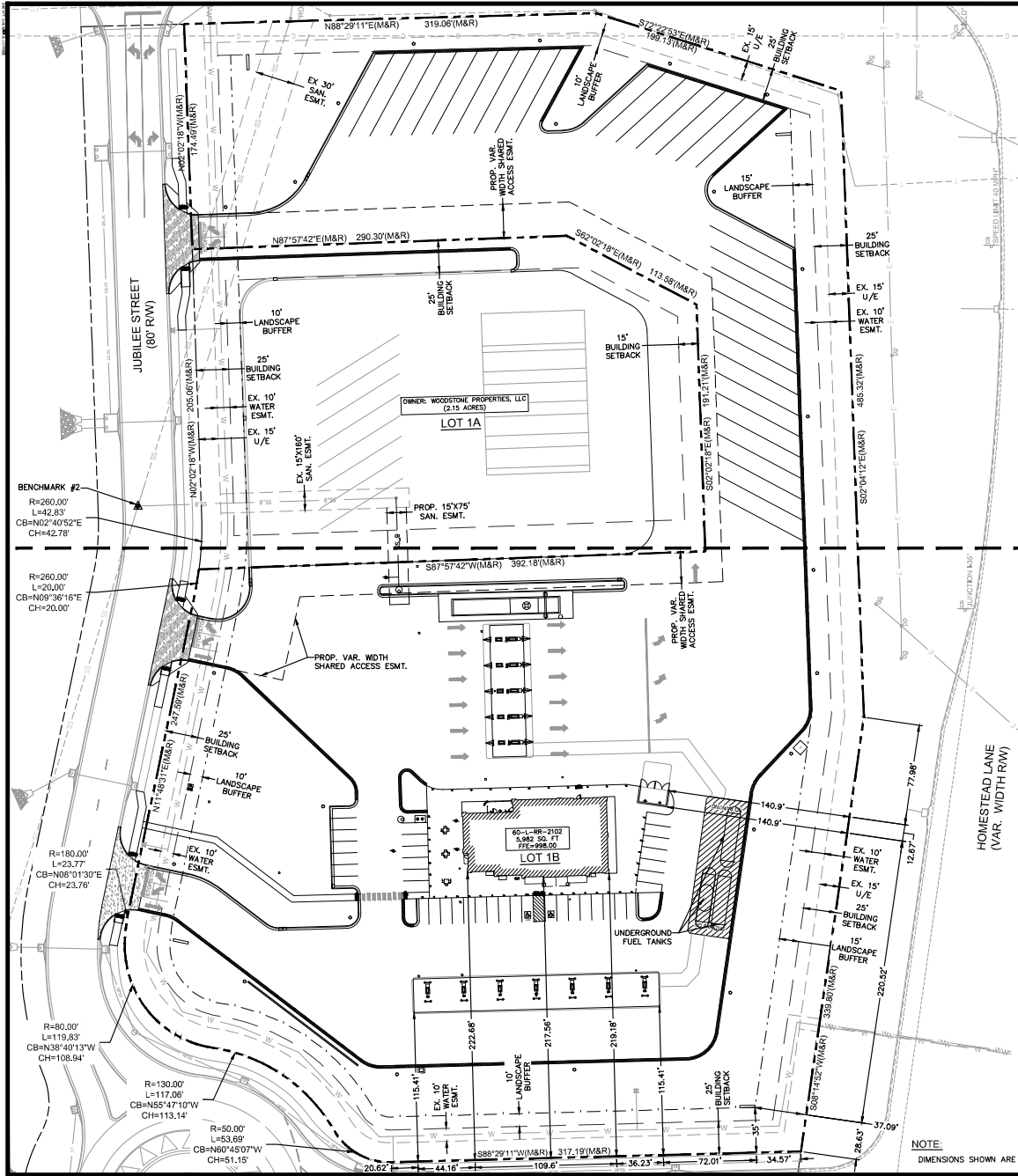
- The projected number of motor vehicle trips to enter and leave the site, estimated for daily and peak hour traffic levels;
- The projected traffic flow pattern including vehicular traffic movements at all major intersections likely to be affected by the proposed use of the site;
- The impact of the proposed traffic upon existing, public and private ways in relation to existing and projected daily and peak hour road capacities;
- A recommendation of whether additional improvements would be needed such as turning lanes or traffic signals to accommodate the projected traffic;
- Any other information as determined by the City Engineer.

Outdoor Storage Requirements. Include adequate details on Site Plan to confirm individual District requirements are met.

- Permanent Outdoor Storage – If applicable and allowed within the zoning designation, permanent outdoor storage areas, attached to the main structure and enclosed with screening or fencing, may be allowed if the enclosure meets aesthetic guidelines. Permanent outdoor storage areas must be indicated on the Site Plan.
- Seasonal Outdoor Storage - If applicable and allowed within the zoning designation, placement and dimensions of Seasonal Outdoor Storage area must be shown on the Site Plan. Administrative approval for a Seasonal Outdoor Storage Permit is granted by the Zoning Administrator upon the submission of a permit application which includes, but is not limited to, parking implications, time parameters (hours of operation and duration of display), signage, pedestrian and vehicular traffic flow, lighting requirements, security, maintenance of merchandise, and fencing.
- Temporary Sales Area – Temporary Sales Areas may be allowed within certain zoning designations. If the applicant wishes to request a Temporary Sales Permit, the Temporary Sales Area must be indicated on the Site Plan.







**FIRE FLOW CALCULATIONS:**

PER 2018 IFC SECTION B105, THE REQUIRED FIRE FLOW IS AS FOLLOWS:  
 PROPOSED BUILDING 5,982 S.F., TYPE V-B CONSTRUCTION, NON-SPRINKLED.  
 REQUIRED IS 2. THERE ARE TWO NEW HYDRANTS WITHIN 400' OF THE BUILDING. ONE HYDRANT IS LOCATED APPROXIMATELY 170' TO THE SOUTHWEST OF THE BUILDING ALONG 200TH STREET, WHILE THE OTHER IS LOCATED APPROXIMATELY 250' WEST OF THE BUILDING ALONG JUBILEE STREET. ADDITIONALLY, THERE IS A THIRD NEW HYDRANT LOCATED APPROXIMATELY 435' NORTHWEST OF THE BUILDING ALONG JUBILEE STREET.

RWD #7 PROVIDED FLOW TEST INFORMATION ON THE TEST HYDRANT WHICH IS LOCATED 170' SOUTHWEST OF THE BUILDING:  
 PITOT PRESSURE 72 PSI  
 RESIDUAL PRESSURE 90 PSI  
 STATIC PRESSURE 115 PSI  
 CALCULATED AVAILABLE FIRE FLOW AT LOCATION OF THE READ HYDRANT (SEE CALCULATION BELOW)

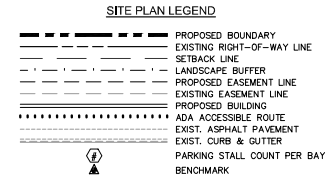
$QR = QF \times (HR/HP)^{0.54}$

$QR = \text{FLOW AVAILABLE AT DESIRED RESIDUAL PRESSURE (DESIRED RESIDUAL PRESSURE = 20 PSI)}$   
 $QF = \text{FLOW OBTAINED DURING FLOW TEST}$   
 $HR = \text{PRESSURE DROP TO THE DESIRED RESIDUAL PRESSURE}$   
 $HP = \text{PRESSURE DROP DURING THE TEST}$

$QR = 1,430 \text{ GPM} \times [(115 \text{ PSI} - 20 \text{ PSI}) / (115 \text{ PSI} - 90 \text{ PSI})]^{0.54}$

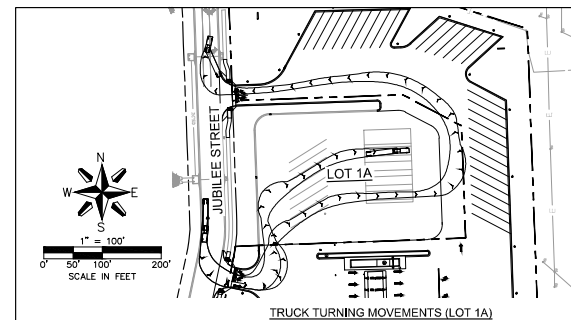
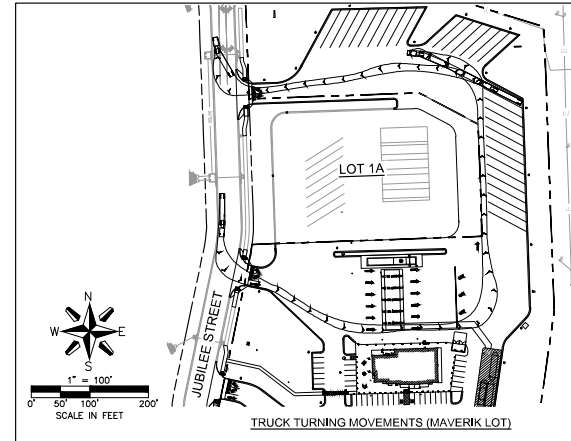
$QR = 2,940 \text{ GPM}$

WITH THE FRICTION AND FITTING LOSSES, FLOWS AT EXISTING HYDRANTS WILL BE EXCEEDING THE MINIMUM OF 2,000 GPM AS REQUIRED IN SECTION B105 OF THE 2018 IFC.



MATCHLINE  
SEE SHEET C1.3

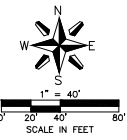
MATCHLINE  
SEE SHEET C1.2



**BENCHMARKS:**

BENCHMARK #1--UNOFFICIAL JOHNSON COUNTY BENCHMARK  
 I.D. 1026, 2" ALUMINUM CAP IN RGB HEADWALL  
 ELEV=964.72 (NAVD 88)

BENCHMARK #2--SANITARY MANHOLE LID LOCATED ALONG JUBILEE STREET. BENCHMARK #2 IS BASED ON AN ITEM THAT WILL BE ADJUSTED WITH THE CONSTRUCTION SHOWN ON THESE PLANS. CONTRACTOR SHALL ESTABLISH NEW PERMANENT BENCHMARK PRIOR TO ANY PROJECT DEMOLITION.  
 ELEV.=986.62 (NAVD 88)



STORE 0473 - EDGERTON, KS  
 HOMESTEAD LN. & 199TH ST.

OVERALL SITE PLAN

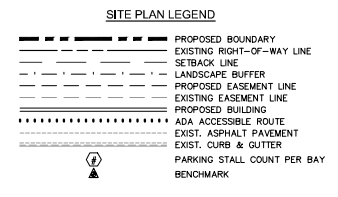
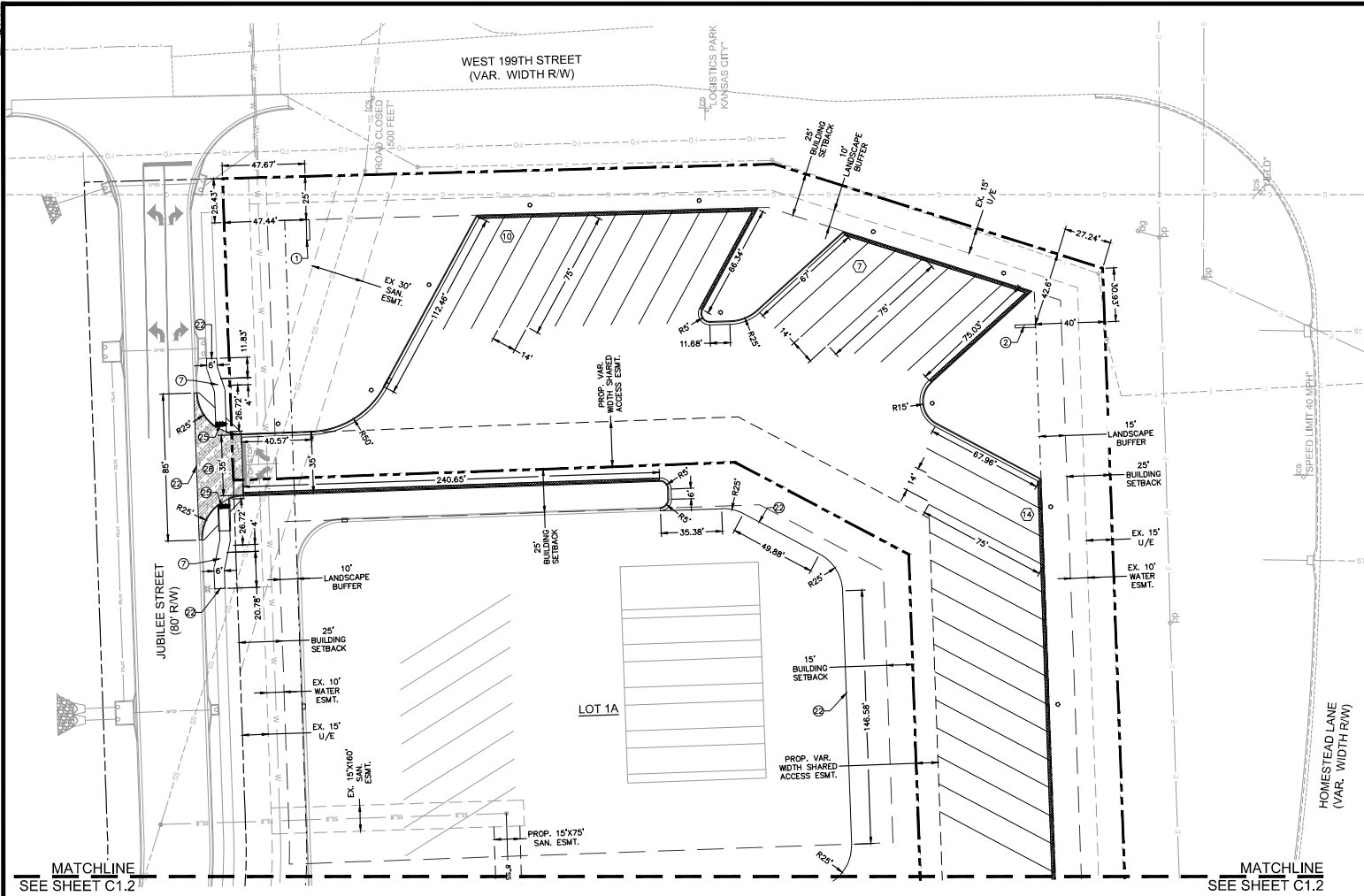
IGNAVIA PROJECT TEAM  
 RDM: JR  
 SDI: NH  
 CPM: PJD

REVISION DESCRIPTION	DATE

DATE: 02.20.24

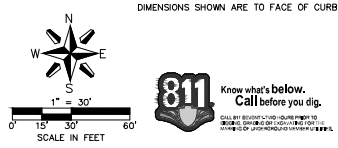
SHEET NUMBER  
**C1.1**  
 2 OF 26





- FLAG NOTES:**
- 1 PROPOSED MONUMENT SIGN (25' HEIGHT), SEE DETAIL SHEET CX.X
  - 2 PROPOSED MONUMENT SIGN (30' HEIGHT), SEE DETAIL SHEET CX.X
  - 3 INSTALL BOLLARD MOUNTED ADA LIFT VAN PARKING SIGN, SEE DETAIL SF-6 ON SHEET CS.X
  - 4 INSTALL BOLLARD MOUNTED ADA PARKING SIGN, SEE DETAIL SF-6 ON SHEET CS.X
  - 5 PROPOSED 4" CONCRETE BUILDING WALKWAY, SEE DETAIL C-7 ON SHEET CS.X
  - 6 PROPOSED 4" CONCRETE GENERAL WALKWAY, SEE DETAIL C-6 ON SHEET CS.X
  - 7 PROPOSED RIGHT-OF-WAY SIDEWALK TO MATCH EXISTING SECTION MATERIALS & DETAILS AND SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACES
  - 8 PROPOSED ADA ACCESSIBLE ROUTE, SEE SHEET C4.X
  - 9 PROPOSED 6" CONCRETE ADA PARKING & STRIPED AISLE, SEE DETAIL SF-12 ON SHEET CS.X
  - 10 INSTALL "HI-ROLLER" BIKE RACK, SEE DETAIL SF-9 ON SHEET CS.X
  - 11 INSTALL REBOUNDING BOLLARD (SPACED AT 4'-6" O.C. WHEN ADJACENT TO PARKING, 15'-0" IN AREAS WITHOUT PARKING), SEE DETAILS ON SHEET CS.X
  - 12 PROPOSED 10" CONCRETE FUEL TANK PAD, COORD. FINAL LOCATION WITH PETRO PLANS, SEE DETAIL C-16 ON SHEET CS.X. STRIPE AREA W/ 4" YELLOW PAVEMENT MARKINGS WITH 45° CROSS HATCHING SPACED AT 24" O.C.
  - 13 PROPOSED 6" CONCRETE FUEL TRENCH CAP, COORD. FINAL ROUTING & SIZE WITH PETRO PLANS, SEE DETAIL C-17 ON SHEET CS.X
  - 14 PROPOSED (7-PUMP) STRAIGHT FORECOURT & CANOPY CONFIGURATION W/ 6" CONCRETE PAD, SEE DETAIL EX-3 ON SHEET CS.X
  - 15 PROPOSED (5-PUMP) COMMERCIAL COURT & CANOPY CONFIGURATION W/ 6" CONCRETE PAD, SEE DETAIL EX-7 ON SHEET CS.X
  - 16 PROPOSED TRASH ENCLOSURE W/ 8" CONCRETE ACCESS PAD, SEE DETAIL C-5 ON SHEET CS.X. COORD. ENCLOSURE & FOUNDATION WITH ARCHITECTURAL & STRUCTURAL PLANS.
  - 17 INSTALL PIPE BOLLARD WITHIN TRASH ENCLOSURE, SEE DETAIL SF-4 ON SHEET CS.X
  - 18 PROPOSED AIR MACHINE PAD, SEE DETAIL SF-10 ON SHEET CS.X
  - 19 PROPOSED TRANSFORMER PAD LOCATION, SEE SHEET CS.1
  - 20 PROPOSED ICE MERCHANDISER
  - 21 PROPOSED PROPANE CAGE(S), PLACED PER NFPA 58 REQUIREMENTS
  - 22 LIMITS OF PROPOSED PAVEMENT
  - 23 PROPOSED LIGHT POLE, SEE MEP PLANS.
  - 24 PROPOSED CAT SCALE
  - 25 INSTALL 24"x48" MIN. WIDTH DETECTABLE WARNING AREA, COLOR "BROCK RED" (FEDERAL COLOR CODE 2214), PER ADA REQUIREMENTS
  - 26 PROPOSED MODULAR BLOCK RETAINING WALL, SEE DETAIL ON SHEET C2.2
  - 27 INSTALL 6" MODERATE DUTY CONCRETE PAVEMENT, SEE PAVEMENT SECTION ON SHEET C2.2
  - 28 INSTALL 8" HEAVY DUTY CONCRETE PAVEMENT, SEE PAVEMENT SECTION ON SHEET C2.2

**BENCHMARKS:**  
 BENCHMARK #1--UNOFFICIAL JOHNSON COUNTY BENCHMARK I.D. 1026, 2" ALUMINUM CAP IN RCB HEADWALL ELEV=964.72 (NAVD 88)  
 BENCHMARK #2--SANITARY MANHOLE LID LOCATED ALONG JUBILEE STREET. BENCHMARK #2 IS BASED ON AN ITEM THAT WILL BE ADJUSTED WITH THE CONSTRUCTION SHOWN ON THESE PLANS. CONTRACTOR SHALL ESTABLISH NEW PERMANENT BENCHMARK PRIOR TO ANY PROJECT DEMOLITION ELEV.=986.62 (NAVD 88)



**STORE 0473 - EDGERTON, KS**  
 HOMESTEAD LN. & 199TH ST.  
 NORTH SITE PLAN

IGNAVIA PROJECT TEAM  
 RDM: JR  
 SDI: NH  
 CPM: PJD

REVISION DESCRIPTION	DATE

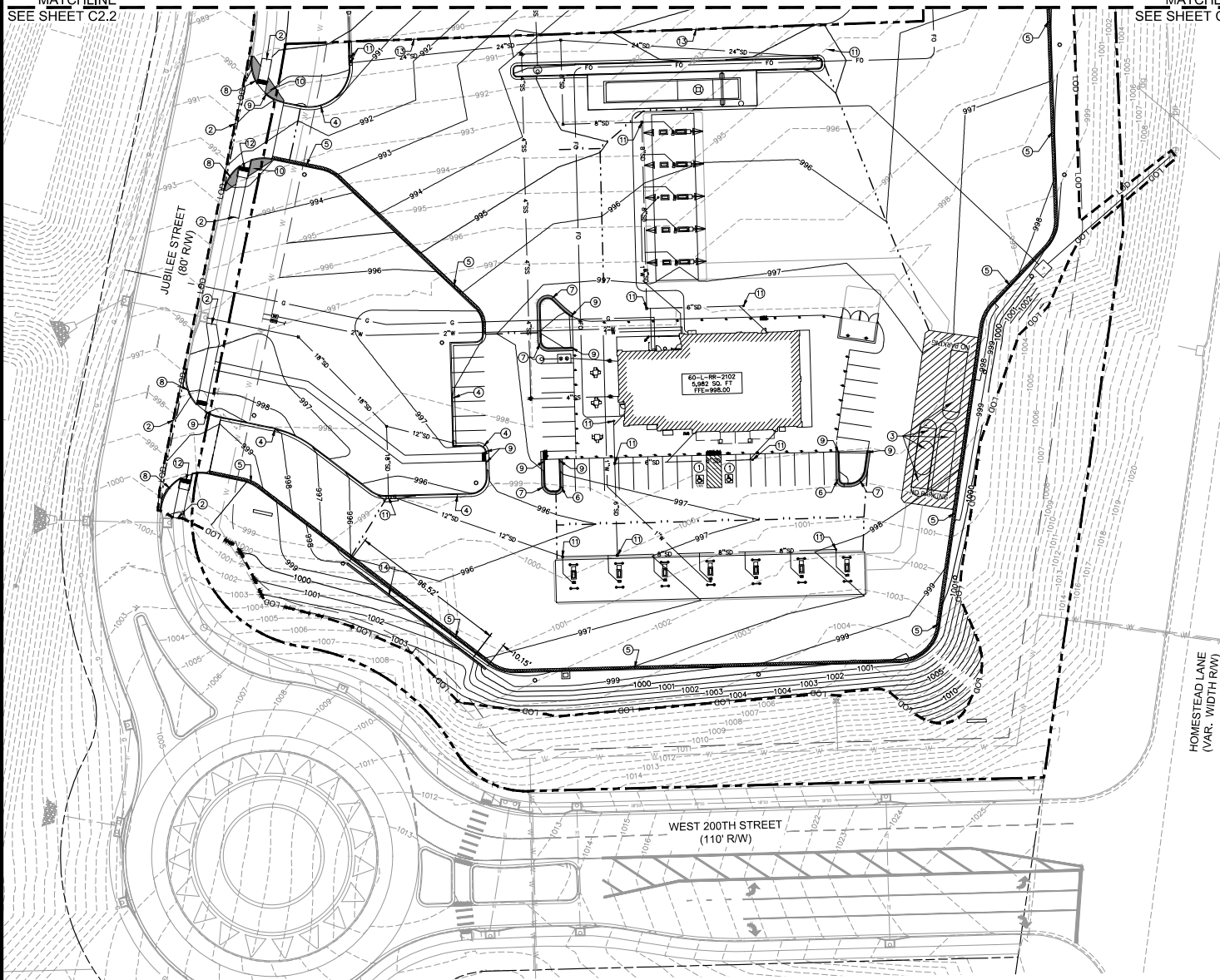
DATE: 02.20.24  
 SHEET NUMBER: C1.3  
 4 OF 26





MATCHLINE  
SEE SHEET C2.2

MATCHLINE  
SEE SHEET C2.2



**GRADING PLAN LEGEND**

- PROPOSED BOUNDARY
- EXISTING RIGHT-OF-WAY LINE
- BREAK IN GRADE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LOD
- LIMITS OF DISTURBANCE
- PROPOSED BUILDING
- EXIST. ASPHALT PAVEMENT
- EXIST. CURB & GUTTER

**FLAG NOTES:**

- ① ADA ACCESSIBLE STALL AND AISLE, NOT TO EXCEED 1.5% GRADE IN ANY DIRECTION
  - ② MATCH EXISTING GRADE, CONTRACTOR SHALL FIELD VERIFY
  - ③ ALL LIDS FOR UNDERGROUND TANKS TO BE 2" ABOVE SURROUNDING PAVEMENT W/ 48" TRANSITION AREA
  - ④ \*PROPOSED "CATCH" TYPE CURB & GUTTER, SEE DETAIL CX.X
  - ⑤ \*PROPOSED "SPILL" TYPE CURB & GUTTER, SEE DETAIL CX.X
  - ⑥ \*PROPOSED "CATCH" TYPE MOUNTABLE CURB & GUTTER, SEE DETAIL CX.X
  - ⑦ \*PROPOSED "SPILL" TYPE MOUNTABLE CURB & GUTTER, SEE DETAIL CX.X
  - ⑧ \*PROPOSED CONCRETE INTEGRAL CURB, SEE DETAIL CX.X
  - ⑨ CONSTRUCT 2'-0" MIN. TRANSITION OF CURB TO PAVEMENT; UNLESS NOTED OTHERWISE ON PLANS
  - ⑩ PROPOSED CONCRETE RUNOUT PAD, PAVEMENT SECTION TO MATCH SECTION OF ADJACENT DRIVEWAY, SEE SHEET C2.2
  - ⑪ PROPOSED STORM SEWER STRUCTURE, SEE SHEET C2.3-2.4
  - ⑫ PROPOSED TYPE A CURB RAMP PER KOMO AFWA STD. DRAWING SW-1, SEE DETAIL SHEET CX.X. INSTALL TRUNCATED DUMES PER DETAIL ON C2.2
  - ⑬ LIMITS OF PROPOSED PAVEMENT
  - ⑭ PROPOSED MODULAR BLOCK RETAINING WALL, SEE DETAIL ON "NORTH GRADING PLAN" SHEET
- \*PROVIDE 5' MIN. TRANSITION BETWEEN DIFFERING CURB SECTIONS EITHER NEW OR EXISTING. MAINTAIN POSITIVE GUTTER FLOW OF 0.50% MIN. TO AVOID PONDING

**NOTE:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER/SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE ENGINEER/SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER/SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS INCLUDES PRIVATE AND PUBLIC UTILITIES.

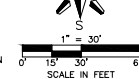
**FLOOD ZONE:**

ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER: 20091001346, EFFECTIVE DATE: AUGUST 3, 2009, THIS PROPERTY IS IN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAN.

**BENCHMARKS:**

BENCHMARK #1--JOHNSON COUNTY BENCHMARK I.D. 1026 ELEV.=964.72 (NAVD 88)

BENCHMARK #2--SANITARY MANHOLE LID LOCATED ALONG JUBILEE STREET. BENCHMARK #2 IS BASED ON AN ITEM THAT WILL BE ADJUSTED WITH THE CONSTRUCTION SHOWN ON THESE PLANS. CONTRACTOR SHALL ESTABLISH NEW PERMANENT BENCHMARK PRIOR TO ANY PROJECT DEMOLITION ELEV.=986.62 (NAVD 88)



**olsson**  
Olsson & Associates, Inc. 2000 N. 1st Avenue, Suite 100  
Orem, UT 84057  
Tel: 435.225.8800  
Fax: 435.225.8805  
www.olsson.com



STORE 0473 - EDGERTON, KS  
HOMESTEAD LN. & 199TH ST.  
SOUTH GRADING PLAN

IGNAVIA PROJECT TEAM  
RDW: JR  
SDH: NH  
CHN: PJD

REVISION DESCRIPTION	DATE

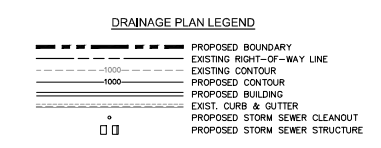
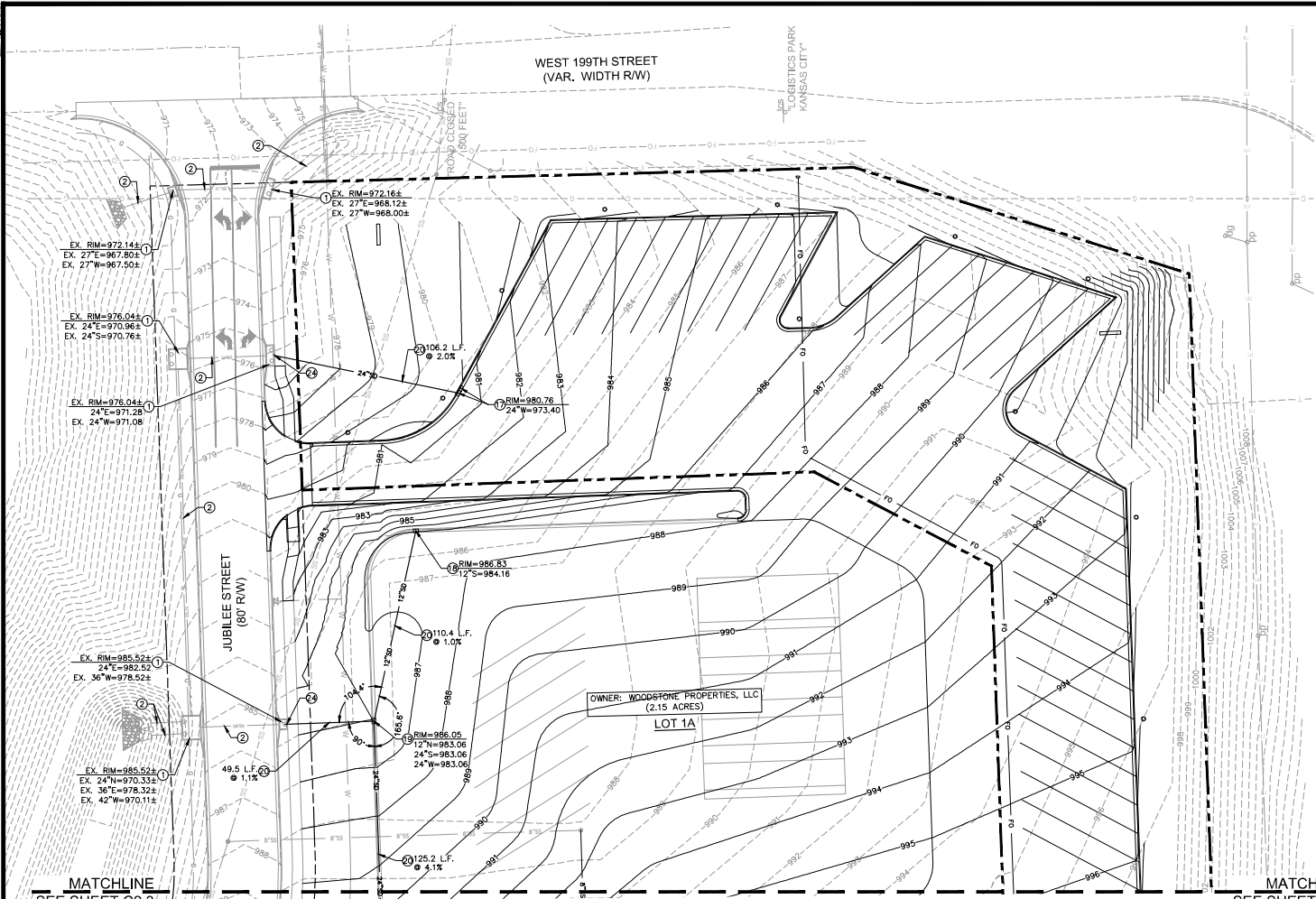
DATE: 02.20.24

SHEET NUMBER  
C2.1  
5 OF 26







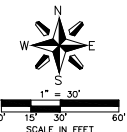


- ### FLAG NOTES:
- 1 EXISTING STORM SEWER STRUCTURE
  - 2 EXISTING STORM SEWER PIPE, SIZE PER PLAN
  - 3 CONNECT TO BUILDING DOWNSPOUT, SEE DETAIL SHEET CS.X AND ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATION. F/L = 996.00
  - 4 INSTALL 24.2 L.F. OF 6" STORM SEWER PIPE @ 5.3% SLOPE FROM BUILDING DOWNSPOUT TO HEADER, CONTRACTOR SHALL USE 6" WYE FOR CONNECTION TO HEADER PER MANUFACTURER RECOMMENDATIONS
  - 5 INSTALL 23.4 L.F. OF 6" STORM SEWER PIPE @ 6.3% SLOPE FROM BUILDING DOWNSPOUT TO HEADER, CONTRACTOR SHALL USE 6" WYE FOR CONNECTION TO HEADER PER MANUFACTURER RECOMMENDATIONS
  - 6 INSTALL 9.3 L.F. OF 6" STORM SEWER PIPE @ 6.0% SLOPE FROM BUILDING DOWNSPOUT TO HEADER, CONTRACTOR SHALL USE 6" WYE FOR CONNECTION TO HEADER PER MANUFACTURER RECOMMENDATIONS
  - 7 INSTALL 25.6 L.F. OF 6" STORM SEWER PIPE @ 19.2% SLOPE FROM BUILDING DOWNSPOUT TO HEADER, CONTRACTOR SHALL USE 6" INSERTA-TEE FOR CONNECTION TO HEADER PER MANUFACTURER RECOMMENDATIONS
  - 8 CONNECT TO FUEL CANOPY DOWNSPOUT, SEE DETAIL SHEET CS.X
  - 9 INSTALL 18.3 L.F. OF 4" STORM SEWER PIPE @ 1.0% MIN. SLOPE FROM CANOPY DOWNSPOUT TO HEADER OR STRUCTURE, CONTRACTOR SHALL USE 4" INSERTA-TEE FOR CONNECTION TO HEADER PER MANUFACTURER RECOMMENDATIONS
  - 10 INSTALL 21.3 L.F. OF 4" STORM SEWER PIPE @ 1.0% MIN. SLOPE FROM CANOPY DOWNSPOUT TO HEADER OR STRUCTURE, CONTRACTOR SHALL USE 4" INSERTA-TEE FOR CONNECTION TO HEADER PER MANUFACTURER RECOMMENDATIONS
  - 11 INSTALL 10" NYLOPLAST DRAIN BASIN WITH SOLID COVER, SEE DETAIL SHEET CS.X
  - 12 INSTALL 12" NYLOPLAST DRAIN BASIN WITH SOLID COVER, SEE DETAIL SHEET CS.X
  - 13 INSTALL 18" NYLOPLAST DRAIN BASIN WITH SOLID COVER, SEE DETAIL SHEET CS.X
  - 14 INSTALL 24" NYLOPLAST DRAIN BASIN WITH SOLID COVER, SEE DETAIL SHEET CS.X
  - 15 INSTALL 18" NYLOPLAST DRAIN BASIN WITH DOUBLE 2' X 3' DIAGONAL GRATE CURB INLET, SEE DETAIL SHEET CS.X
  - 16 INSTALL 24" NYLOPLAST DRAIN BASIN WITH DOUBLE 2' X 3' DIAGONAL GRATE CURB INLET, SEE DETAIL SHEET CS.X
  - 17 INSTALL 30" NYLOPLAST DRAIN BASIN WITH DOUBLE 2' X 3' HIGH FLOW GRATE CURB INLET, SEE DETAIL SHEET CS.X
  - 18 INSTALL 18" NYLOPLAST DRAIN BASIN WITH 2' X 3' STEEL BAR GRATE INLET, SEE DETAIL SHEET CS.X
  - 19 INSTALL 24" NYLOPLAST DRAIN BASIN WITH 2' X 3' STEEL BAR GRATE INLET, SEE DETAIL SHEET CS.X
  - 20 EXISTING STORM SEWER PIPE, SIZE, LENGTH & SLOPE PER PLAN
  - 21 INSTALL STORM SEWER CLEANOUT; LETTER DESIGNATION ON PLAN FOR TABLE DESIGN INFORMATION, SEE DETAIL SHEET CS.X
  - 22 INSTALL 6" WYE
  - 23 INSTALL 6" INSERTA-TEE FOR CONNECTION TO HEADER PER MANUFACTURER RECOMMENDATIONS
  - 24 CONTRACTOR SHALL COORDINATE WITH C.O.E. FOR CONNECTION OF NEW 24" PIPE TO EXISTING CURB INLET AND SHALL GROUT AROUND CONNECTION SO THAT NO GAPS ARE PRESENT, ENSURING A WATERTIGHT SEAL

**NOTE:**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER/SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE ENGINEER/SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER/SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS INCLUDES PRIVATE AND PUBLIC UTILITIES.

**FLOOD ZONE:**  
 ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER: 20091C01346, EFFECTIVE DATE: AUGUST 3, 2009, THIS PROPERTY IS IN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

IDENTIFIER	NORTHING	EASTING	RIM	F/L
A	171938.57	2177465.00	997.94	994.28
B	171914.74	2177550.33	997.81	994.87
C	172009.34	2177544.71	997.64	991.51
D	171859.58	2177601.56	998.10	994.81



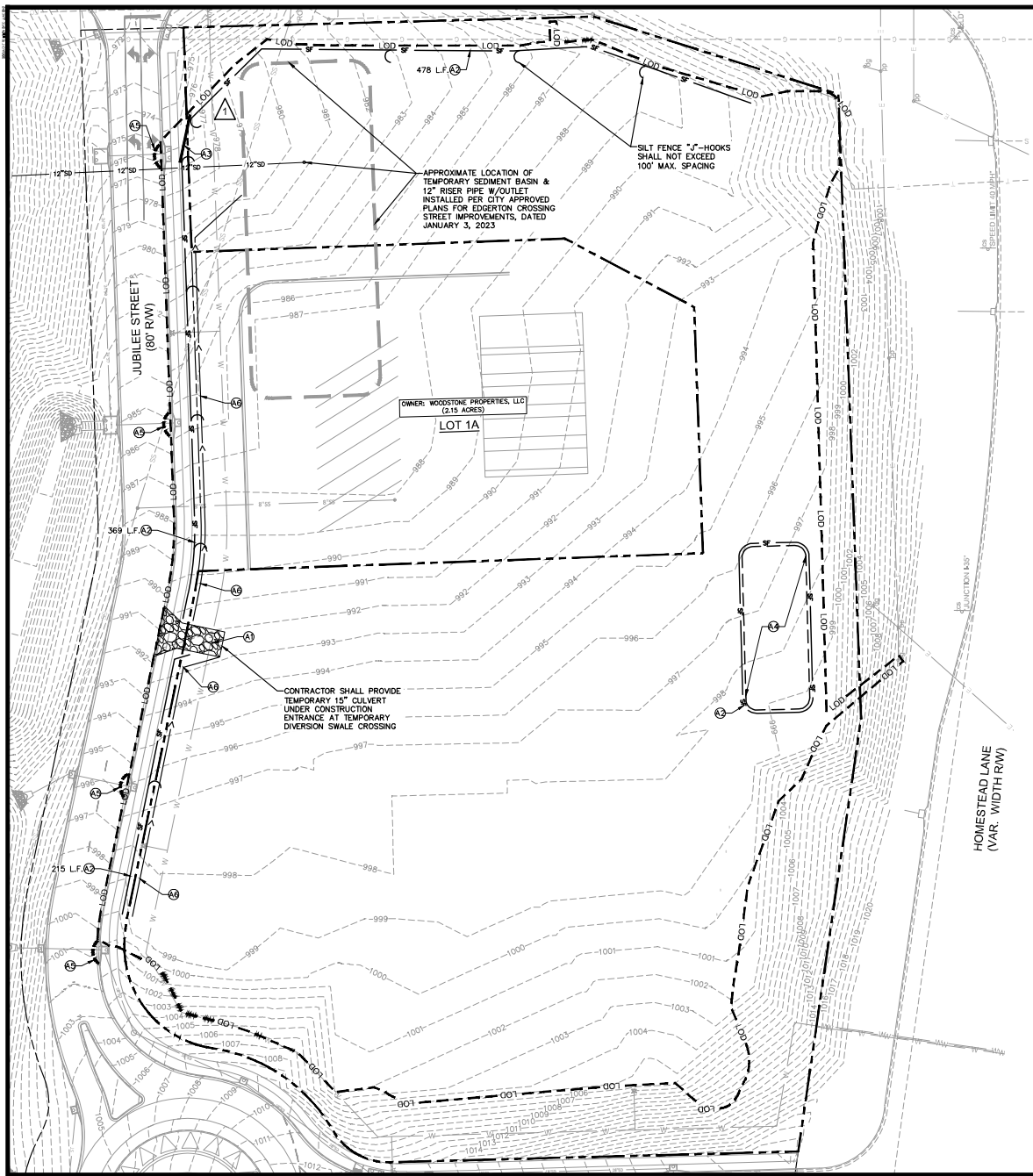
STORE 0473 - EDGERTON, KS  
 HOMESTEAD LN. & 199TH ST.  
 NORTH DRAINAGE PLAN

IGNAVIONE PROJECT TEAM  
 RDM: JR  
 SDH: NH  
 CHN: PJD

REVISION DESCRIPTION	DATE

DATE: 02.20.24  
 SHEET NUMBER: C2.4  
 8 OF 26





**LEGEND**

--- LOD	LIMITS OF DISTURBANCE
- - - - -	PROPOSED DRAINAGE PATTERN
1000	PROPOSED CONTOUR
- - - - -	EXISTING CONTOUR
---	LIMITS OF EXISTING TEMPORARY SEDIMENT BASIN
---	INSTALL SILT FENCE
---	INSTALL TEMPORARY DIVERSION BERM
---	INSTALL CURB/AREA INLET PROTECTION
---	INSTALL STRAW WATTLE
---	INSTALL GRAVEL CONSTRUCTION ENTRANCE/EXIT
---	INSTALL CONCRETE WASHOUT
---	TEMPORARY SEEDING AREAS
---	INSTALL EROSION CONTROL MATTING (NORTH AMERICAN GREEN, ROLLMAX SC-150 OR APPROVED EQUAL)
---	STORM OUTFALL

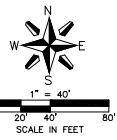
**EROSION CONTROL PHASING CHART**

PROJECT STAGE	BMP PLAN REF. #	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A - PRE-CONSTRUCTION	A1	CONSTRUCTION ENTRANCE/EXIT	E	SEE DETAIL SHEET C2.8
	A2	INSTALL SILT FENCE	E	SILT FENCE TO BE INSTALLED AT 100' MAX. RUNS WITH J-HOOKS AT ENDS. SEE DETAIL SHEET C2.8
	A3	INSTALL 12" STRAW WATTLE	D	SEE DETAIL SHEET C2.8
	A4	TEMPORARY STAGING/STOCKPILE AREA	E	SEE APPROX. LOCATION ON THIS SHEET.
	A5	INLET PROTECTION	E	SEE DETAIL SHEET C2.8
	A6	TEMPORARY DIVERSION BERM	C	TEMPORARY DIVERSION BERM TO BE INSTALLED PRIOR TO GRADING ACTIVITIES ON-SITE. TEMPORARY DIVERSION BERM SHALL BE UTILIZED TO DIRECT SITE WATER TO TEMPORARY SEDIMENT BASIN INSTALLED PER EDGERTON CROSSING STREET IMPROVEMENTS. SEE DETAIL SHEET C2.8
B - CLEARING & MASS GRADING		INSTALL PORTA-POTTY(S)	E	CONTRACTOR TO MARK FINAL PLACEMENT.
		INSTALL TRASH DUMPSTER, SITE SIGN & SPILL KIT	E	CONTRACTOR TO MARK FINAL PLACEMENT.
C - BUILDING CONSTRUCTION & ON-SITE IMPROVEMENTS	B1	TEMPORARY CONCRETE WASHOUT	C	SEE DETAIL SHEET C2.8
		TEMPORARY SEEDING	N/A	PROVIDE TEMPORARY SEEDING FOR DISTURBED AREAS INCLUDING LOT 1A (SEE EROSION CONTROL NOTES ON SHEET C0.1 & TEMP. SEEDING NOTES ON SHEET L1.3)
D - NORTH PARKING LOT IMPROVEMENTS	C1	INLET PROTECTION	E	SEE DETAIL SHEET C2.8
	C2	INSTALL EROSION CONTROL MATTING	E	TRM IS REQUIRED IF THE CLIENT CHOOSES TO SEED (AND NOT SOO) AREAS SHOWN ON PLAN. SEE DETAIL SHEET C2.6
	C3	REDUCE TEMPORARY SEDIMENT BASIN	C	TEMPORARY SEDIMENT BASIN SIZE REDUCED TO ACCOMMODATE THE PHASED CONSTRUCTION OF THE SITE INCLUDING BUILDING AND FUEL CANOPY CONSTRUCTION ON THE SOUTH PORTION OF THE SITE
E - POST-CONSTRUCTION/FINAL STABILIZATION	D1	REMOVE TEMPORARY SEDIMENT BASIN	C	TEMPORARY SEDIMENT BASIN TO BE FILLED IN ONCE ON-SITE STORM SEWER IS INSTALLED AND FUNCTIONING. ONCE BASIN IS REMOVED, CONSTRUCTION OF THE PARKING LOT AND DRIVES ON THE NORTH PORTION OF THE SITE SHALL BE COMPLETED.
		PLACE TOPSOIL, INSTALL EROSION CONTROL MATTING, SEED, MULCH, HYDROSEED, LANDSCAPE	N/A	ESTABLISH PERENNIAL VEGETATION WITH A 70% DENSITY OVER 100% OF DISTURBED AREA.

**LAND DISTURBANCE CALCS.**  
 TOTAL SITE AREA = 8.00± AC.  
 TOTAL DISTURBED AREA = 9.12± AC.

**TEMPORARY SEDIMENT BASIN NOTE:**  
 CONTRACTOR SHALL COORDINATE PHASED CONSTRUCTION OF THE SITE AND REMOVAL OF EXISTING TEMPORARY SEDIMENT BASIN WITH CITY OF EDGERTON. ONCE FINAL STABILIZATION OF THE MASS GRADING WORK COMPLETED BY SEPARATE EDGERTON CROSSING STREET IMPROVEMENTS BEYOND THE LIMITS OF DISTURBANCE SHOWN ON THESE PLANS IS ACHIEVED, THE TEMPORARY SEDIMENT BASIN SHALL BE FILLED IN AND CONSTRUCTION OF THE NORTHERN PORTION OF THE SITE SHALL BEGIN. THE 12" SPILLWAY OUTLET PIPE REMAINING UNDER THE PROPOSED ROADWAY SHALL BE FILLED WITH FLOWABLE FILL - "LOW STRENGTH."

**CONSTRUCTION ACCESS NOTE:**  
 CONTRACTOR SHALL USE CONSTRUCTION ENTRANCE OFF OF JUBILEE STREET SHOWN ON PLAN FOR CONSTRUCTION TRAFFIC. SHALL THE NEED FOR ADDITIONAL CONSTRUCTION ENTRANCES ARISE, CONTRACTOR SHALL PLACE A CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT AT EACH ENTRANCE. CONTRACTOR SHALL GET FINAL APPROVAL FROM CITY PRIOR TO ADDING AND USING ADDITIONAL CONSTRUCTION ENTRANCES.



**OWNER / DEVELOPER / APPLICANT:**  
 KUM & GO L.C.  
 1459 GRAND AVENUE  
 DES MOINES, IA 50309  
 CONTACT: NICK HALFHILL  
 PH: (515) 650-2841  
 EMAIL: Nick.Halfhill@kumandgo.com

**ENGINEER:**  
 OLSSON  
 2301 W. 133RD STREET, SUITE 200  
 OVERLAND PARK, KS 66213  
 CONTACT: MITCH FLEAK, P.E.  
 PH: (913) 745-2503  
 EMAIL: mifleak@olsson.com

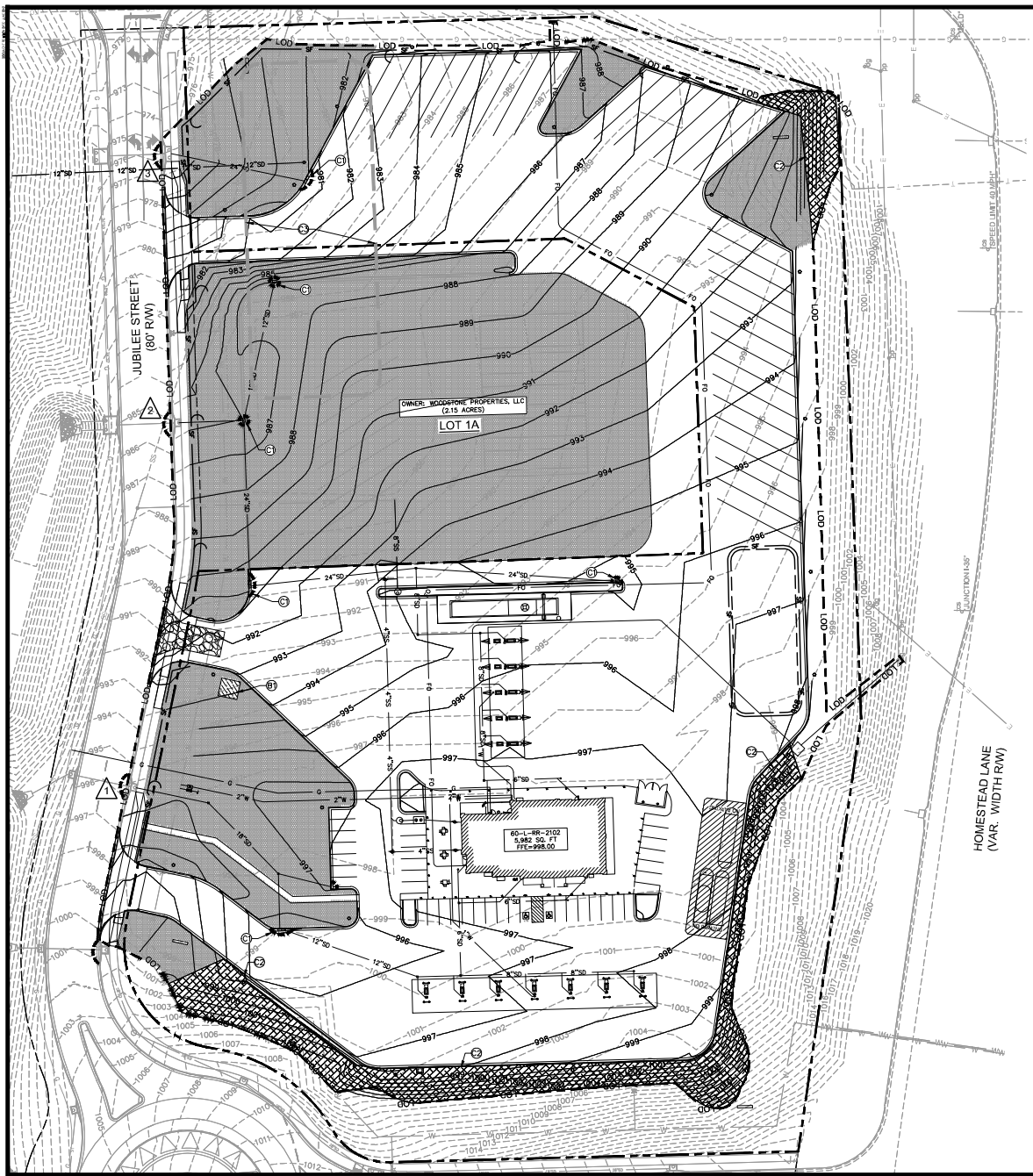


**STORE 0473 - EDGERTON, KS**  
**HOMESTEAD LN. & 199TH ST.**  
 PRE-CONSTRUCTION EROSION CONTROL PLAN

KGMAVEN PROJECT TEAM  
 ROW: JR  
 SDI: NH  
 CPM: PJD

REVISION DESCRIPTION	DATE

DATE: 02.20.24  
 SHEET NUMBER: C2.5  
 9 OF 26



**LEGEND**

- LOD
- - - - - LIMITS OF DISTURBANCE
- - - - - PROPOSED DRAINAGE PATTERN
- 1000 --- PROPOSED CONTOUR
- - - - - 1000 --- EXISTING CONTOUR
- - - - - LIMITS OF EXISTING TEMPORARY SEDIMENT BASIN
- - - - - INSTALL SILT FENCE
- - - - - INSTALL TEMPORARY DIVERSION BERM
- - - - - INSTALL CURB/AREA INLET PROTECTION
- - - - - INSTALL STRAW WATTLE
- - - - - INSTALL GRAVEL CONSTRUCTION ENTRANCE/EXIT
- - - - - INSTALL CONCRETE WASHOUT
- - - - - TEMPORARY SEEDED AREAS
- - - - - INSTALL EROSION CONTROL MATTING (NORTH AMERICAN GREEN, ROLLMAX SC-150 OR APPROVED EQUAL)
- - - - - STORM OUTFALL

**EROSION CONTROL PHASING CHART**

PROJECT STAGE	BMP PLAN REF. #	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A - PRE-CONSTRUCTION	A1	CONSTRUCTION ENTRANCE/EXIT	E	SEE DETAIL SHEET C2.8
	A2	INSTALL SILT FENCE	E	SILT FENCE TO BE INSTALLED AT 100' MAX. RUN WITH J-HOOKS AT ENDS. SEE DETAIL SHEET C2.8
	A3	INSTALL 12" STRAW WATTLE	D	SEE DETAIL SHEET C2.8
	A4	TEMPORARY STAGING/STOCKPILE AREA	E	SEE APPROX. LOCATION ON THIS SHEET.
	A5	INLET PROTECTION	E	SEE DETAIL SHEET C2.8
	A6	TEMPORARY DIVERSION BERM	C	TEMPORARY DIVERSION BERM TO BE INSTALLED PRIOR TO GRADING ACTIVITIES ON-SITE. TEMPORARY DIVERSION BERM SHALL BE UTILIZED TO DIRECT SITE WATER TO TEMPORARY SEDIMENT BASIN INSTALLED PER EDGERTON CROSSING STREET IMPROVEMENTS. SEE DETAIL SHEET C2.8
B - CLEARING & MASS GRADING	B1	TEMPORARY CONCRETE WASHOUT	C	SEE DETAIL SHEET C2.8
		TEMPORARY SEEDING	N/A	PROVIDE TEMPORARY SEEDING FOR DISTURBED AREAS INCLUDING LOT 1A (SEE EROSION CONTROL NOTES ON SHEET C0.1 & TEMP. SEEDING NOTES ON SHEET LI.3)
C - BUILDING CONSTRUCTION & ON-SITE IMPROVEMENTS	C1	INLET PROTECTION	E	SEE DETAIL SHEET C2.8
	C2	INSTALL EROSION CONTROL MATTING	E	TRM IS REQUIRED IF THE CLIENT CHOOSES TO SEED (AND NOT SOO) AREAS SHOWN ON PLAN. SEE DETAIL SHEET C2.6
	C3	REDUCE TEMPORARY SEDIMENT BASIN	C	TEMPORARY SEDIMENT BASIN SIZE REDUCED TO ACCOMMODATE THE PHASED CONSTRUCTION OF THE SITE INCLUDING BUILDING AND FUEL CANOPY CONSTRUCTION ON THE SOUTH PORTION OF THE SITE.
D - NORTH PARKING LOT IMPROVEMENTS	D1	REMOVE TEMPORARY SEDIMENT BASIN	C	TEMPORARY SEDIMENT BASIN TO BE FILLED IN ONCE ON-SITE STORM SEWER IS INSTALLED AND FUNCTIONING. ONCE BASIN IS REMOVED, CONSTRUCTION OF THE PARKING LOT AND DRIVES ON THE NORTH PORTION OF THE SITE SHALL BE COMPLETED.
E - POST-CONSTRUCTION/FINAL STABILIZATION		PLACE TOPSOIL, INSTALL EROSION CONTROL MATTING, SEED, MULCH, HYDROSEED, LANDSCAPE	N/A	ESTABLISH PERENNIAL VEGETATION WITH A 70% DENSITY OVER 100% OF DISTURBED AREA.

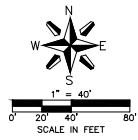
**LAND DISTURBANCE CALCS.**  
 TOTAL SITE AREA = 8.00± AC.  
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**CONSTRUCTION ACCESS NOTE:**  
 CONTRACTOR SHALL USE CONSTRUCTION ENTRANCE OFF OF JUBILEE STREET SHOWN ON PLAN FOR CONSTRUCTION TRAFFIC. SHALL THE NEED FOR ADDITIONAL CONSTRUCTION ENTRANCES ARISE, CONTRACTOR SHALL PLACE A CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT AT EACH ENTRANCE. CONTRACTOR SHALL GET FINAL APPROVAL FROM CITY PRIOR TO ADDING AND USING ADDITIONAL CONSTRUCTION ENTRANCES.

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 EMAIL: mpleak@olsson.com



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 Fax: (913) 745-2500  
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**MAVERIK**

MAVERIK CONSTRUCTION

STORE 0473 - EDGERTON, KS  
 HOMESTEAD LN. & 199TH ST.  
 SITE CONSTRUCTION EROSION CONTROL PLAN

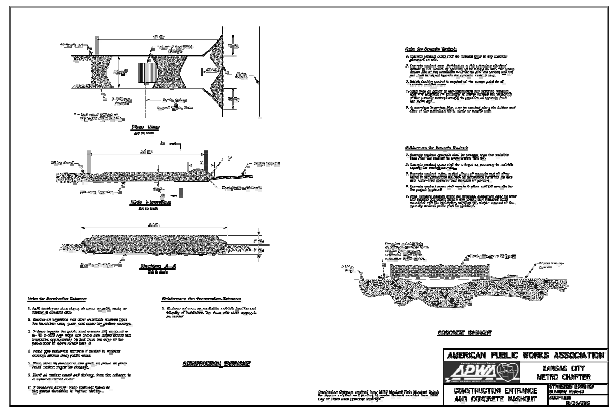
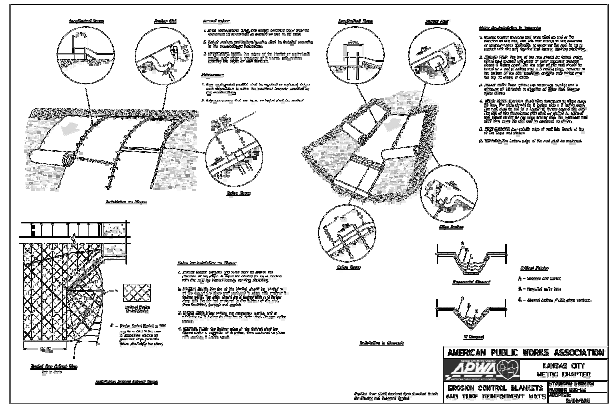
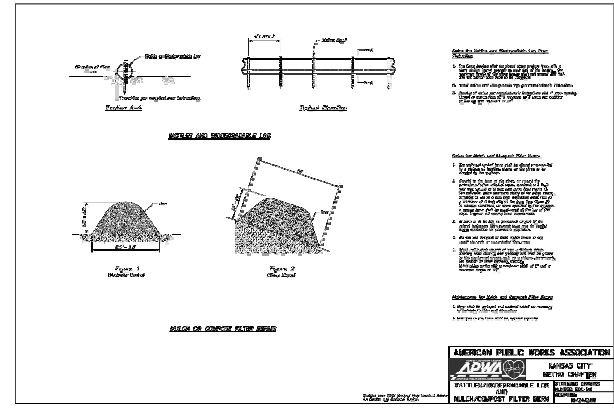
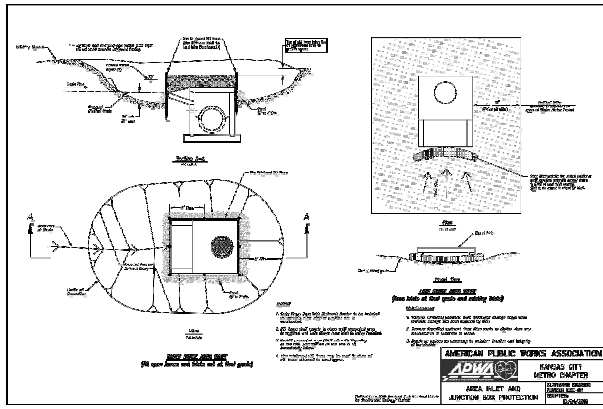
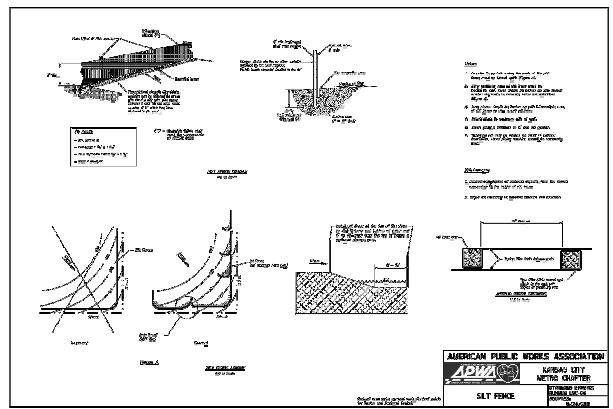
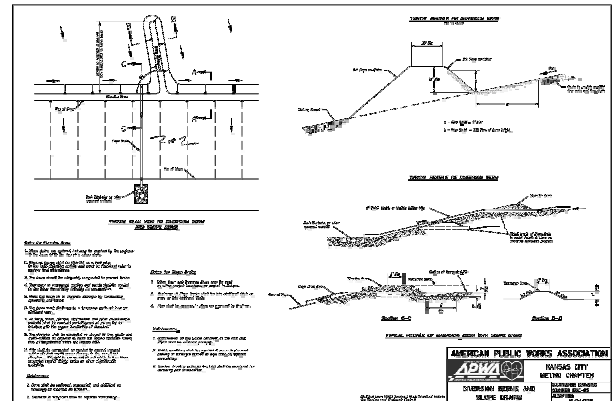
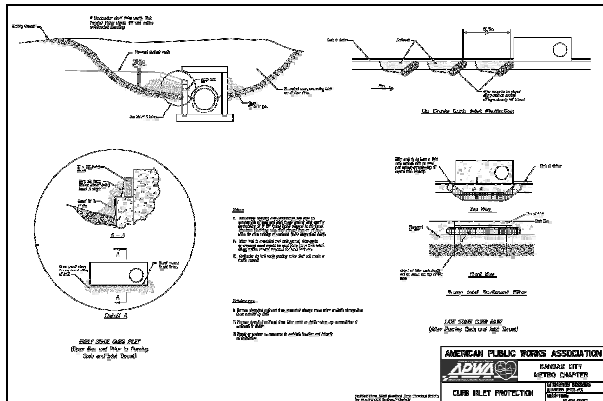
KUM&GO PROJECT TEAM:  
 ROW: JR  
 SDI: NH  
 CPH: PJD

REVISION DESCRIPTION	DATE

DATE: 02.20.24  
 SHEET NUMBER: C2.6  
 10 OF 26

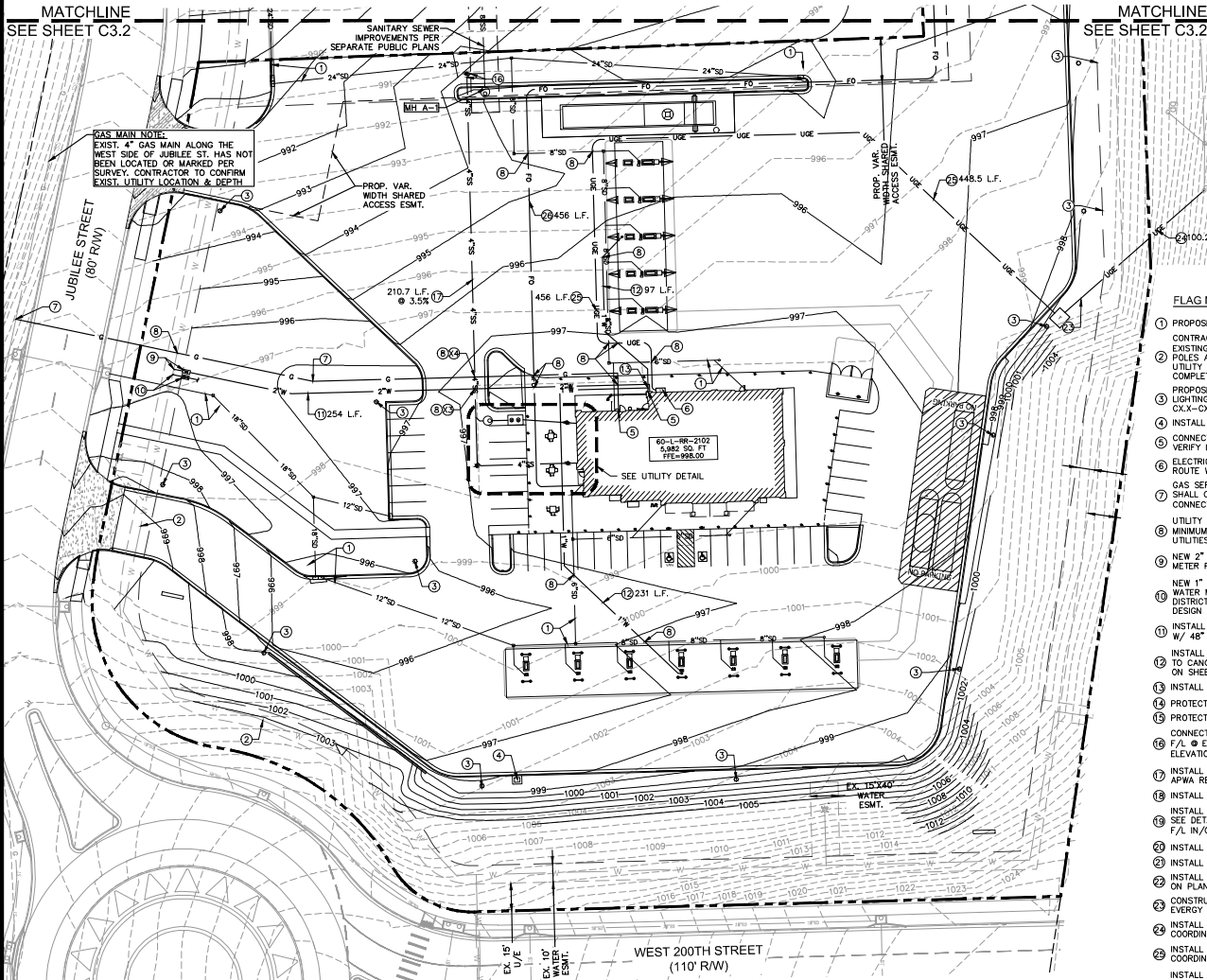




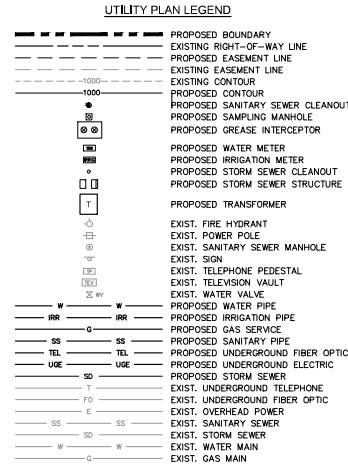


REVISION DESCRIPTION	DATE





**GAS MAIN NOTE:**  
EXIST. 4" GAS MAIN ALONG THE WEST SIDE OF JUBILEE ST. HAS NOT BEEN LOCATED OR MARKED PER SURVEY. CONTRACTOR TO CONFIRM EXIST. UTILITY LOCATION & DEPTH.



- FLAG NOTES:**
- PROPOSED STORM SEWER. SEE DRAINAGE PLAN ON SHEET CX.X. CONTRACTOR SHALL USE CAUTION WHEN WORKING AROUND EXISTING UNDERGROUND/OVERHEAD UTILITIES, STRUCTURES, POLES AND GUY WIRES. COORDINATE WITH APPROPRIATE UTILITY PROVIDER FOR ANY RELOCATIONS NEEDED TO COMPLETE CONSTRUCTION SHOWN ON THESE PLANS
  - PROPOSED LIGHT POLE. SEE MEP PLANS FOR SITE LIGHTING ELECTRICAL FOOTING DETAILS AND SHEETS CX-X-CX.X FOR POLE LOCATIONS
  - INSTALL XACTAIR AIR STATION. SEE DETAIL SHEET C5.X
  - CONNECT TO BUILDING SERVICE. CONTRACTOR SHALL VERIFY LOCATION WITH MEP PLANS
  - ELECTRICAL BUILDING CONNECTION. COORDINATE ROUTE WITH APPROPRIATE UTILITY PROVIDER
  - GAS SERVICE CONNECTION TO EXIST. GAS MAIN. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER & MEP FOR CONNECTION. SERVICE LINE SIZE/ROUTING & METER LOCATION
  - UTILITY CROSSING. CONTRACTOR SHALL MAINTAIN A MINIMUM 24" VERTICAL CLEARANCE BETWEEN UTILITIES, UNLESS SHOWN OTHERWISE ON PLANS
  - NEW 2" TAP OF EXISTING 12" WATER MAIN, 2" SERVICE & 2" WATER METER PROVIDED & INSTALLED BY RURAL WATER DISTRICT #7
  - NEW 1" TAP OF EXISTING 12" WATER MAIN, 1" SERVICE & 1" WATER METER PROVIDED & INSTALLED BY RURAL WATER DISTRICT #7. SEE IRRIGATION & MEP PLANS FOR IRRIGATION DESIGN AND BACKFLOW PREVENTER
  - INSTALL 2" POLYETHYLENE WATER SERVICE LINE W/ 48" MIN. COVER. LENGTH PER PLAN
  - INSTALL 1" POLYETHYLENE WATER SERVICE LINE W/ 48" MIN. COVER TO CANOPY YARD HYDRANT. LENGTH PER PLAN. SEE CANOPY DETAILS ON SHEET C5.X FOR CONNECTION DETAILS
  - INSTALL 1"x1"x1" TEE W/ T.B.
  - PROTECT EXISTING SANITARY SEWER MANHOLE
  - PROTECT EXISTING SANITARY SEWER MAIN
  - CONNECT TO NEW 4" SCH40 PVC SERVICE LATERAL USING 4" PVC WYE F/L @ END OF 4" SERVICE LATERAL. #84.52 (FIELD VERIFY LATERAL ELEVATION PRIOR TO SEWER SERVICE CONSTRUCTION)
  - INSTALL 4" PVC SANITARY SEWER SERVICE PER KC APWA REQUIREMENTS. LENGTH AND SLOPE PER PLAN
  - INSTALL SAMPLING MANHOLE. SEE DETAIL ON SHEET C5.X
  - INSTALL 1,000 GALLON GREASE INTERCEPTOR.
  - SEE DETAIL SHEET CX.X
  - INSTALL 4" PVC 45' BEND
  - INSTALL 4" PVC WYE
  - INSTALL SANITARY SEWER CLEANOUT; SEE LETTER DESIGNATION ON PLAN FOR TABLE DESIGN INFORMATION & DETAIL SHEET C5.X
  - CONSTRUCT CONCRETE TRANSFORMER PAD. COORDINATE WITH EVERYG FOR PAD REQUIREMENTS & TRANSFORMER INSTALLATION
  - INSTALL PRIMARY UNDERGROUND ELECTRICAL SERVICE. COORDINATE WITH EVERGY & MEP PLANS. LENGTH PER PLAN
  - INSTALL SECONDARY UNDERGROUND ELECTRICAL SERVICE. COORDINATE WITH EVERGY & MEP PLANS. LENGTH PER PLAN
  - INSTALL (1) 2" & 4" DATA/COMMUNICATIONS PVC SERVICE CONDUIT(S) W/ PULL STRINGS. LENGTH PER PLAN. COORDINATE W/ UTILITY PROVIDER FOR CONDUIT SIZE, QUANTITY, FINAL ROUTING, AND SPECIFICATIONS. ALL FEES ASSOCIATED WITH THIS WORK & MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
  - INSTALL 12"x24" PLASTIC YARD BOX FOR DATA CONDUIT TERMINATION POINT TO ENABLE CONNECTION. EXTEND CONDUIT ABOVE FINISHED GRADE 6" WITHIN BOX

- CROSSING FLAG NOTES:**
- PROP. 1" WATER F/L XXXXX
  - PROP. 4" SAN. F/L XXXXX
  - PROP. 1" WATER F/L XXXXX
  - PROP. 4" SAN. F/L XXXXX
  - PROP. 2" WATER F/L XXXXX
  - PROP. 4" SAN. F/L XXXXX
  - PROP. 1" GAS F/L XXXXX
  - PROP. 4" SAN. F/L XXXXX

**UTILITY CONTACTS:**

**WATER:**  
RURAL WATER DISTRICT NO. 7  
524 W. MAIN STREET  
GARDNER, KS 66402  
CONTACT: ALLAN SPOETAERT  
PH: (913) 856-3375  
EMAIL: aspoetaer@water7.com

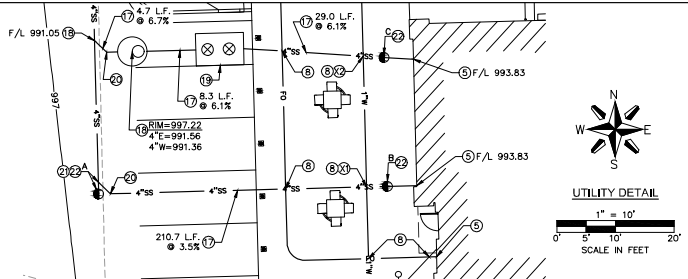
**SANITARY SEWER:**  
CITY OF EDGERTON  
710 E. NELSON STREET  
EDGERTON, KS 66021  
CONTACT: DAN MERKH  
PH: (913) 893-6231  
EMAIL: dmerkh@edgertonks.org

**STORM SEWER:**  
CITY OF EDGERTON/BC CONSULTANTS  
1405 WAKARUSA DRIVE  
LAWRENCE, KS 66049  
CONTACT: DAVID HAMBLY  
PH: (785) 749-4474  
EMAIL: davidhambly@bcgs.com

**ELECTRIC:**  
EVERGY  
CONTACT: STEVEN CHRONISTER  
PH: (785) 508-2682  
EMAIL: steven.chronister@evergy.com

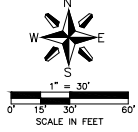
**TELEPHONE:**  
BRIGHTSPEED  
CONTACT: ANDY TUTTLE  
PH: (913) 856-2232  
EMAIL: andy.w.tuttle@brightspeed.com

**GAS:**  
KANSAS GAS SERVICE  
11401 W. 89TH STREET  
OVERLAND PARK, KS 66214  
CONTACT: BILL AHRENS  
PH: (913) 599-8996  
EMAIL: william.ahrens@negas.com



SANITARY CLEANOUT TABLE				
IDENTIFIER	NORTHING	EASTING	RIM	F/L
A	171952.27	217741.39	997.13	991.90
B	171953.58	217746.31	997.95	993.66
C	171975.55	217746.29	997.95	993.52

**NOTE:**  
CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT SHOWN AS RELOCATED OR REMOVED ON DEMOLITION PLAN (SHEET C1.X). ANY EXISTING UTILITIES INADVERTENTLY DISTURBED SHALL BE REPAIRED IN ACCORDANCE WITH UTILITY COMPANY OR JURISDICTION STANDARDS.



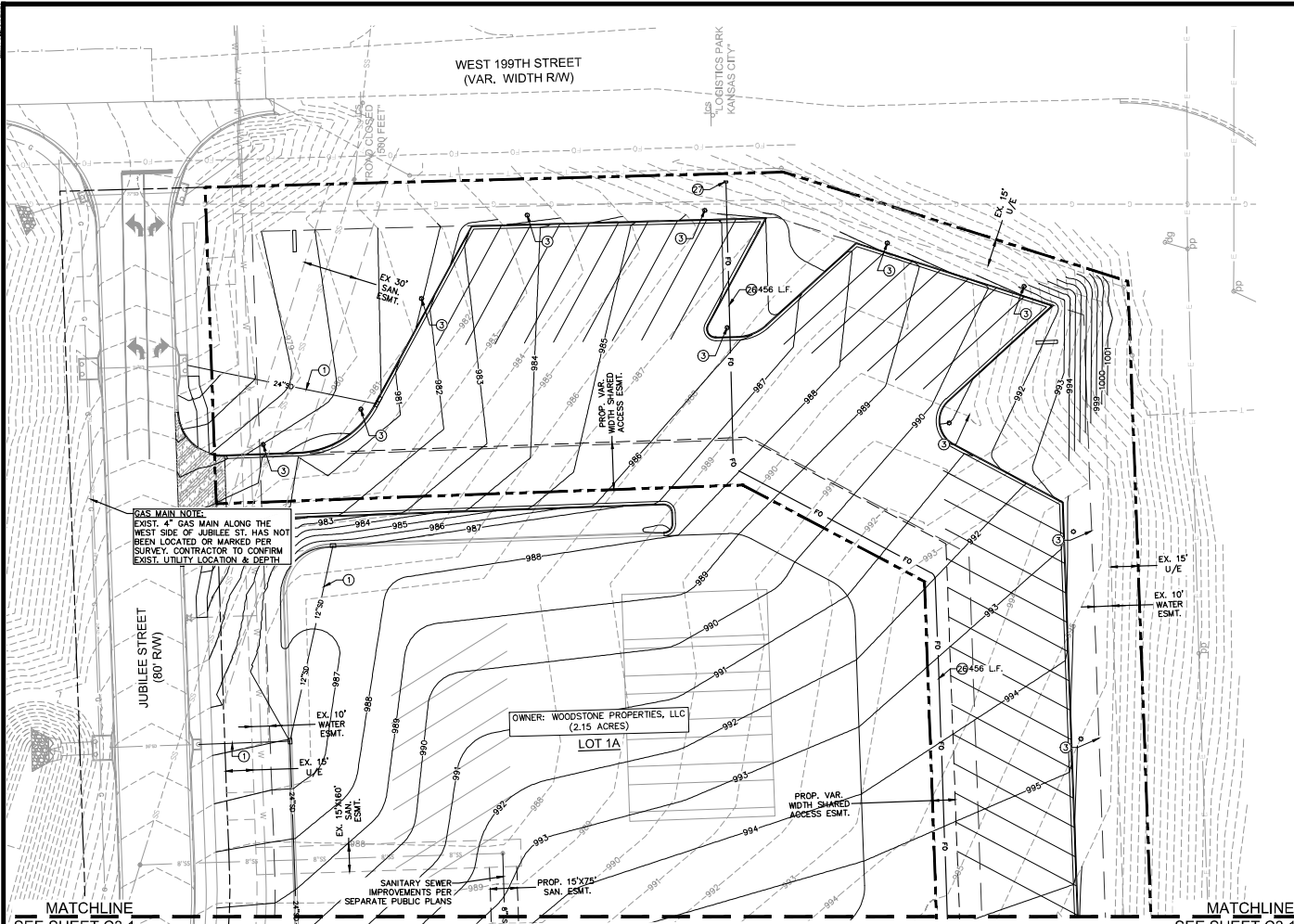
STORE 0473 - EDGERTON, KS  
HOMESTEAD LN. & 199TH ST.  
SOUTH UTILITY PLAN

DATE: 02.20.24  
SHEET NUMBER: C3.1  
13 OF 26

REVISION DESCRIPTION	DATE

DATE: 02.20.24  
SHEET NUMBER: C3.1  
13 OF 26





**UTILITY PLAN LEGEND**

---	PROPOSED BOUNDARY
---	EXISTING RIGHT-OF-WAY LINE
---	EXISTING EASEMENT LINE
---	EXISTING EASEMENT LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
○	PROPOSED SANITARY SEWER CLEANOUT
○	PROPOSED SAMPLING MANHOLE
○	PROPOSED GREASE INTERCEPTOR
○	PROPOSED WATER METER
○	PROPOSED IRRIGATION METER
○	PROPOSED STORM SEWER CLEANOUT
○	PROPOSED STORM SEWER STRUCTURE
○	PROPOSED TRANSFORMER
○	EXIST. FIRE HYDRANT
○	EXIST. POWER POLE
○	EXIST. SANITARY SEWER MANHOLE
○	EXIST. SIGN
○	EXIST. TELEPHONE PEDESTAL
○	EXIST. TELEVISION VAULT
○	EXIST. WATER VALVE
---	PROPOSED WATER PIPE
---	PROPOSED IRRIGATION PIPE
---	PROPOSED GAS SERVICE
---	PROPOSED SANITARY PIPE
---	PROPOSED UNDERGROUND FIBER OPTIC
---	PROPOSED UNDERGROUND ELECTRIC
---	PROPOSED STORM SEWER
---	EXIST. UNDERGROUND TELEPHONE
---	EXIST. UNDERGROUND FIBER OPTIC
---	EXIST. OVERHEAD POWER
---	EXIST. SANITARY SEWER
---	EXIST. STORM SEWER
---	EXIST. WATER MAIN
---	EXIST. GAS MAIN

**CROSSING FLAG NOTES:**

- ① PROP. 1" WATER F/L XXXXX
- ② PROP. 4" SAN. F/L XXXXX
- ③ PROP. 1" WATER F/L XXXXX
- ④ PROP. 4" SAN. F/L XXXXX
- ⑤ PROP. 2" WATER F/L XXXXX
- ⑥ PROP. 4" SAN. F/L XXXXX
- ⑦ PROP. 1" GAS F/L XXXXX
- ⑧ PROP. 4" SAN. F/L XXXXX

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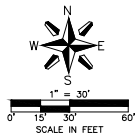
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 11401 W. 89TH STREET  
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 CONTACT: BILL AHRENS  
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MATCHLINE  
SEE SHEET C3.1

MATCHLINE  
SEE SHEET C3.1

**FLAG NOTES:**

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- ㉒ INSTALL 4" PVC WYE
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**811** Know what's below. Call before you dig.

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 WWW.CALLBEFOREYODIG.COM

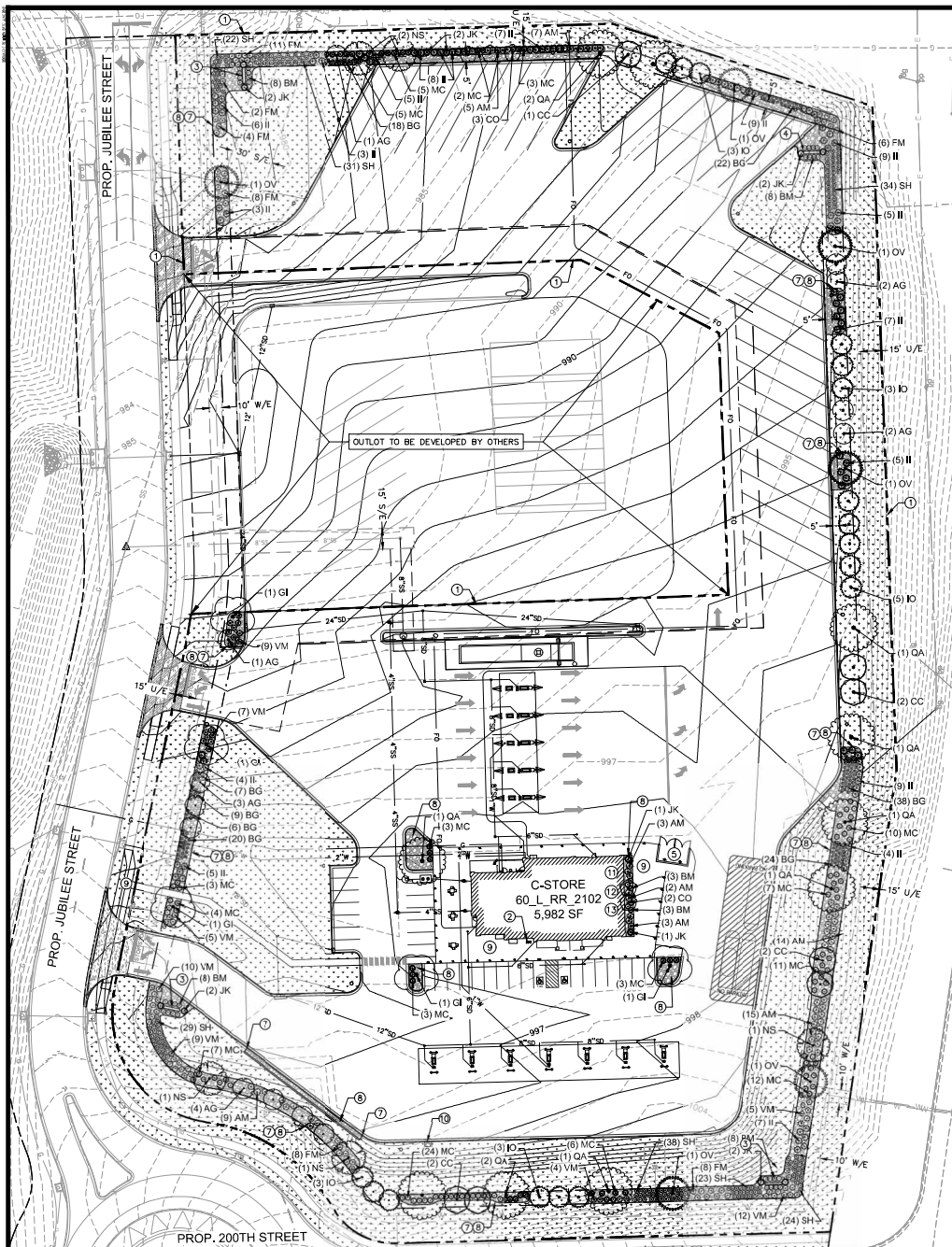


STORE 0473 - EDGERTON, KS  
 HOMESTEAD LN. & 199TH ST.  
 NORTH UTILITY PLAN

KG/HAMBY PROJECT TEAM  
 RDM: JR  
 SDI: NH  
 DMI: PJD

REVISION DESCRIPTION	DATE

DATE: 02.20.24  
 SHEET NUMBER: C3.2  
 14 OF 26



**LEGEND**

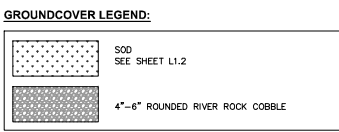
- PROPOSED BOUNDARY
- PROPERTY LINE
- ..... EXISTING RIGHT-OF-WAY LINE
- · - · - SETBACK LINE
- — — — — EXISTING EASEMENT LINE

**FLAG NOTES:**

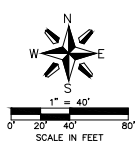
- ① PROPERTY LINE
- ② BIKE RACK
- ③ 25' MONUMENT SIGN
- ④ 30' MONUMENT SIGN
- ⑤ TRASH ENCLOSURE
- ⑥ TANK OVERDIG LIMITS
- ⑦ METAL EDGING, TYPICAL
- ⑧ 4"-6" ROUNDED RIVER ROCK, TYPICAL
- ⑨ SIDEWALK
- ⑩ AIR MACHINE
- ⑪ IRRIGATION CLOCK
- ⑫ RAIN/FREEZE SENSOR
- ⑬ IRRIGATION METER

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER TYPE	M. HT.	M. WIDTH
<b>EVERGREEN TREES</b>							
○	IO	17	ILEX OPACA AMERICAN HOLLY	6'-8" HT.	B&B	15'-30'	10'-20'
○	JK	12	JUNIPERUS CHINENSIS 'KETELEERI' KETELEERI CHINESE JUNIPER	6'-8" HT.	B&B	15'-20'	4'-6"
<b>SHADE TREES</b>							
○	GI	5	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' SKYLINE HONEY LOCUST	2.5" CAL.	B&B	35'-45'	25'-35'
○	NS	5	NYSSA SYLVATICA TUPELO	2.5" CAL.	B&B	30'-50'	20'-30'
○	OV	6	OSTRYA VIRGINIANA AMERICAN HOPHORNBEAM	2.5" CAL.	B&B	25'-40'	20'-30'
○	QA	10	QUERCUS ACUTISSIMA SAWTOOTH OAK	2.5" CAL.	B&B	35'-45'	30'-45'
<b>SMALL TREES</b>							
○	AG	13	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE APPLE SERVICEBERRY	1.5" CAL.	B&B	15'-25'	15'-20'
○	CC	7	CERIS CANADENSIS EASTERN REDBUD	1.5" CAL.	B&B	20'-25'	20'-25'
○	CO	5	COTINUS OBOVATUS AMERICAN SMOKE TREE	1.5" CAL.	B&B	10'-15'	10'-15'
<b>SYMBOL CODE QTY BOTANICAL / COMMON NAME SIZE CONTAINER TYPE M. HT. M. WIDTH.</b>							
<b>DECIDUOUS SHRUBS</b>							
○	AM	58	ARONIA MELANOCARPA BLACK CHOKEBERRY	24" MIN. HT. AFTER INSTALLATION AND INITIAL PRUNING	CONTAINER	3'-6"	3'-6"
○	FM	47	FOTHERGILLA 'MOUNT AIRY' DWARF FOTHERGILLA	24" MIN. HT. AFTER INSTALLATION AND INITIAL PRUNING	CONTAINER	3'-5"	3'-5"
○	VM	61	VIBURNUM DENTATUM 'BLUE MUFFIN' BLUE MUFFIN ARROWWOOD VIBURNUM	24" MIN. HT. AFTER INSTALLATION AND INITIAL PRUNING	CONTAINER	3'-5"	3'-4"
<b>EVERGREEN SHRUBS</b>							
○	BM	38	BUXUS 'GREEN VELVET' GREEN VELVET BOXWOOD	24" MIN. HT. AFTER INSTALLATION AND INITIAL PRUNING	CONTAINER	3'-4"	3'-4"
○	II	96	ILEX GLABRA 'COMPACTA' COMPACT INKBERY	24" MIN. HT. AFTER INSTALLATION AND INITIAL PRUNING	CONTAINER	3'-4"	4'-6"
○	MC	108	MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE	24" MIN. HT. AFTER INSTALLATION AND INITIAL PRUNING	CONTAINER	2'-3"	3'-5"
<b>ORNAMENTAL GRASSES</b>							
+	BG	144	BOULETELOUA GRACILIS BLUE GRAMA GRASS	1 GAL.	CONTAINER	0.75'-2'	1.5'-2'
+	SH	201	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSSEED	1 GAL.	CONTAINER	2'-3"	2'-3"



CALIPER SHALL BE MEASURED AT THREE (3) FEET ABOVE THE GROUND SURFACE PLANT. HT. = MINIMUM PLANT HEIGHT AT TIME OF PLANTING



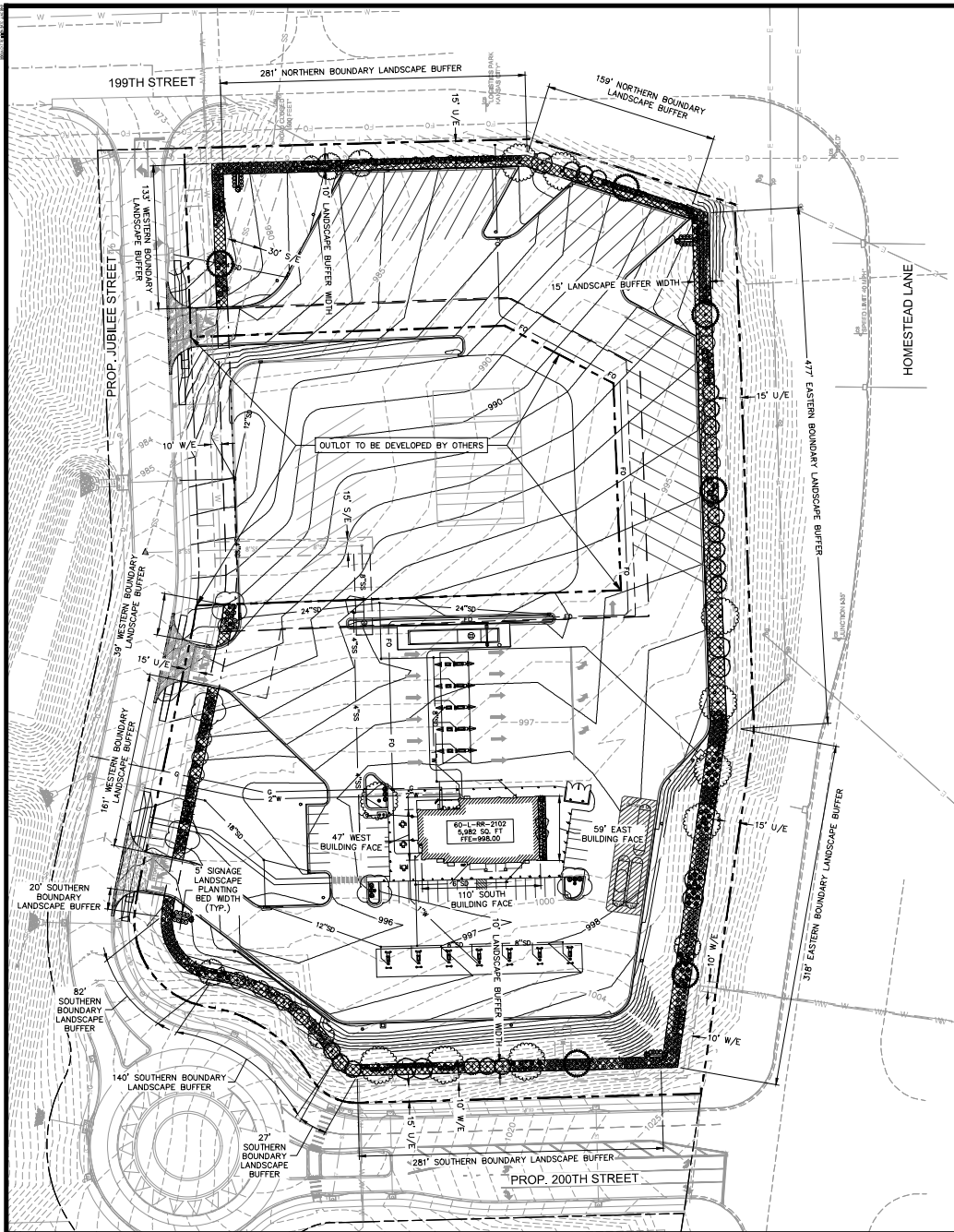
**STORE 0473 - EDGERTON, KS**  
**HOMESTEAD LN. & 199TH ST.**  
 LANDSCAPE PLAN

IGNAVIA PROJECT TEAM:  
 ROJ: JR  
 SDH: NH  
 CPH: PJD

REVISION	DESCRIPTION	DATE

DATE: 02.20.24  
 SHEET NUMBER: L1.1  
 15 OF 26





**ZONING CODE - LANDSCAPE CALCULATIONS:**

**Zoning**  
 Current Property:  
 C-2 (Heavy Service Commercial)

**Adjacent Property:**  
 North - 199th Street (Type II/4-Lane Road)  
 East - Homestead Lane (Type II/4-Lane Road)  
 South - Prop. 200th Street (Private 2 Lane Road)  
 West - Prop. Jubilee Street (Private 2 Lane Road)

**Landscape Buffers**  
 Adjacent to Public Right-of-Way of a 4 Lane Divided Road - 15' minimum buffer width, 1 deciduous shade tree, 1 ornamental tree, 1 evergreen tree, and 15 shrubs and ornamental grasses per 100 linear feet (L.F.)

Adjacent to Private Street of a 2 Lane/4 Lane Undivided Road - 10' minimum buffer width, 1 deciduous shade tree, 1 ornamental tree, 1 evergreen tree, and 15 shrubs and ornamental grasses per 100 linear feet (L.F.)

**Northern Boundary - 199th Street (2-Lane Undivided Road) 440 L.F. (281 + 159)**  
 Required: 10' minimum buffer width, 5 deciduous shade trees, 5 ornamental trees, 5 evergreen trees, 75 shrubs and 75 ornamental grasses  
 Provided: 10' minimum buffer width, 5 deciduous shade trees, 5 ornamental trees, 5 evergreen trees, 51 evergreen shrubs (68%), 24 deciduous shrubs (32%), and 75 ornamental grasses

**Eastern Boundary - Homestead Lane (Type II/4-Lane Road) 791 L.F. (473 + 318)**  
 Required: 15' minimum buffer width, 8 deciduous shade trees, 8 ornamental trees, 8 evergreen trees, 120 shrubs and 120 ornamental grasses  
 Provided: 15' minimum buffer width, 8 deciduous shade trees, 8 ornamental trees, 8 evergreen trees, 82 evergreen shrubs (68%), 38 deciduous shrubs (32%), and 120 ornamental grasses

**Southern Boundary - Prop. 200th Street (Private 2 Lane Road) 550 L.F. (20 + 82 + 140 + 27 + 281)**  
 Required: 10' minimum buffer width, 6 deciduous shade trees, 6 ornamental trees, 6 evergreen trees, 90 shrubs and 90 ornamental grasses  
 Provided: 10' minimum buffer width, 6 deciduous shade trees, 6 ornamental trees, 6 evergreen trees, 37 evergreen shrubs (41%), 53 deciduous shrubs (59%), and 90 ornamental grasses

**Western Boundary - Prop. Jubilee Street (Private 2 Lane Road) 333 L.F. (161 + 39 + 133)**  
 Required: 10' minimum buffer width, 4 deciduous shade trees, 4 ornamental trees, 4 evergreen trees, 60 shrubs and 60 ornamental grasses  
 Provided: 10' minimum buffer width, 4 deciduous shade trees, 4 ornamental trees, 4 evergreen trees, 25 evergreen shrubs (42%), 35 deciduous shrubs (58%) and 60 ornamental grasses

**Loading and Dumpster Screening**  
 Loading and dumpster areas visible from public right-of-way shall be screened with a consistent 6' opaque screening wall with a solid metal gate. All fencing visible from a public right-of-way shall be either masonry, wrought iron, decorative metal, living plant material or a combination of these.

Required: 6' opaque wall and solid metal gate.  
 Provided: 6' opaque masonry wall and solid metal gate.

**Parking Screening**  
 At a minimum, all parking areas containing more than six spaces shall be screened on each side that adjoins any property situated in a residential or agricultural district.

Required: None (Site is not situated in a residential or agricultural district)  
 Provided: None

**Parking Islands**  
 Parking islands shall include landscaping which at a minimum includes 1 deciduous tree and 3 shrubs.

Required: Per each parking island, 1 deciduous tree and 3 shrubs  
 Provided: 3 parking islands, 3 deciduous trees, 9 shrubs

**Building Facade/Foundation Landscaping**  
 Landscape areas may be placed adjacent to the building wall or adjacent to the curb to coordinate with building overhangs and canopies. Along any building facade or foundation that fronts upon a public right-of-way or a parking lot provided for the building, landscape areas shall be provided equivalent to a minimum of 25% of each building facade or foundation. The landscape area may be a continuous area or comprised of several areas. Each landscape area shall be planted with shrubs capable of reaching 3' in height above the adjacent parking area or drive, covering a minimum of 75% of the length of the landscape area. Shrubs do not exceed 2.5' in height for areas where it is important to maintain visibility for security and safety purposes. A mixture of evergreen and deciduous shrubs shall be used to maintain seasonal interest. Planting areas shall have a minimum width of either 6' of the equivalent of 20% of the building facade height as measured from the ground elevation to the top of the wall or parapet, whichever is greater. Deciduous and evergreen shrubs shall have spacing from 3' to 5' apart depending upon species.

**North Building Face:** Excluded due to the service area with no parking between the fuel stations and building.  
 Required: N/A

**East Building Face: 59 L.F.**  
 Required: 15 L.F. 6' wide foundation planting bed, 4 shrubs (12 L.F. plant minimum with shrubs 3' apart, covering 75% of planting bed), 33% evergreen species  
 Provided: 59 L.F. 6' wide foundation planting bed, 8 deciduous shrubs, 6 evergreen shrubs, 2 ornamental trees, 2 evergreen trees (covering 75% of planting bed), 44% evergreen species

**South Building Face: 110 L.F.**  
 Required: 28 L.F. 6' wide foundation planting bed, 7 shrubs (21 L.F. plant minimum with shrubs 3' apart, covering 75% of planting bed), 33% evergreen species  
 Provided: South Foundation Landscaping is combined into the East Foundation Landscaping to allow access to outdoor merchandise.

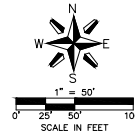
**West Building Face: 47 L.F.**  
 Required: 12 L.F. 6' wide foundation planting bed, 3 shrubs (9 L.F. plant minimum with shrubs 3' apart, covering 75% of planting bed), 33% evergreen species  
 Provided: West Foundation Landscaping is combined into the East Foundation Landscaping to avoid proposed utility corridor.

**Signage Landscaping**  
 Monument Sign - 4 total  
 The base of a monument sign shall be softened with landscaping sufficient to cover an area extending not less than 2.5 feet around the base of the sign.  
 Required: 2.5' wide minimum planting bed around the base of sign.  
 Provided: 5' wide minimum planting bed around the base of sign, 2 evergreen trees, 8 evergreen shrubs

**Species Diversity**  
 At least 1/3 of the plantings shall be evergreen species.  
 474 total shrubs and trees on site  
 Required: 156 (33%) evergreen species trees and shrubs  
 Provided: 260 (55%) evergreen species trees and shrubs

**HATCH LEGEND**

- LANDSCAPE BUFFER (LAWN AREA, UNLESS NOTED OTHERWISE ON L1.1)
- FOUNDATION PLANTING



FOR PLANNING STAFF  
 CITY REVIEWER  
 USE ONLY



STORE 0473 - EDGERTON, KS  
 HOMESTEAD LN. & 199TH ST.  
 LANDSCAPE CALCULATIONS

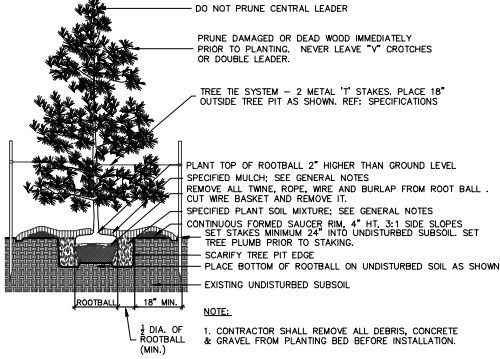
IGNAVIEN PROJECT TEAM  
 RDM: JR  
 SDI: NH  
 CPM: PJD

DATE	REVISION DESCRIPTION

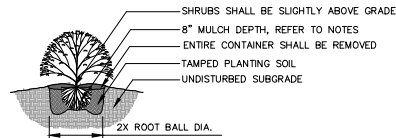
DATE: 02.20.24  
 SHEET NUMBER:  
 L1.2  
 16 OF 26

**GENERAL NOTES**

1. ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
2. LOCATE AND FLAG ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL PROTECT EXISTING OVERHEAD AND UNDERGROUND UTILITIES. ANY DAMAGE TO SUCH SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
3. PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE CITY AND LOCAL GOVERNING BODIES. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN.
4. PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ALL CHANGES OR SUBSTITUTIONS MUST BE APPROVED BY THE CITY AND THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND OF THE SPECIES AND SIZE AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
6. PLANTING SHALL BE COMMENCED DURING EITHER THE SPRING (MARCH 1-JUNE 10) OR FALL (SEPTEMBER 1 - NOVEMBER 15) PLANTING SEASON AND WITH WATER AVAILABLE FOR IRRIGATION PURPOSES.
7. THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
8. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL SHRUB BEDS PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
9. BACKFILL ALL PLANTING BEDS TO A MINIMUM 12-INCH DEPTH WITH PLANTING SOIL MIX. PLANTING SOIL MIX SHALL CONSIST OF ONE (1) PART PERLITE, ONE (1) PART PEAT MOSS, AND TWO (2) PARTS CLEAN LOAM TOPSOIL. THOROUGHLY MIX PLANTING SOIL COMPONENTS PRIOR TO PLACEMENT.
10. ALL PLANTING BEDS (EXCEPT RAISED PLANTERS IN PATIO) SHALL CONTAIN ROUNDED RIVER ROCK COBBLE MULCH AND INCLUDE A GEOTEXTILE WEED BARRIER FABRIC. ROUNDED RIVER ROCK COBBLE SHALL BE 1/2" - 1" IN DIAMETER AND 8" IN DEEP IN ALL AREAS. ROUNDED RIVER ROCK COBBLE SHALL BE BROWN AND TAN COLOR SMOOTH TEXTURED STONE. ROCK SHALL BE A NATIVE TYPE STONE TYPICAL TO THE AREA AND SHALL BE WASHED CLEAN OF SOIL AND DEBRIS.
11. ALL LANDSCAPE AREAS AND SOD AREAS SHALL BE IRRIGATED WITH A HIGH-EFFICIENCY, AUTOMATIC IRRIGATION SYSTEM ACHIEVING 100% EVEN COVERAGE OF ALL LANDSCAPE AREAS. IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET ALL CITY REQUIREMENTS. DRIP IRRIGATION SHALL BE USED IN ALL LANDSCAPE BEDS AND SPRAY HEADS SHALL BE USED ON ALL SODDED AREAS. REFER TO CIVIL PLANS FOR IRRIGATION METER LOCATION.
12. METAL LANDSCAPE EDGING IS TO BE USED ON ALL LANDSCAPE BEDS OR ROCK BEDS ABUTTING LAWN AREAS AS NOTED ON LANDSCAPE PLANS.
13. KILL AND REMOVE ALL EXISTING WEEDS FROM THE SITE AREA PRIOR TO PLANTING.
14. THE ENTIRE SURFACE TO RECEIVE SOD SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
15. ALL DISTURBED AREAS, WITH THE EXCEPTION OF PAVED, SHALL BE SODDED.
16. LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL AND ACCEPTANCE OF THE PROJECT HAS TAKEN PLACE. ANY MATERIAL WHICH DIES, OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) TO BE PROMPTLY REMOVED AND REPLACED.
17. THE CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE, OR STORE OPENING, WHICHEVER IS GREATER. CONTRACTOR TO MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).

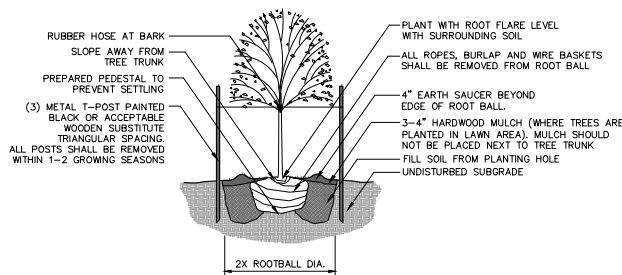


**E EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



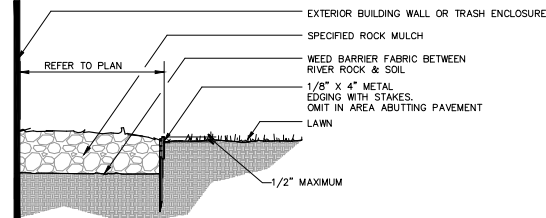
- NOTES:
1. MINIMUM ROOT SPREAD TO BE IN ACCORDANCE WITH ANLA STANDARDS.
  2. PRUNE DAMAGED LIMBS OR ROOTS AFTER INSTALLATION.
  3. MAKE SURE ROOTS DO NOT DRY OUT DURING INSTALLATION.
  4. SOAK GENEROUSLY TO COMPACT AND SETTLE.

**D SHRUB PLANTING DETAIL**  
NOT TO SCALE

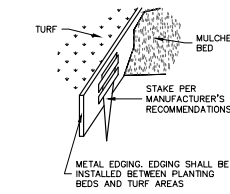


- NOTES:
1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
  2. IN AREAS OF TURF, SURROUND BED WITH 6\"/>

**B DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



**C MAINTENANCE EDGE AND RIVER ROCK MULCH DETAIL**  
NOT TO SCALE



**A METAL EDGING DETAIL**  
NOT TO SCALE



**F RIVER ROCK MULCH EXAMPLE**  
NOT TO SCALE

**SOD NOTES**

1. UNLESS OTHERWISE NOTED ON PLANS, ALL DISTURBED AREAS SHALL BE SODDED WITH TURF-TYPE TALL FESCUE SOD WITH A MINIMUM OF 4 INCHES.
2. ALL LAWN AREAS SHALL RECEIVE A MINIMUM 6-INCH DEPTH OF TOPSOIL COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
3. THE ENTIRE SURFACE TO BE SODDED SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
4. SOD SHALL BE MACHINE STRIPPED AT A UNIFORM SOIL THICKNESS OF APPROXIMATELY ONE INCH (PLUS OR MINUS 1/4-INCH). THE MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH, AND SHALL BE DETERMINED AT THE TIME OF CUTTING IN THE FIELD. PREPARATION SHALL BE TAKEN TO PREVENT DRYING AND HEATING SOD DAMAGED BY HEAT AND DRY CONDITIONS, AND SOD CUT MORE THAN 18 HOURS BEFORE BEING INCORPORATED INTO THE WORK SHALL NOT BE USED.
5. HANDLING OF SOD SHALL BE TAKEN IN A MANNER THAT WILL PREVENT TEARING, BREAKING, DRYING AND OTHER DAMAGE. PROTECT EXPOSED ROOTS FROM DEHYDRATION. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITHIN 24 HOURS.
6. MOSTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE INSTALLING SOD. FERTILIZE HARROW OR RAKE FERTILIZER IN THE TOP 1-1/2-INCHES OF TOPSOIL. AT A UNIFORM RATE OF ONE POUND OF NITROGEN PER 1000 SF.
7. SOD SHALL BE CAREFULLY PLACED IN THE DIRECTION PARALLEL TO THE SLOPE OF THE AREA TO BE SODDED. SOD STRIPS SHALL BE BUTTED TOGETHER BUT NOT OVERLAPPED WITH THE SEAMS STAGGERED ON EACH ROW.
8. FERTILIZER SHALL BE 20-10-5 COMMERCIAL FERTILIZER OF THE GRADE, TYPE, AND FORM SPECIFIED AND SHALL COMPLY WITH THE RULES OF THE STATE OF MISSOURI DEPT. OF AGRICULTURE. FERTILIZER SHALL BE IDENTIFIED ACCORDING TO THE PERCENT N, P, K, IN THAT ORDER.
9. ALL SOD ON SLOPES GREATER THAN 5:1 SHALL BE STAKED.
10. SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF FOUR INCHES BELOW SOD.
11. CONTRACTOR SHALL PROVIDE FULL MAINTENANCE FOR SODDED TURF GRASS FOR A PERIOD OF 30 DAYS AFTER THE DATE OF FINAL ACCEPTANCE OR STORE OPENING, WHICHEVER IS GREATER. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE TURF MUST BE ESTABLISHED. THE TURF GRASS SHALL BE FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES.

**SEEDING NOTES**

1. ALL SEEDED AREAS SHALL HAVE 6\"/>
- 2. SEED SHALL BE AN IMPROVED TURF-TYPE TALL FESCUE AT A RATE OF 10 LBS./1000 SF. ALL SEED SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- 3. THE OWNER RESERVES THE RIGHT TO INSPECT SEED AT THE SITE BEFORE SEEDING OPERATIONS COMMENCE. THE OWNER MAY REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING SEEDING OPERATIONS. REJECTED MATERIALS MUST BE REMOVED FROM THE PROJECT SITE.
- 4. PROVIDE CERTIFICATION OF GRASS SEED: FROM SEED VENDOR FOR EACH GRASS-SEED MONOSAND OR MIXTURE STATING THE BOTANICAL AND COMMON NAME, PERCENTAGE BY WEIGHT OF EACH SPECIES AND VARIETY, AND PERCENTAGE OF PURITY, GERMINATION AND WEED SEED. INCLUDING DATE OF PRODUCTION AND DATE OF PACKAGING. PROVIDE SEED TAGS SHOWING PRODUCERS OR DEALERS PERMIT NUMBER AND DATE OF TESTING. TEST DATE SHALL BE NO MORE THAN 90 DAYS PREVIOUS TO TIME OF USE.
- 5. SEED AND OTHER PACKAGED MATERIALS: DELIVER PACKAGED MATERIALS IN ORIGINAL UNOPENED CONTAINERS SHOWING WEIGHT, CERTIFIED ANALYSIS, NAME AND ADDRESS OF MANUFACTURER, AND INDICATION OF CONFORMANCE WITH STATE AND FEDERAL LAWS, AS APPLICABLE.
- 6. STORE ALL PACKAGED SEED OFF GROUND AND PROTECT FROM MOISTURE AND TEMPERATURE EXTREMES. IF NECESSARY TO STORE SEED PRIOR TO USE ON THE PROJECT SITE, IT SHALL BE STORED IN A COOL, DRY LOCATION TO PROTECT SEEDS FROM DETRIORATION.
- 7. PLANT DURING ONE OF THE FOLLOWING PERIODS:  
SPRING SEEDING: MARCH 1 - JUNE 1  
FALL SEEDING: AUGUST 1 - NOVEMBER 1  
DORMANT SEEDING: DECEMBER - MARCH.
- 8. COORDINATE PLANTING OPERATIONS WITH INITIAL MAINTENANCE PERIODS TO PROVIDE REQUIRED MAINTENANCE FROM DATE OF PLANTING COMPLETION.
- 9. PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND WHEN FAVORABLE WEATHER RESULTS MAY BE OBTAINED. APPLY PRODUCTS DURING FAVORABLE WEATHER CONDITIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 10. PROVIDE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH AOSA'S "JOURNAL OF SEED TECHNOLOGY"; RULES FOR TESTING SEEDS FOR PURITY AND GERMINATION TOLERANCES.
- 11. TEMPORARY COVER CROP TO BE: LOLLUM MULTIFLORUM-ANNUAL RYE.
- 12. FERTILIZER: COMMERCIAL-GRADE COMPLETE OF NEUTRAL CHARACTER, CONSISTING OF FAST- AND SLOW-RELEASE NITROGEN, 50 PERCENT DERIVED FROM NATURAL ORGANIC SOURCES OF UREA FORMALDEHYDE, PHOSPHOROUS, AND POTASSIUM IN THE FOLLOWING COMPOSITION: 8-32-16.
- 13. SUBMIT BONDED FIBER MATRIX MULCH (BFM) SPECIFICATIONS FOR APPROVAL BY OWNER A MINIMUM OF TWO WEEKS BEFORE SEEDING OPERATIONS COMMENCE.
- 14. HERBICIDE: REGISTERED AND APPROVED BY EPA, ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION, AND OF TYPE RECOMMENDED BY MANUFACTURER FOR EACH SPECIFIC PROBLEM AND AS REQUIRED FOR PROJECT CONDITIONS AND APPLICATION. DO NOT USE RESTRICTED HERBICIDES UNLESS AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.
- 15. PRE-EMERGENT HERBICIDE (SELECTIVE AND NON-SELECTIVE): EFFECTIVE FOR CONTROLLING THE GERMINATION OR GROWTH OF WEEDS WITHIN PLANTED AREAS AT THE SOIL LEVEL, DIRECTLY BELOW THE MULCH LAYER. USE TUPERSAN, AS MANUFACTURED BY DUPONT. SPRING SEEDING ONLY.
- 16. EROSION CONTROL BLANKETS: NORTH AMERICAN GREEN ([WWW.NAGREEN.COM](http://WWW.NAGREEN.COM)) OR APPROVED EQUAL. INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 4:1 AND GREATER, IMMEDIATELY AFTER COMPLETING SEEDING.
- 17. VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, OR ACID HAVE BEEN DEPOSITED IN SOIL WITHIN THE PLANTING AREAS.
- 18. UNIFORMLY MOISTEN EXCESSIVELY DRY SOIL WITH A FINE SPRAY SO THAT IS WORKABLE AND NOT TOO DUSTY.
- 19. LIGHTLY RAKE SOIL TO INSURE SMOOTH, UNIFORM SURFACE TEXTURE WITH NO DRIFT CLODS OR STONE GREATER THAN 1\"/>
- 20. INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- 21. FERTILIZATION: APPLY AT ONE (1) POUND OF ACTUAL PHOSPHORIC ACID (P2O) PER THOUSAND (1000) SQ. FT. APPLY BY MIXING OR DRAGGING INTO SURFACE ONE & ONE-HALF INCH (1.5\") OF TOPSOIL IMMEDIATELY BEFORE SEEDING.
- 22. SEEDING: WHENEVER PRACTICABLE, SOW SEED WITH A DRILL TYPE SEEDING MACHINE (BRILLION, JACOBSON, ROGERS OR 'T' PASTURE PLEASER).
- 23. SOW SEED AT A TOTAL RATE OF 15 LB/1000 SQ. FT.
- 24. APPLY BONDED FIBER MATRIX MULCH (BFM) TO ALL SEEDED AREAS, TO ALL SEEDED AREAS LESS THAN 4:1 SLOPE, AFTER SEEDING HAS BEEN COMPLETED.
- 25. PROTECT SEEDED AREAS WITH SLOPES NOT EXCEEDING 1:6 BY SPREADING STRAW MULCH. SPREAD UNIFORMLY AT A MINIMUM RATE OF 2 TONS/ACRE TO FORM A CONTINUOUS BLANKET OVER SEEDED AREAS. SPREAD BY HAND, BLOWER, OR OTHER SUITABLE EQUIPMENT.
- 26. INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 AND STEEPER, IMMEDIATELY AFTER COMPLETING SEEDING.
- 27. MAINTAIN AND ESTABLISH SEEDED TURF BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE TURF. ROLL, RE-GRADE, AND REPLANT BARE OR ERODED AREAS AND RE-MULCH TO PRODUCE A UNIFORMLY SMOOTH TURF. PROVIDE MATERIALS AND INSTALLATION THE SAME AS THOSE USED IN THE ORIGINAL INSTALLATION.
- 28. CONTRACTOR TO WATER SEEDING BY PROVIDING ALL EQUIPMENT AND LABOR. PAYMENT FOR WATER BY THE OWNER IF METERED BY OWNER, OR BY CONTRACTOR SUBMISSION OF METER GENERATED WATER BILLS. CONTRACTOR TO VERIFY IF WATER IS AVAILABLE FROM ON-SITE FIRE HYDRANTS AND/OR OTHER SOURCES.
- 29. PERFORM INITIAL MOWING TO A HEIGHT OF 3\"/>
- 30. TURF INSTALLATIONS SHALL MEET THE FOLLOWING CRITERIA FOR ACCEPTANCE AS DETERMINED BY THE LANDSCAPE ARCHITECT: GRASS REQUIRES MOWING (5 INCHES TALL); SCATTERED BARE SPOTS DO NOT EXCEED ONE-HALF (1/2) SQ. FT. IN AREA; SCATTERED BARE SPOTS DO NOT EXCEED ONE PERCENT (1%) OF THE TOTAL LAWN AREA.
- 31. UPON COMPLETION OF THE WORK AND FULFILLMENT OF THE REQUIREMENTS OF THIS SECTION, NOTIFY THE OWNER IN WRITING A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO THE REQUESTED INSPECTION DATE THAT THE WORK IS READY FOR FINAL INSPECTION.
- 32. AT ALL TIMES, KEEP PREMISES ON WHICH WORK IS BEING DONE, AND ADJOINING PREMISES WITHIN AND WITHOUT THE CONTRACT LIMITS CLEAN OF RUBBISH CAUSED BY THE WORK.
- 33. UPON COMPLETION OF THE WORK, CLEAN UP ALL DEBRIS CAUSED BY THE WORK AND LEAVE AREA WITHIN THE CONTRACT LIMITS IN A NEAT AND CLEAN CONDITION.



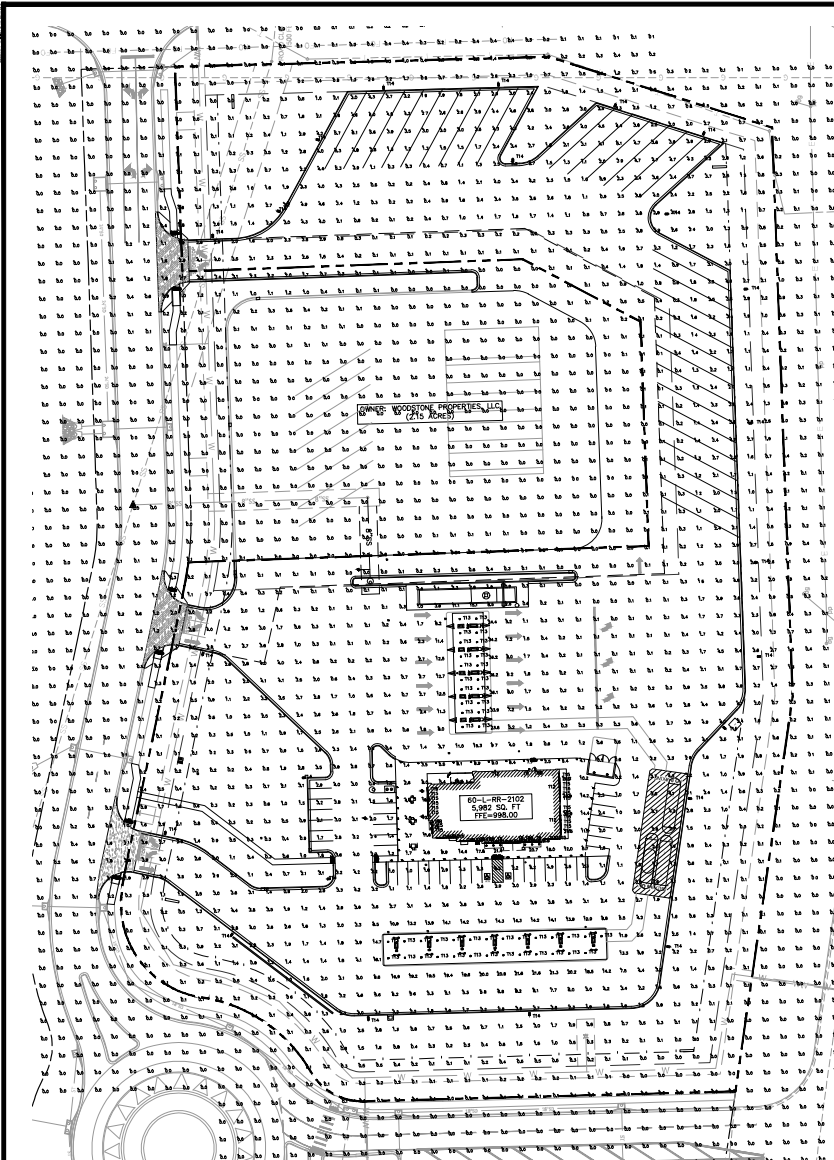
**STORE 0473 - EDGERTON, KS**  
**HOMESTEAD LN. & 199TH ST.**  
**LANDSCAPE DETAILS & NOTES**

IGNAVIA PROJECT TEAM:  
RUI JR.  
SOL N  
CPK PID

REVISION DESCRIPTION	DATE

DATE: 02.20.24  
SHEET NUMBER: L1.3  
17 OF 26





PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

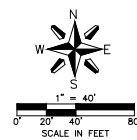


Photometric data for fixture types "T8 & T8B" are based upon another manufacturer's test data and as a result can not be verified by LSI Industries for this calculation.

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	1.17	36.2	0.0	N.A.	N.A.
DIESEL CANOPY	Illuminance	Fc	56.94	71.2	37.9	1.50	1.88
GAS CANOPY	Illuminance	Fc	44.61	54.0	34.0	1.31	1.59
INSIDE CURB	Illuminance	Fc	2.94	36.2	0.0	N.A.	N.A.

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
	4	T12	Single	XWM-3-LED-08L-40	12'-6"	1,000	1,000	8778	64
	48	T13	Single	SCV-LED-15L-SC-40	16'	1,000	1,000	14399	102
	24	T14	Single	SLM-LED-18L-SIL-3-40-70CRI-SINGLE	22.5' POLE+ 2.5' BASE	1,000	1,000	19072	135
	43	T15	Single	AST-04-04L-840	16'	1,000	1,000	4634	34
	6	T8	Single	ASD-CDL7-8AD30AC(30W 5000K) FIXTURE BY ASD LIGHTING	10'	1,000	1,000	2538	29.157
	4	T8B	Single	ASD-CDL7-8AD30AC(30W 5000K) FIXTURE BY ASD LIGHTING	10'	1,000	1,000	2538	29.157



Olsson Inc. 17000 Highway 53, Suite 200, Edgerton, KS 66524  
 Phone: (785) 241-1100 Fax: (785) 241-1101  
 Email: info@olsson.com Website: www.olsson.com

PRELIMINARY  
NOT FOR CONSTRUCTION

STORE 0473 - EDGERTON, KS  
HOMESTEAD LN. & 199TH ST.

PHOTOMETRIC PLAN

REVISION DESCRIPTION

DATE	BY	DESCRIPTION

REVISIONS

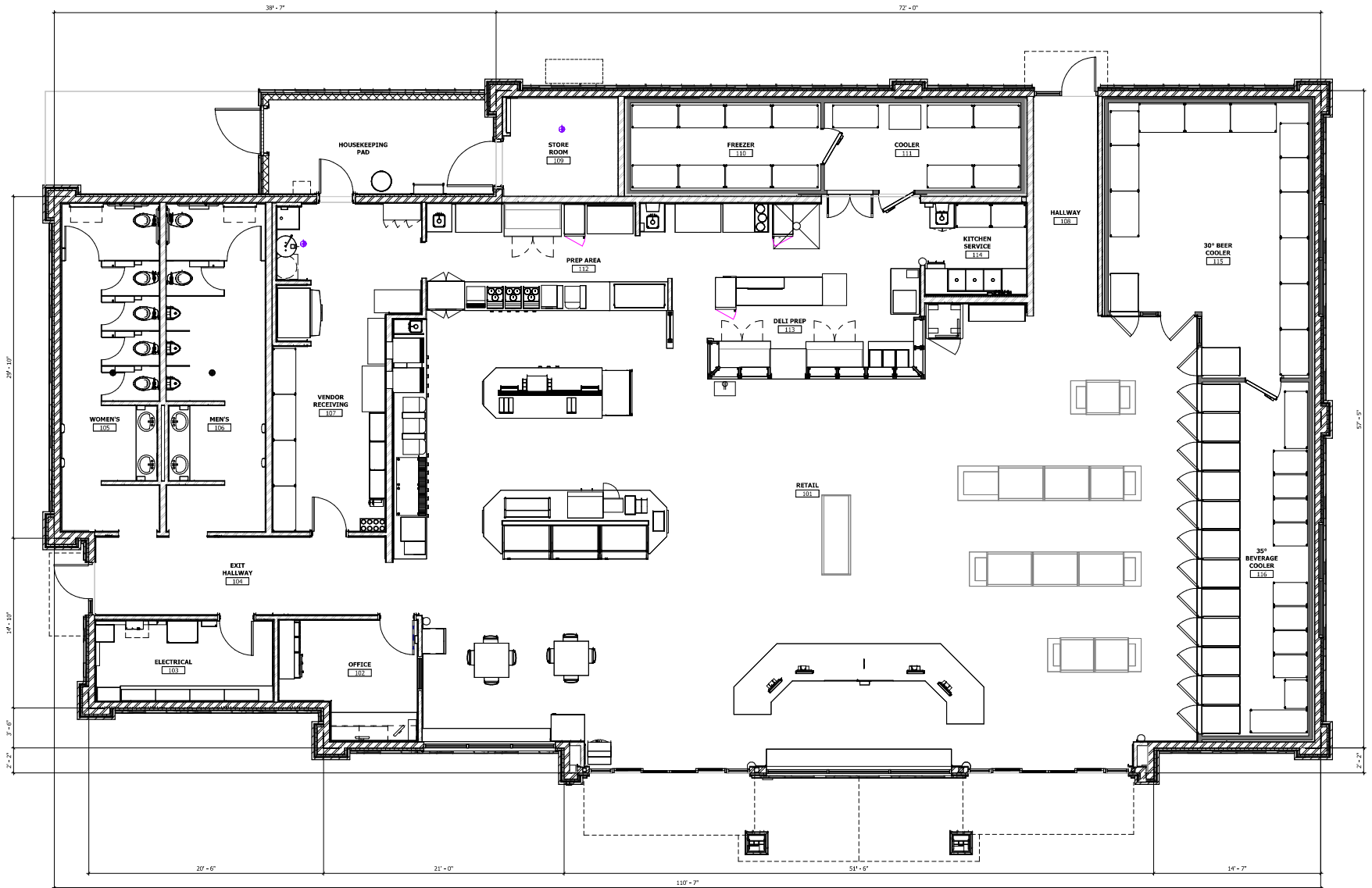
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SHEET NUMBER

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18 OF 26



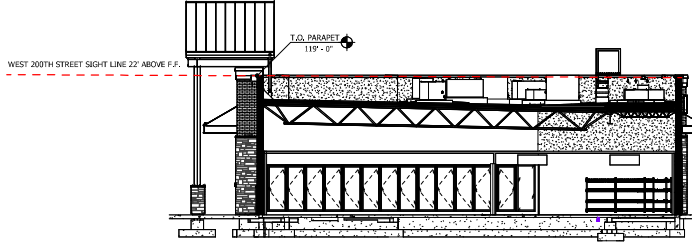
1 FLOOR PLAN  
SCALE: 1/4" = 1'-0"

PROPOSED MAVERIK C-STORE

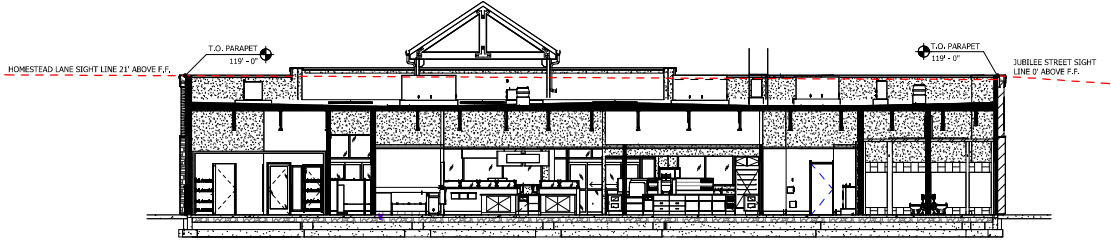
Prototype Version: 60\_L\_RR\_2302  
 Building Square Footage: 5,982 SF  
 Construction Type/Occupancy Classification: V-B / M

A-1 | FLOOR PLAN

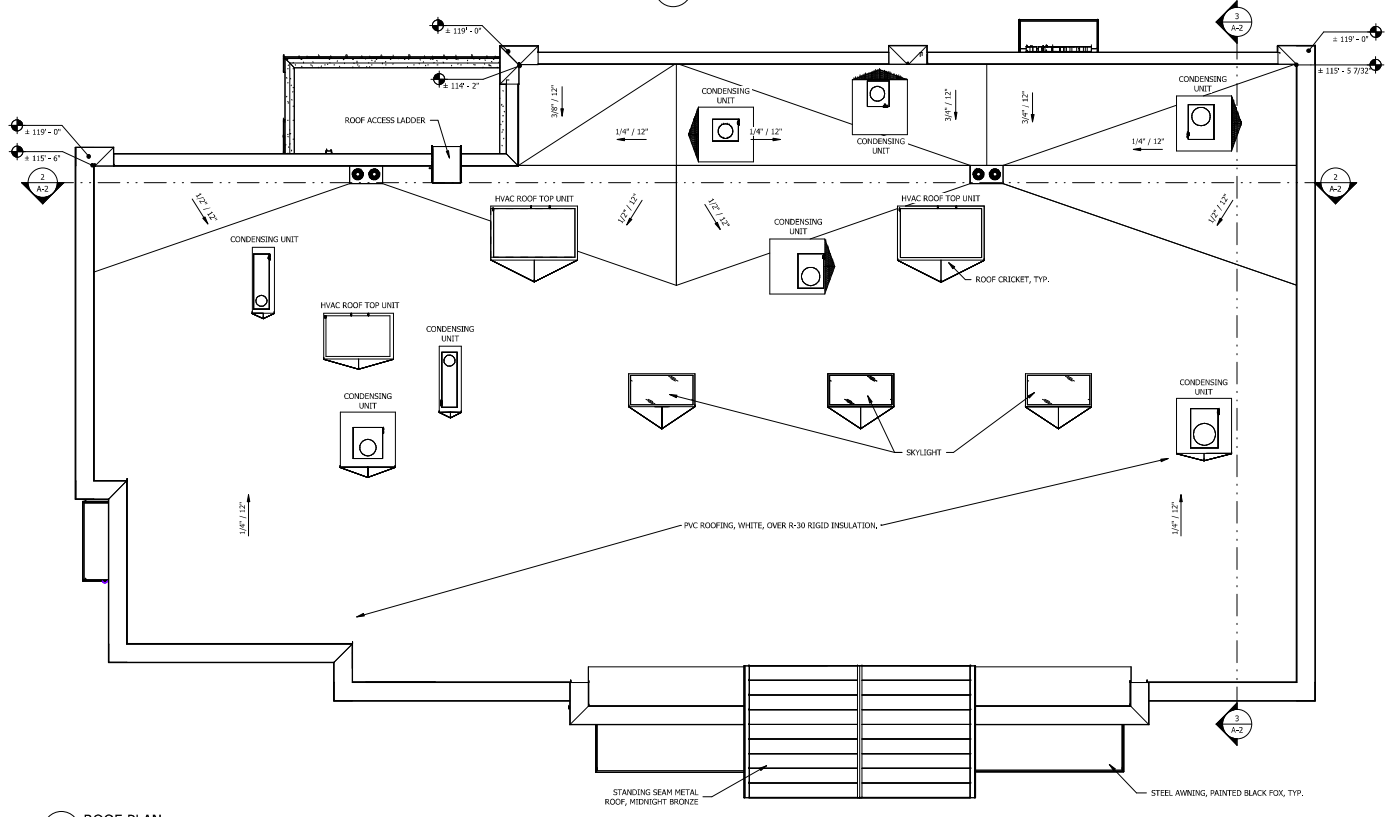




3 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



1 ROOF PLAN  
SCALE: 3/16" = 1'-0"

PROPOSED MAVERIK C-STORE

Prototype Version: 60\_L\_RR\_2302  
 Building Square Footage: 5,982 SF  
 Construction Type/Occupancy Classification: V-B / M

A-2 | ROOF PLAN







2 BUILDING PERSPECTIVE - FRONT RIGHT  
SCALE:



1 BUILDING PERSPECTIVE - FRONT LEFT  
SCALE:

PROPOSED MAVERIK C-STORE

Prototype Version: 60\_L\_RR\_2302  
 Building Square Footage: 5,982 SF  
 Construction Type/Occupancy Classification: V-B / M

A-3 | PERSPECTIVE VIEWS

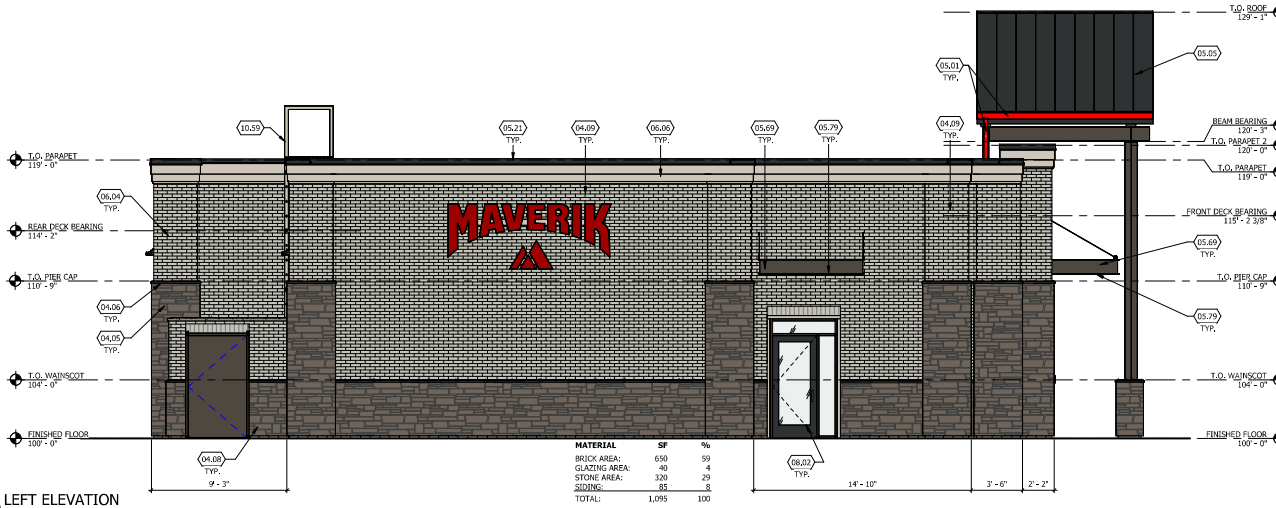


**KEYED NOTES**

- 04.05 CULTURED STONE VENEER, SKYLINE, COUNTRY LEDGESTONE
- 04.06 CULTURED STONE VENEER CMU, SKYLINE, COUNTRY LEDGESTONE
- 04.08 SPLIT-FACE CMU BLOCK, COLOR: COWANS, 6"2" HIGH WITH CONCRETE CAP
- 04.09 THIN BRICK, ASH
- 05.01 PRE-FINISHED GUTTER AND DOWNSPOUT, WHITE RED
- 05.05 HIBO PRE-FINISHED ROOF, COLOR C-1, 1/4" STANDING SEAM
- 05.21 PRE-FINISHED METAL COPING, COLOR MIDNIGHT BRONZE
- 05.69 STEEL AWNING, COLOR P-3
- 05.79 3/4" METAL SOFFIT, COMMERCIAL GRADE, COLOR: PAINTED BLACK FOX SV 7020
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2
- 06.06 FIBER CEMENT TRIM BB-3
- 08.02 ALUMINUM STOREFRONT SYSTEM, DARK BRONZE
- 08.05 WINDOW, SEE SCHEDULE
- 10.59 ROOF ACCESS LADDER W/ SECURITY GATE, POWDER COATED COLOR TO MATCH SIDING BB-1

**GENERAL NOTES**

- A. ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT WHICH IS COMPATIBLE WITH THE BUILDING ARCHITECTURE AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.
- B. FOR ROOFTOP EQUIPMENT NOT ADEQUATELY SCREENED BY THE PARAPET, A SUPPLEMENTARY SCREEN SHALL BE PROVIDED BY THE USE OF PREFINISHED ARCHITECTURAL METAL PANELS, STUCCO PANELS, MASONRY WALLS OR SIMILAR BUILDING MATERIALS.
- C. THE HEIGHT OF THE PROPOSED SCREEN SHALL BE NO LOWER THAN THE HEIGHT OF THE EQUIPMENT.
- D. SCREENING SHALL NOT INTERFERE WITH FIRE DEPARTMENT ACCESS TO THE ROOF.



**2 LEFT ELEVATION**

SCALE: 1/4" = 1'-0"



**1 FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

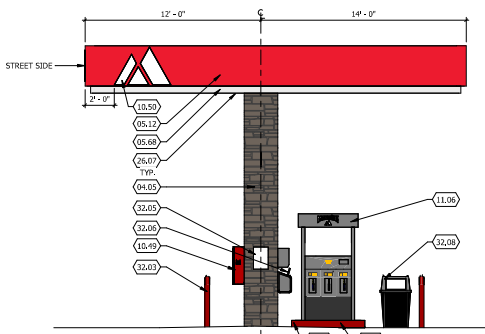
**PROPOSED MAVERIK C-STORE**

Prototype Version: 60\_L\_RR\_2302  
 Building Square Footage: 5,982 SF  
 Construction Type/Occupancy Classification: V-B / M

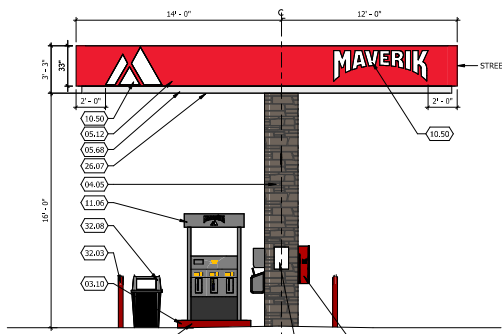
A-4 | EXTERIOR ELEVATIONS







5 FUEL DISPENSING CANOPY - END ELEVATION  
SCALE: 1/4" = 1'-0"



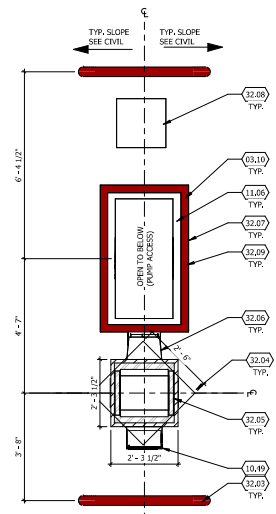
4 FUEL DISPENSING CANOPY - END ELEVATION  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

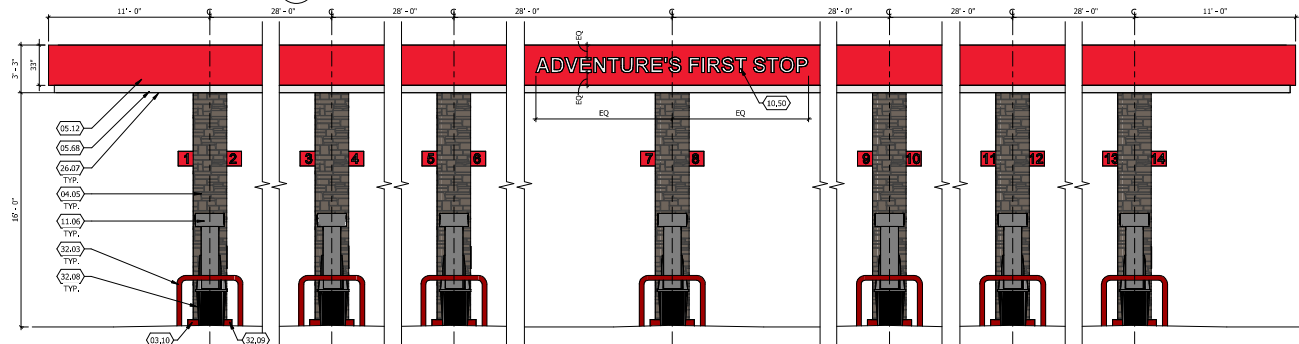
- A. CANOPY SIDES OR TOP MAY NOT BE ILLUMINATED IN ANY WAY. CANOPIES SHALL NOT CONTAIN STRIPS OR BANDS OF LIGHT (BORN OR OTHERWISE).
- B. ALL LIGHT FIXTURES MOUNTED ON THE CANOPIES SHALL BE RECESSED SO THAT THE LENS COVER IS RECESSED OR FLUSH WITH THE BOTTOM SURFACE (CEILING) OF THE CANOPY, OR THE LIGHTING OF THE CANOPY SHALL USE INDIRECT LIGHTING THROUGH WHICH LIGHT IS RECESSED UPWARD AND THEN REFLECTED DOWN FROM THE UNDERSIDE OF THE CANOPY BY LIGHT FIXTURES THAT ARE SHIELDED SO THAT ILLUMINATION IS FOCUSED EXCLUSIVELY ON THE UNDERSIDE OF THE CANOPY. GLASS SHOULD NOT BE ORNATE, AND SPILLOVER TO ADJACENT RESIDENTIAL PROPERTIES MUST BE MINIMIZED.
- C. ILLUMINANCE UNDER THE CANOPY SHALL BE NO MORE THAN AN AVERAGE OF THIRTY-FIVE (35) FOOT-CANDLES.

**KEYED NOTES**

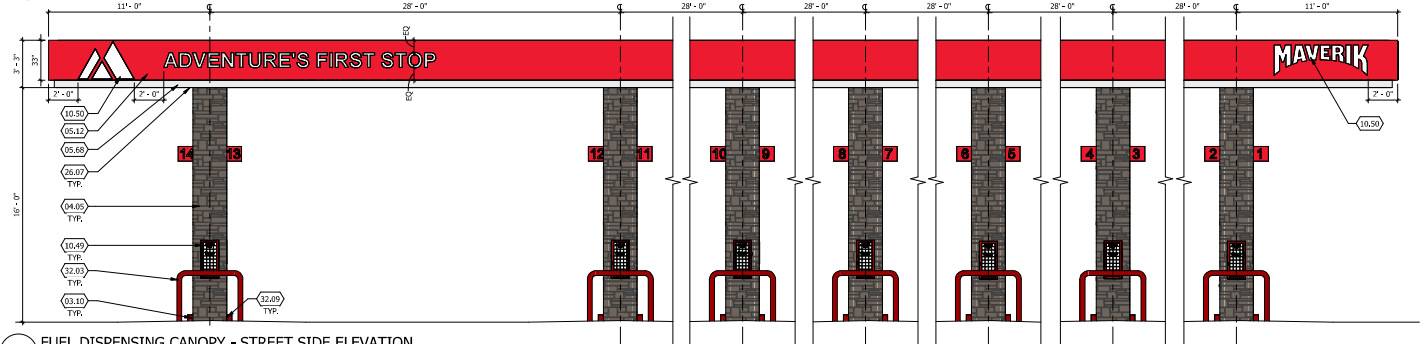
- 03.10 6" MIN. RAISED CONCRETE ISLAND W/ TOOLED EDGES AND CORNERS, VERIFY SIZE W/ DISPENSER SUPPLIER +1.5'-0" X 3'-0" (NO METAL FORM), ACCESSIBLE ISLAND TO BE 6" - SEE CIVIL DRAWINGS FOR LOCATION
- 04.05 CULTURED STONE VENEER, SKYLITE, COUNTRY LEDGESTONE
- 05.12 ALUMINUM COMPOSITE METAL PANEL, EASTMAN RED, MATTE FINISH
- 05.68 ALUMINUM COMPOSITE METAL PANEL, WHITE
- 10.49 4x4-8 BC FIRE EXTINGUISHER W/ CASE, LOCATE WITHIN 75' OF ALL PUMPS, DISPENSERS, OR STORAGE TANK. LOCATION TO BE FINISHED BY FIRE MARSHAL
- 10.50 SIGNAGE TO BE COORDINATED BY FUEL CANOPY CONTRACTOR WITH OWNER
- 11.06 DISPENSING STATION (BY OTHERS)
- 26.07 ALL LIGHT FIXTURES (NOT SHOWN) TO BE FLUSH MOUNTED WITHIN THE DECK PANEL. SOFFIT (SOFFIT COLOR P-7), SEE ELECTRICAL AND FUEL DISPENSING DRAWINGS
- 32.03 4" DIAMETER 1" BOLLARD, SET AND FILLED W/ CONCRETE, SEE CIVIL DRAWINGS, PAINTED P-4
- 32.04 EXPANSION JOINTS, TO BE FILLED W/ "JET FUEL RESISTANT" SEALANT, SEE CIVIL DRAWINGS
- 32.05 SIGNAGE, BY OWNER, TO COMPLY WITH IFC 2305.6 AND POSTED ON EACH SIDE OF COLUMN
- 32.06 S.S.L. WINDOW WASH/PAPER TOWEL PROVIDED BY OWNER, INSTALLED BY CONTRACTOR, MOUNTED TO COLUMN PER ADA REQUIREMENTS (45" MAX A.F.F. TO PAPER TOWEL FOLD)
- 32.07 OPW DISPENSER CONTAINMENT SLUMP ABOVE
- 32.08 TRASH CONTAINER, PROVIDED BY OWNER
- 32.09 PAINT CONCRETE CURB EDGE P-4, SEE SCHEDULE ON SHEET A6.03



2 CANOPY COLUMN PLAN  
SCALE: 1/2" = 1'-0"



3 FUEL DISPENSING CANOPY - BUILDING SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



1 FUEL DISPENSING CANOPY - STREET SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

**PROPOSED MAVERIK C-STORE**

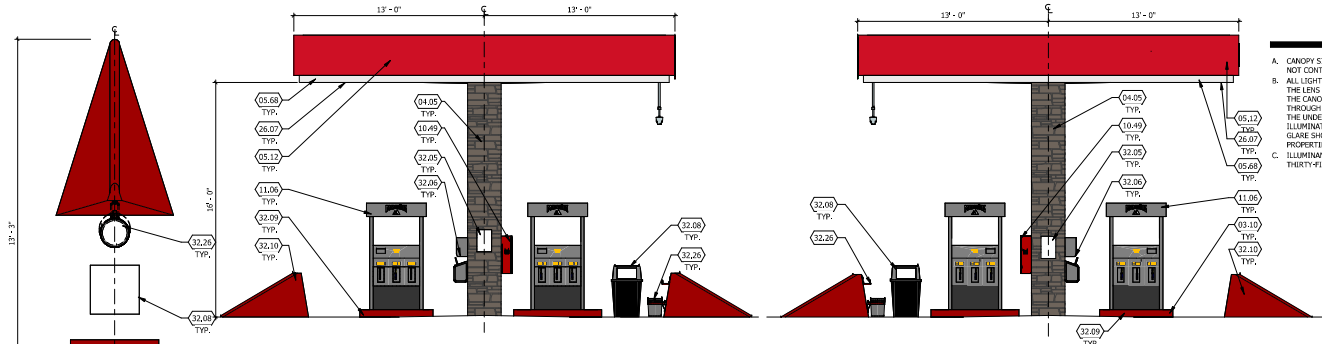
**NOTE:**  
FUEL CANOPY DRAWINGS PROVIDED ARE CONCEPTUAL, AND MAY VARY FROM SITE TO SITE.

Prototype Version: 60\_L\_RR\_2302  
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Construction Type/Occupancy Classification: V-B / M

A-6 | CANOPY ELEVATIONS







5 HIGH FLOW DISPENSING CANOPY - END ELEVATION  
SCALE: 1/4" = 1'-0"

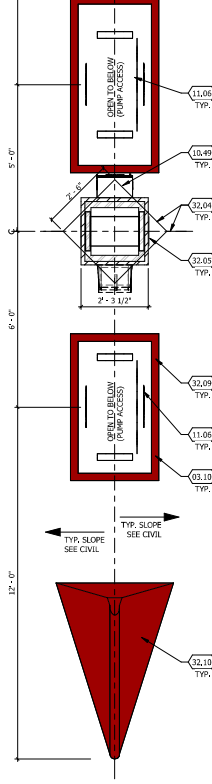
4 HIGH FLOW DISPENSING CANOPY - END ELEVATION  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

- A. CANOPY SIDES OR TOP MAY NOT BE ILLUMINATED IN ANY WAY. CANOPIES SHALL NOT CONTAIN STRIPS OR BANDS OF LIGHT (BIGN ON OTHERWISE).
- B. ALL LIGHT FIXTURES MOUNTED ON THE CANOPIES SHALL BE RECESSED SO THAT THE LENS COVER IS RECESSED OR FLUSH WITH THE BOTTOM SURFACE (CEILING) OF THE CANOPY, OR THE LIGHTING OF THE CANOPY SHALL USE INDIRECT LIGHTING THROUGH WHICH LIGHT IS BEAMED UPWARD AND THEN REFLECTED DOWN FROM THE UNDERSIDE OF THE CANOPY BY LIGHT FIXTURES THAT ARE SHIELDED SO THAT ILLUMINATION IS FOCUSED EXCLUSIVELY ON THE UNDERSIDE OF THE CANOPY. GLARE SHOULD NOT BE CREATED, AND SPILLOVER TO ADJACENT RESIDENTIAL PROPERTIES MUST BE MINIMIZED.
- C. ILLUMINANCE UNDER THE CANOPY SHALL BE NO MORE THAN AN AVERAGE OF THIRTY-FIVE (35) FOOT-CANDELES.

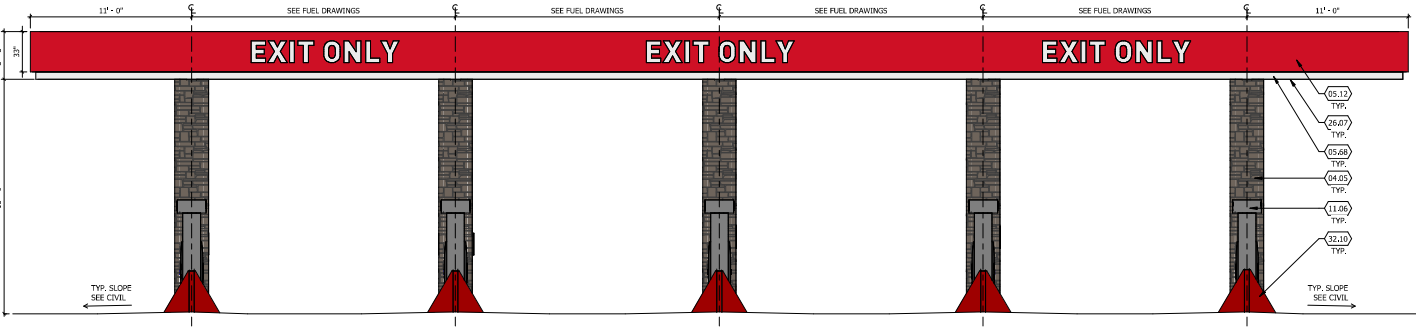
**KEYED NOTES**

- 03.10 6" MIN. RAISED CONCRETE ISLAND W/ TOOLED EDGES AND CORNERS, VERIFY SIZE W/ DISPENSER SUPPLIER 11.5'-0" X 7.5'-0" (NO METAL FORM), ACCESSIBLE ISLAND TO BE 6" SEE CIVIL DRAWINGS FOR LOCATION
- 04.05 CULTURED STONE VENEER, SKYLITE, COUNTRY LEDGESTONE
- 05.12 ALUMINUM COMPOSITE METAL PANEL, EASTMAN RED, MATTE FINISH
- 05.68 ALUMINUM COMPOSITE METAL PANEL, WHITE
- 10.40 4x4 BC FIRE EXTINGUISHER W/ CASE, LOCATE WITHIN 75% OF ALL PUMPS, DISPENSERS, OR STORAGE TANK. LOCATOR TO BE FINISHED BY FIRE MARSHAL
- 11.00 DISPENSING STATION (BY OTHERS)
- 26.07 ALL LIGHT FIXTURES (NOT SHOWN) TO BE FLUSH MOUNTED WITHIN THE DECK PANEL, SOFFIT (SOFFIT COLOR P-7), SEE ELECTRICAL AND FUEL DISPENSING DRAWINGS
- 32.04 EXPANSION JOINTS, TO BE FILLED W/ "JET FUEL RESISTANT" SEALANT, SEE CIVIL DRAWINGS
- 32.05 SIGNAGE, BY OWNER, TO COMPLY WITH IFC 2305.6 AND POSTED ON EACH SIDE OF COLUMN
- 32.06 S.S.I. WINDOW WASH/PAPER TOWEL PROVIDED BY OWNER INSTALLED BY CONTRACTOR, MOUNTED TO COLUMN PER ADA REQUIREMENTS (4'-0" MAX A.F.F. TO PAPER TOWEL FOLD)
- 32.08 TRASH CONTAINERS, PROVIDED BY OWNER
- 32.09 PAINT CONCRETE CURB EDGE R-4, SEE SCHEDULE ON SHEET A6.03
- 32.10 CONCRETE WEDGE BOLLARD, PAINTED P-4, SEE SCHEDULE ON A6.03
- 32.26 WINDOW WASH BUCKET BRACKET (W/SH HANDLE BRACKET), PROVIDED BY OWNER INSTALLED BY CONTRACTOR, MOUNTED TO CONCRETE WEDGE BOLLARD, PER ADA REQUIREMENTS, WITH A 2" CLEARANCE UNDER BUCKET

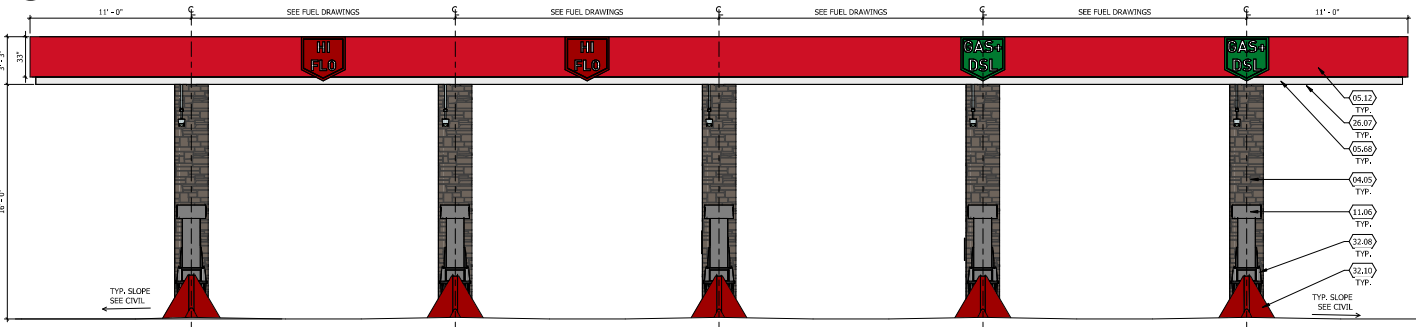


2 CANOPY COLUMN PLAN  
SCALE: 1/2" = 1'-0"

1 HIGH FLOW DISPENSING CANOPY - STREET SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



3 HIGH FLOW DISPENSING CANOPY - BACK ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED MAVERIK C-STORE

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BB-3 Fiberboard - Worldly Gray



C-1 MSCI Midnight Bronze



Anodized - Dark Bronze



Paint P-9 - Black Fox



C-2 MSCI Brite Red



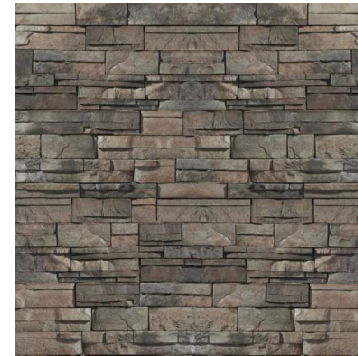
ACM - Eastman Red



Paint P-4 - Safety Red



Thin Brick - Ash



Cultured Stone - Skyline, Country LedgeStone

PROPOSED MAVERIK C-STORE

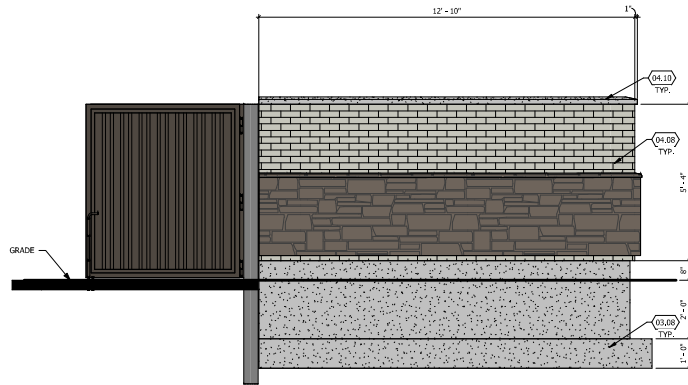
Prototype Version: 60\_L\_RR\_2302  
Building Square Footage: 5,982 SF  
Construction Type/Occupancy Classification: V-B / M

A-8 | EXTERIOR MATERIALS BOARD

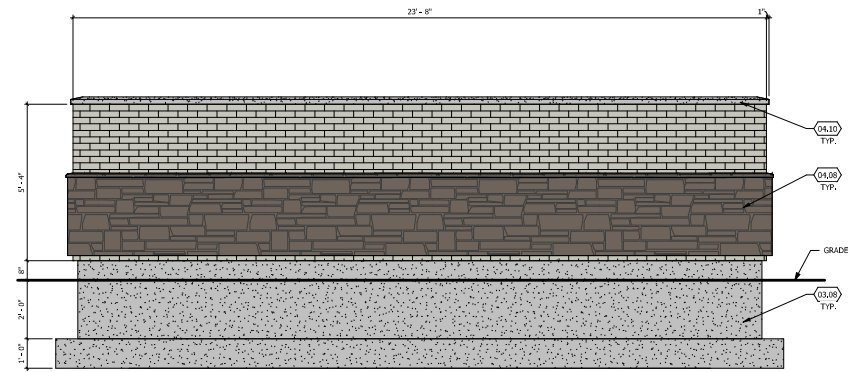


**KEYED NOTES**

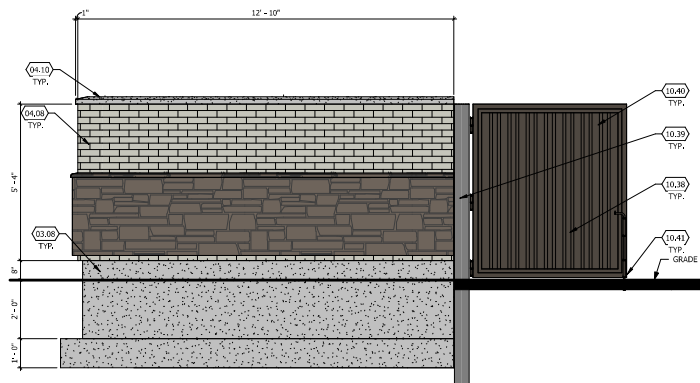
- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
- 03.13 CONCRETE PIER FOUNDATION, SEE STRUCTURAL DRAWINGS
- 04.08 SPLIT-FACE CMU BLOCK, COLOR, GRAYW, 8"x8" HIGH WITH CONCRETE CAP
- 04.10 SPLIT FACE CAP
- 10.36 WELD BRACKES TO GATE AS REQUIRED
- 10.39 6" METAL POST, CONCRETE FILLED AND CAPPED, PAINTED P-9
- 10.40 STEEL GATE TO MATCH P-9, W/ (4) HINGES, PAINTED P-9
- 10.41 5/8" DROP ROD TO CONCRETE, PAINTED P-9
- 10.42 3/4" DRILLED HOLE FOR DROP ROD, 3" MIN. DEPTH



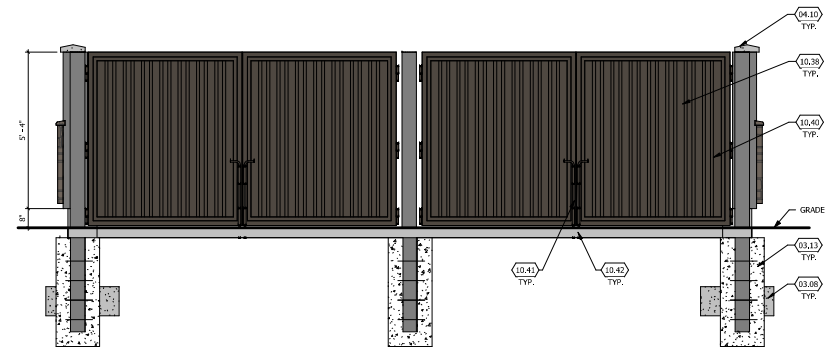
**4 TRASH ENCLOSURE - LEFT ELEVATION**  
SCALE: 1/2" = 1'-0"



**3 TRASH ENCLOSURE - BACK ELEVATION**  
SCALE: 1/2" = 1'-0"



**2 TRASH ENCLOSURE - RIGHT ELEVATION**  
SCALE: 1/2" = 1'-0"



**1 TRASH ENCLOSURE - FRONT ELEVATION**  
SCALE: 1/2" = 1'-0"

**PROPOSED MAVERIK C-STORE**

Prototype Version: 60\_L\_RR\_2302  
 Building Square Footage: 5,982 SF  
 Construction Type/Occupancy Classification: V-B / M

A-9 | TRASH ENCLOSURE ELEVATIONS

