

**EDGERTON PLANNING COMMISSION
MEETING AGENDA
EDGERTON CITY HALL - 404 EAST NELSON STREET
June 11, 2024
7:00 P.M.**

The City of Edgerton encourages public participation in local governance issues. To facilitate an efficient and effective meeting, persons wishing to address the Planning Commission must sign-up before the meeting begins. During public hearings, comments must be limited to three (3) minutes per speaker. The maximum time limit for all speakers during each public hearing will be one (1) hour.

The chair may modify these provisions, as necessary. Speakers should state their name and address and then make comments that pertain to the public hearing item.

The chair may limit any unnecessary, off-topic, or redundant comments or presentations. Speakers should address their comments to Planning Commission members only and should not speak to fellow audience members. Commission members will not engage in a dialogue or debate with speakers. Speakers and audience members should conduct themselves in a civil and respectful manner. Disruptive conduct may result in removal from the meeting.

Call to Order

1. **Roll Call** ____ Daley ____ Draskovich ____ Mathos ____ Little ____ Mueller
2. **Welcome**
3. **Pledge of Allegiance**

Consent Agenda (*Consent Agenda items will be acted upon by one motion unless a Planning Commissioner requests an item be removed for discussion and separate action.*)

4. Minutes from the April 9, 2024 Planning Commission Meeting.
5. Final Plat Application FP2024-0001 for Replat of Lots 9-12, Block 25, Town of Martin.
6. Final Plat Application FP2024-0002 for Replat of Logistics Park Kansas City – Southeast, Fourth Plat.
7. Temporary Construction Use Application TCU2024-0001 for Rock Crushing Operations for TSL Phase II.
8. Temporary Construction Use Application TCU2024-0002 for Temporary Construction Trailers for TSL Phase II.

Regular Agenda

9. **Declaration.** At this time Planning Commission members may declare any conflict or communication they have had that might influence their ability to impartially consider the agenda items.

Business Requiring Action

New Business

10. **FSP2024-0001: FINAL SITE PLAN APPLICATION FOR CONGLOBAL LOCATED AT 31220 W. 187TH STREET**

- a. Presentation from Kevin White, Applicant, for Application FSP2024-0001
- b. Presentation from City Staff for Application FSP2024-0001
- c. Public Hearing for Application FSP2024-0001
- d. Discussion of Application FSP2024-0001
- e. Consideration of Application FSP2024-0001

11. **FSP2024-0004: FINAL SITE PLAN APPLICATION FOR KUBOTA LOCATED AT 31700 W. 207TH STREET**

- a. Presentation from Andy Sullivan, Applicant, for Application FSP2024-0004
- b. Presentation from City Staff for Application FSP2024-0004
- c. Public Hearing for Application FSP2024-0004
- d. Discussion of Application FSP2024-0004
- e. Consideration of Application FSP2024-0004

12. **Future Meeting Reminders**

- July 9, 2024 at 7:00 PM – Regular Session
- August 13, 2024 at 7:00 PM Regular Session
- September 10, 2024 at 7:00 PM - Regular Session

13. **Announcements**

14. **Adjourn**

PLANNING COMMISSION
April 9, 2024 Minutes

A regular session of the Edgerton Planning Commission (the Commission) was held in the Edgerton City Hall, 404 E. Nelson Street, Edgerton, Kansas on April 9, 2024. The meeting convened when Chairperson John Daley called the meeting to order at 7:00 PM.

1. ROLL CALL

Jeremy Little	present
Tina Mathos	present
Adam Draskovich	present
John Daley	present
Jordyn Mueller	present

With a quorum present, the meeting commenced.

Staff in attendance: Zachary Moore, Development Services Director
Chris Clinton, Planning and Zoning Coordinator/Deputy City Clerk
Beth Linn, City Administrator
David Hamby, City Engineer
Lee Hendricks, City Attorney

2. **WELCOME** Chairperson Daley welcomed all in attendance to the meeting.
3. **PLEDGE OF ALLEGIANCE** All present participated in the Pledge of Allegiance.

CONSENT AGENDA

4. Approve Minutes from the March 12, 2024 Planning Commission Meeting.

Commissioner Mueller moved to approve the Consent Agenda. The motion was seconded by Commissioner Mathos. The Consent Agenda was approved, 5-0.

REGULAR AGENDA

5. DECLARATION

Chairperson Daley asked the Commissioners to declare any correspondence they have received or communication they have had regarding the matters on the agenda. If they have received correspondence or have had any communication, he asked if it may influence their ability to impartially consider the agenda items.

The Commissioners did not have anything to declare.

BUSINESS REQUIRING ACTION

NEW BUSINESS

6. FSP2024-0001: FINAL SITE PLAN APPLICATION FOR CONGLOBAL LOCATED AT 31220 W. 187TH STREET – THIS ITEM MUST BE CONTINUED

Chairperson Daley stated this item needs to be continued. Mr. Zachary Moore, Development Services Director, stated City staff received a submittal from the applicant and had many comments regarding the proposal. The applicant did not provide an additional submittal and the original was not ready to be presented.

Commissioner Draskovich moved to continue application FSP2024-0001 to a date uncertain. The motion was seconded by Commissioner Little seconded. Application FSP2024-0001 was continued to a future Planning Commission meeting, 5-0.

7. FSP2024-0003: FINAL SITE PLAN APPLICATION FOR ON THE GO TRAVEL CENTER EV CHARGING STATIONS LOCATED AT 32501 W. 200TH STREET

Mr. Dan Finn, Phelps Engineering, addressed the Commission. He explained he is there to represent the property owner, My Store III, and the project. The property is at Homestead Lane and Interstate 35 (I-35) and the project will be in the northeast corner of the On the Go Travel Plaza property. The proposal is to install a total of 11 new electric vehicle (EV) charging stations. The proposed chargers are to be east of existing gas pumps with eight (8) charging stations replacing existing parking stalls and three (3) new charging stalls with new pavement. Mr. Finn stated that the provided Site Plan shows that there are enough automobile parking stalls provided without the EV charging stations. The charging stations are not removing parking stalls but rather an addition in parking stalls. Due to the electrical demand of the charging stations, a new transformer will be installed and will be screened by landscaping. Mr. Finn explained architectural elevations were provided as a canopy is proposed over the stations. A stone veneer will be added to the columns that match the columns on the fueling canopies. The architectural standards of the Unified Development Code (UDC) will be met, and they are agreeable to the few stipulations listed.

Mr. Moore spoke before the Commission. He explained the request is for a Final Site Plan approval for the On the Go travel plaza located at 32501 W 200th Street which is north of I-35 and east of Homestead Lane. There are two (2) different EV charging stations proposed, a station of eight (8) and another of three (3). Both are proposed to have solar panels on top of the canopies.

The subject property was annexed and zoned in 2015 and later developed with a convenience store (c-store), car and truck fueling stations, a truck scale, and a truck maintenance and wash facility. Mr. Moore explained the Final Site Plan has been revised a few times and was approved accordingly. He stated the EV chargers are allowed as accessory uses, and all of the zoning requirements have been met.

The columns are proposed to be clad in stone to match the columns on the fueling stations. A stucco fascia and soffit are proposed on the canopy to match the primary structures on the subject property as well. Mr. Moore said the proposal will result in more parking spaces than

the number of parking stalls required by the UDC. The applicant has included a landscape plan to aid in screening the chargers and electrical equipment. The provided landscape plan either meets or exceeds the UDC requirements.

Mr. Moore stated City staff does recommend approval with the following agreed upon stipulations:

1. The following comments must be addressed prior to certification by the Zoning Administrator:
 - a. Elevations showing a bay of three (3) and eight (8) EV chargers must be provided.
 - b. Color elevations must be submitted showing the stucco on the canopies being compatible with the main building.
 - c. The discrepancy on the landscape plan of the number of golden bell forsythia must be corrected.
2. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads, and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

Chairperson Daley opened the public hearing.

Mr. Lonny Vlieger, 19910 Pepper Tree Lane, Edgerton, Kansas 66021, addressed the Commission. He inquired as to how long will a vehicle have to be at the charging stations. He also asked if the dead landscaping would have to be replaced.

There were no additional public comments made. Commissioner Little moved to close the public hearing. The motion was seconded by Commissioner Draskovich. The public hearing was closed, 4-0.

Commissioner Little moved to close the public hearing. The motion was seconded by Commissioner Draskovich. The public hearing was closed, 5-0.

Mr. Moore explained that the property owner will have to replace the dead landscaping.

Mr. Finn spoke before the Commission. He explained there are three (3) levels of chargers. A Level 1 charger can charge a vehicle in a few hours, Level 2 will be about two (2) to three (3) hours, and a Level 3 will only take about half an hour. It depends on the availability of the chargers, but they will be either Level 2 or 3. Commissioner Draskovich inquired as to the spacing required between the fueling and charging stations. Mr. Moore stated he does not know what the building code requires. Mr. Finn replied that he has done other projects like this but has not had any issues.

Commissioner Draskovich stated there are a lot of bobtailed trucks that park on the rear of the building. The drivers typically back in the trucks and park in the vehicle spots. He inquired

if a stipulation can be added to prevent bobtailed trucks from backing into vehicle parking spaces. Mr. Moore explained that the UDC does not differentiate between trucks or vehicle parking spaces.

Commissioner Mueller moved to approve Final Site Plan application FSP2024-0003 with the stipulations outlined by City staff. Commissioner Draskovich seconded the motion. Final Site Plan application FSP2024-0003 was approved with the stipulations, 5-0.

8. **FSP2024-0002: FINAL SITE PLAN APPLICATION FOR MAVERIK LOCATED AT THE NORTHWEST CORNER OF 200TH STREET AND HOMESTEAD LANE**

Mr. Nick Halfhill, Maverik, Inc., and Mr. Kason Schwalm, Olsson, approached the Commission. Mr. Halfhill explained that Maverik is a gas station chain based in Salt Lake City, Utah. Maverik purchased the chain Kum and Go based in Des Moines, Iowa. Maverik's slogan is 'Adventure's First Stop', and their stores all have an outdoor theme. Mr. Halfhill stated Maverik and Kum and Go have over 800 stores in 20 states and Kansas would make 21 states. This location, at the northwest corner of 200th Street and Homestead Lane, could be the first location in Kansas, depending on the timeline of other stores in western Kansas. He explained that Maverik employs over 12,000 employees who are eligible for health benefits with competitive pay rates. The proposed store will have 15-20 employees who will receive proper training as it is expected that the facility will be busy.

Mr. Halfhill explained the exterior of the building will be clad in brick and stone. The base of the store will be stone then brick above the stone. The columns on the fuel canopies will be clad in stone and the sides of the canopy will be red. Mr. Halfhill shared some photos of the interior of a Maverik store. He explained it is a typical c-store layout but has more room and is more spread out. Maverik prides itself on being a nice facility and is known for being clean and professional. He explained that the site was designed with safety in mind. Landscaping will be installed to help beautify the site as well as buffer neighboring properties. The proposed landscaping will meet the standards of the City's code. They want the site to be bright and inviting and want this to be the place people want to stop while traveling along I-35.

Mr. Halfhill stated the overall site is ten (10) acres and Maverik will make up eight (8) acres. The northwest corner of the subject property is still owned by the developer, and they will propose a truck maintenance facility at a later date. All the pavement and parking areas will be developed by Maverik. The c-store is proposed to be just under 6,000 square feet with seven (7) gasoline pumps to the south and five (5) dispensers to the north of the building. The dispensers closer to the building will have gasoline and diesel available. Both low-flow and high-flow diesel dispensers will be available.

Mr. Halfhill explained a total of 75 parking stalls will be provided. 36 of those stalls are passenger parking stalls with two (2) additional stalls meeting the Americans with Disabilities Act (ADA) requirements. Those stalls will measure nine (9) feet by 20 feet. 37 truck stalls are proposed along the perimeter of the site. Mr. Halfhill stated they are aware that this is not a lot of truck parking as Maverik is not typically a full-service truck stop, but the development agreement and location indicates that some will be needed. He explained the thought is that most trucks will fuel up and continue onto their destination. Maverik is aware that regulating truck parking will be a challenge.

Mr. Halfhill stated there will be three (3) access points coming off the new roads being installed. The development will use the detention basins that have already been installed by the developer. He explained there will be stormwater pipes in the ground near the access points to move water to the basins across the new Jubilee Street.

Mr. Halfhill said the proposed landscaping will meet the code requirements. There were discussions about moving the proposed landscaping back away from the truck parking areas to prevent trucks backing into the landscaping and damaging it.

Mr. Halfhill explained there are some updates that need to be made to the lighting. He said the requirements outlined in the UDC will be met. They are aiming to get 0.0 foot-candle readings at each lot line, which is typical in many jurisdictions. The lights will be mounted at 25 feet around the truck parking to get light above and around the trucks. He stated all of the fixtures will be LED to be more energy efficient.

Mr. Halfhill stated the biggest issue they have with the site is turning a hill into a flat site for the proposed development. The proposed grading plan shows a three (3) to one (1) slope along the south and east of the property.

Mr. Halfhill stated the building will have dark grey stone and a lighter grey brick on the façade. The roof peak will be metal and dark bronze canopies will be over each entrance. Two (2) entrances would be on the front of the building and one (1) to the rear of the building near the diesel pumps. Mr. Halfhill said that typically cement fiber board is used on the façades, but to meet code requirements, brick and stone are being used on this structure. A window was added to the east façade after discussions with City staff. That side of the building will house the coolers, so the view of the window will be obstructed, but it was added to meet code requirements. He explained the canopy columns are proposed to be wrapped in the same stone type and color as the building. They also propose a dumpster enclosure that will be clad in the same material as the building and a metal gate.

Mr. Moore addressed the Commission. He said the applicant is requesting approval of a Final Site Plan that proposes a c-store, fueling stations for both gasoline and diesel vehicles, and truck parking to the north of the proposed c-store. The Maverik site is eight (8) acres with just over two (2) acres being retained by the developer of Edgerton Crossing. The subject property was annexed into the City in 2011 and later rezoned to C-2, Heavy Service Commercial. In 2019, the Commission approved a Preliminary Plat for the subject property as part of a larger development, then known as Project Lone Star. This is the first Final Site Plan application for the Edgerton Crossing development.

Mr. Moore explained that the C-2 zoning district has established setbacks and the applicant is exceeding all of the setbacks with all of the structures proposed.

He stated the building materials does meets the elevated UDC requirements for c-stores, which requires all masonry and glass façades. The UDC requires the primary façade be at least 20% glass, and the applicant is proposing 24%.

The proposed landscaping does comply with the requirements outlined in the UDC as well. City staff and the applicant worked together to determine the best way to design the landscaping beds that would avoid damage from trucks backing into the landscaping.

Mr. Moore stated that a revised photometric plan that meets the UDC requirements must be submitted prior to the Zoning Administrator signing the Final Site Plan. City staff reviewed the provided photometric plan and provided comments to the applicant as it did not meet the requirements. The applicant is aware of the 0.2 foot-candles maximum reading at property lines that are adjacent to commercial properties must be met. He explained that the foot-candle readings under the canopies were not provided as well. There were areas on the provided photometric plan that City staff could not discern which lighting facility was being used, so the applicant must clarify that on the plan as well.

Mr. Moore stated there are three (3) proposed access points, all off Jubilee Street. The southern entrance is planned for passenger vehicles, the center access point will be used for trucks going to the diesel pumps, and the northern access point will be used to gain access to the future development of the facility maintenance and truck parking. The 6,000 square foot c-store would require 30 parking stalls per the UDC. The applicant is proposing 38 standard parking stalls, two (2) ADA compliant parking stalls, and 37 truck stalls.

Mr. Moore said the applicant has submitted a stormwater memo that was reviewed by the City Engineer. There are items that must be clarified or revised prior to certification of the Zoning Administrator. The stormwater study must meet or exceed the requirements of the regional stormwater study.

Mr. Moore stated City staff does recommend approval of Final Site Plan application FSP2024-0002 with the following stipulations:

1. The following comments must be completed prior to certification by the Zoning Administrator:
 - a. A photometric plan meeting all UDC requirements must be submitted.
 - b. The approved Notice of Intent must be provided.
 - c. The following comments by the City Engineer regarding the stormwater management report must be addressed:
 - i. The report appears to be incomplete. There is nothing in Appendix A and limited information in Appendix B. Figure 2 appears to be missing.
 - ii. It appears from the cover memo that the proposed conditions differ from the original stormwater management study for the site. Provide an updated stormwater management study reflecting the proposed conditions.
 - iii. Provide a letter sealed by a Kansas Professional Engineer stating that the site design is in compliance with the approved stormwater study for the site.
 - iv. Provide a diagram showing the areas tributary to each existing storm sewer pipe along with the design flows and how they compare to the original design condition shown on the street plans.
2. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads, and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop

in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

Chairperson Daley opened the public hearing.

Mr. Vlieger approached the Commission. He wanted to know the location of the fuel tanks. He also inquired if the Maverik store will have shower facilities for drivers or if it will be just a fuel station. He is also concerned that the grass would not be mowed along 199th Street and Homestead Lane. He asked the status of the improvements along 199th Street as well. He said his neighborhood is concerned about being separated from the development, especially with the incident that happened over the previous weekend. He requested that a barrier be installed between the neighboring residences and the development.

Mr. Jason Sowers, 19911 Pepper Tree Lane, Edgerton, Kansas, addressed the Commission. He requested that Mr. Moore show where the photometric plan did not meet the UDC requirements at the property lines.

Commissioner Mathos moved to close the public hearing. Commissioner Little seconded the motion. The public hearing was closed, 4-0.

Mr. Moore spoke before the Commission to address the questions raised during the public hearing. He showed the site plan that indicated that the fuel tanks are to be underground and on the southeast corner of the development. He stated that the provided floor plan did not show shower facilities. He explained that the property owner is required to maintain the landscaping including the grass and the right-of-way. Mr. Moore explained there are no improvements to 199th Street required at this time. He said the Edgerton Crossing site does have a stipulation in the 2011 ordinance rezoning requiring a landscape buffer be installed at the time of first development. The applicant of this application is meeting or exceeding all the requirements in the UDC.

Mr. Moore said the photometric plan exceeded the maximum foot-candle readings in the northeast corner, southwest corner and under the fuel canopies does not have adequate information. He added City staff does have the stipulation that the photometric must meet the requirements set in the UDC. Mr. Halfhill added that they will work on providing all of the information and meeting the requirements outlined in the UDC. Chairperson Daley inquired if the height of the luminaries meets the height requirement. Mr. Moore replied that they do.

Ms. Beth Linn, City Administrator, addressed the Commission. She stated the improvements to 199th Street will be the City's project and not required for the applicant of this Final Site Plan. The traffic counts will need to warrant the improvements and a revenue source is needed, which this application would provide. The City is aware that the improvements will be needed in the future.

Mr. Vlieger inquired how he should continue to campaign for a barrier between the development and the neighbors to the west. He understands that it is not up to Maverik to make offsite improvements. Chairperson Daley stated that perhaps the UDC be updated to

require something like that in the future. They cannot move the goalposts on the applicant. Commissioner Draskovich stated this proposal is different than one to the north that was heard by the Commission in 2023. He said he would like to speak with the developer of Edgerton Crossing as well because Maverik is kind of like a tenant in the overall development.

Ms. Linn explained the requirements for street access for Maverik are outlined in the development agreement, which has been negotiated and approved by the City Council. The developer of Edgerton Crossing has to put install most of the public infrastructure like the sanitary sewer, the water line, and roads. Once each lot starts to be developed, then the infrastructure for those lots are outlined and installed by whoever will be using the lot. She explained the barrier that is to be installed now is required by the rezoning ordinance and will be a landscaping barrier near the Sowers' property. She understands that is not what Mr. Vlieger is requesting. She stated that closer to the Maverik property on the north side of the development, there will be a new roadway and a detention basin between the Maverik site and the neighborhood. She recommended that Mr. Vlieger contact Woodstone Properties, the developer of Edgerton Crossing, to discuss the possibility of the installation of a solid barrier. She said the City will help make the connection by providing contact information. The UDC does not require a barrier, but she understands the request and warned that can become a maintenance issue. The UDC does require more landscaping than the zoning ordinance requires. The City does have assets that are protected by fencing but people find ways around them to do nefarious things. Ms. Linn said the incident over the past weekend is not indicative of the traffic in the area.

Chairperson Daley stated he wants to address all of the concerns if possible. Mr. Vlieger thanked the Commission and City staff for the discussion.

Commissioner Draskovich asked if the nearby detention basin will be able to hold any additional stormwater from this development. Mr. Halfhill explained the installed detention is for the entire development and not just Maverik's site. Their responsibility is to make sure that the stormwater is captured then piped to the detention basins. Chairperson Daley inquired if the City Engineer has approved the stormwater information that was provided. Mr. Moore replied that it was reviewed and there is a stipulation that it be approved prior to certification by the Zoning Administrator.

Commissioner Draskovich inquired as to what the spacing is between the truck parking spots and the future development. Mr. Halfhill stated that the entire area of the two (2) acres will be paved, so there will be enough area for trucks to turn and drive. Commissioner Draskovich said it seems a little tight for trucks to maneuver. Mr. Halfhill agreed and stated there are not many parking stalls and the fueling pumps are further to the south. The angled parking stalls also indicate that it is to be one way traffic through that area of the site. He said there will be a lot of things going on in just ten (10) acres. Commissioner Draskovich wanted to make sure that there was enough room for trucks to maneuver through the site. Mr. Halfhill explained a cross access easement will be dedicated and used by both property owners. Mr. Moore stated truck turning templates were provided in the provided site plan and were reviewed by City staff.

Commissioner Draskovich moved to approve Final Site Plan application FSP2024-0002 with the stipulations outlined by City staff. The motion was seconded by Commissioner Little. Final Site Plan application FSP2024-0002 was approved with the stipulations, 5-0.

9. FUTURE MEETING REMINDERS

Chairperson Daley stated that the next regular sessions are scheduled for May 14, 2024; June 11, 2024; and July 9, 2024.

10. ANNOUNCEMENTS

Mr. Moore stated that the Comprehensive Plan will be presented to the City Council on Thursday, April 11, 2024, for final adoption.

He also said that there is a survey on the City of Edgerton website for people to complete regarding the Edgerton Lake and Dam and the Trails Master Plan.

11. ADJOURN

Commissioner Mathos moved to adjourn the meeting. Commissioner Little seconded the motion. The meeting was adjourned at 7:53 PM, 5-0.

REPLAT OF LOTS 9-12, BLOCK 25, TOWN OF MARTIN

Application FP2024-0001
308 E. Hulett Street

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Final Plat located at 308 E. Hulett Street.

Owner and Applicant

Austin Thompson, Atlas Land Consulting, LLC, Representing Edgerton United Methodist Church, Inc.

Existing Zoning and Land Use

The property is zoned City of Edgerton R-1 (Single Family Residence) District. There is a single-family residential building currently on the subject parcel.

Parcel Size

0.60± acres

Staff Report Prepared by

Chris Clinton



BACKGROUND

1. Proposal

This Final Plat request is to replat four (4) existing parcels into two (2) lots. The proposed replat is combining four (4) parcels totaling approximately 0.60 acres into two (2) lots each being approximately 0.30 acres in size. Each existing parcel is roughly 50 feet wide by 130 feet deep and each new lot will be 100 feet wide by 130 feet.

2. Subject Site History

The subject parcels were platted as part of the original plat recorded in 1870 and has not been replatted. A residential structure was constructed on the western two (2) lots in 1966 and is currently used as the Edgerton Food Pantry. The parcels have been zoned R-1 (Single Family Residential) since 1968. The Unified Development Code (UDC) lists places of worship and customary accessory residential uses as a permitted use by-right in the R-1 District.

FINAL PLAT REVIEW

City staff has reviewed the Final Plat submittal for compliance with the requirements in Section 13.3.G of the UDC. The replat proposes combining four (4) parcels into two (2). Lot 9A is proposed to be 12,936.08 square feet and Lot 11A is proposed to be 12,885.43 square feet. Table 1, below, shows the proposed building setbacks compared to what is required by the UDC for each lot.

Table 1: Setbacks

Setback	Required for Lot 9A	Proposed for Lot 9A	Required for Lot 11A	Proposed for Lot 11A
South (Front)	35 feet	35 feet	35 feet	35 feet
North (Rear)	26 feet	26 feet	26 feet	26 feet
East (Side)	9 feet	9 feet	20 feet	20 feet
West (Side)	9 feet	9 feet	9 feet	9 feet

The proposal meets or exceeds the required minimum setback for both lots. There were no easements included on the plat, and if there are any current easements, they must be included on the plat. Any proposed easements must also include dedication language on the face of the plat. The applicant is aware of those requirements and has acknowledged the requirements. All other requirements for replatting have either been met or exceeded by the applicant.

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project and the project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
Application	Application for FP2024-0001	04/08/2024
1	Final Plat	03/13/2024

STAFF RECOMMENDATION

City Staff recommends approval of Final Site Plan **Application FP2024-0001** *Replat of Lots 9-12, Block 25, Town of Martin*, subject to the following stipulations:

1. The commencement of any improvements shall not occur prior to the approval and endorsement of the Final Plat by the Governing Body and the submittal and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the Final Plat.
2. The applicant must meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton UDC, and all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton UDC.

Note: For application FP2024-0001 the Planning Commission will be the approving authority for the application. However, the Governing Body must accept all dedication of land for public use, and the Final Plat will be presented to the Governing Body on June 27, 2024.

INITIAL SUBMISSION RE-REVIEW

NAME OF PROPOSED SUBDIVISION: _____

LOCATION OR ADDRESS OF SUBJECT PROPERTY: _____

LEGAL DESCRIPTION: _____

CURRENT ZONING ON SUBJECT PROPERTY: _____ CURRENT LAND USE: _____

TOTAL AREA: _____ Acres NUMBER OF LOTS: _____ AVG. LOT SIZE: _____ Sq. Ft.

DEVELOPER'S NAME(S): _____ PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State Zip

PROPERTY OWNER'S NAME(S): _____ PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State Zip

ENGINEER'S NAME(S): _____ PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State Zip

SIGNATURE OF OWNER OR AGENT: AUSTIN THOMPSON
 If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 ½ x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

Application No.: _____ Application Fee Paid: \$ _____ Date Fee Paid: _____ Receipt # _____

Cashier Code: FINALPLAT Received By: _____

FINAL PLAT INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-nine (49) days prior to a scheduled meeting. If the final plat complies with the preliminary plat, Planning Commission and Governing Body may consider approval without notice or public hearing.

PLANNING COMMISSION REVIEW AND DECISION: The Edgerton Planning Commission meets in the City Hall on the second Tuesday of every month. The Planning Commission shall review the final plat and other material submitted with it to determine conformity preliminary plat. The Planning Commission shall act upon the final plat within ninety (90) days after submission, unless the subdivider shall waive or consent to an extension of the ninety (90) day period.

GOVERNING BODY APPROVAL: Following the approval of a final plat by the Planning Commission, the Governing Body shall review the instrument for dedications and reservations and assure that the final plat and construction plans for all proposed streets, sidewalks, storm water sewers, sanitary sewers and water mains meet the standards of the City of Edgerton. The Governing Body may either approve the final plat, return the final plat and/or construction plans to the applicant with instructions and specifications to conform to City standards, or deny the final plat and/or construction plans with a refusal to accept dedication. If the Governing Body denies the final plat and/or construction plans, a set of written findings must be given to the applicant within 30 (thirty) days.

RECORDING OF FINAL PLAT: Upon approval of a final plat by the Governing Body, the applicant shall record the plat with the Register of Deeds within a period of one year. If the final plat is not recorded within one year from the date of approval by the Governing Body, it shall be considered null and void. Before any final plat shall be signed by the Zoning Administrator and filed by the Register of Deeds, the applicant shall submit a certificate of title indicating the ownership of all property within the bounds of the subdivision.

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FEES DUE BEFORE ENDORSEMENT OF FINAL PLAT: Article 10 of Chapter IV of the Edgerton City Code imposes an excise tax \$0.10 per square foot of Final Plat. Prior to endorsement of any final plat, all excise taxes must be paid or City staff must determine that an exemption from payment prior to platting is applicable, all in accordance with Article 10 of Chapter IV of the City Code. In addition, a New Street Light Fee of \$250 each shall be submitted prior to the endorsement of any final plat.

VESTING AND CONFLICTING REQUIREMENTS: Initial rights for a final plat shall vest for a period of three (3) years. If all streets, sidewalks, storm water sewers, sanitary sewers and water mains have not been installed and the development of structures commenced after three (3) years, the final plat shall be considered null and void.

The requirements and standards in force at the time of the adoption of a final plat shall remain and shall continue to govern and not be set aside by the adoption of subsequent standards. Standards (such as setbacks) appearing on a plat which are greater than those imposed by this ordinance are valid, and shall be duly noted and enforced by building permits. Restrictive covenants are private instruments between buyer and seller. The Zoning Administrator does not enforce restrictive covenants unless such restrictions are part of a Planned Unit Development, or unless the City itself, as a condition of platting, is a party to such agreements. Nothing contained in these regulations is intended to void the obligation of any party to adhere to the terms of all contracts, conditions, and covenants of record.

ASSURANCES: Developers are required to install all streets, storm water sewers, sanitary sewers and water mains and other services to all lots (in a designated phase) as they appear on the final plat and/or construction plans prior to receiving a building permit from the Zoning Administrator. Developers are required to install all sidewalks on a lot as they appear on the final plat and/or construction plans prior to receiving a certificate of occupancy from the Zoning Administrator. Developers are also required to reimburse the City of Edgerton for the cost of all street signs, stop signs and speed limit signs.

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vs. 6.1.22

benefit district). Financial assurances must be made in a form and amount acceptable and approved by the City Attorney. Unless otherwise indicated by special resolution of the Governing Body, financial assurances shall be equal to the contract cost of purchase and installation of all facilities and utilities and valid for a period ending no less than two years after acceptance by the City of Edgerton. If substantial progress in installing the infrastructure is not evident within two hundred eighty (280) days after the approval of the final plat by the Governing Body, the City of Edgerton shall take appropriate action to exercise the financial assurance.

Public Improvement Inspection Fee: If a Developer is required to construct any public improvements, including streets, sidewalks, storm water sewers, sanitary sewers and water mains, that construction must be inspected by city staff or their designee. Developers are required to pay 3% of construction costs to the City for those inspections.

As Built: Prior to acceptance of public improvements by the City, the developer shall provide two (2) sets of prints for all public improvement projects, excluding sidewalks, corrected to show the project as constructed and shall accurately and completely denote all changes made during the construction. Each sheet within the prints shall be clearly marked as "Conforming to Construction Records" and shall include the date of revision and certifications by a Kansas licensed engineer. This set of plans shall be substantially similar to the set of construction plans that was approved by the Governing Body.

CHECKLIST

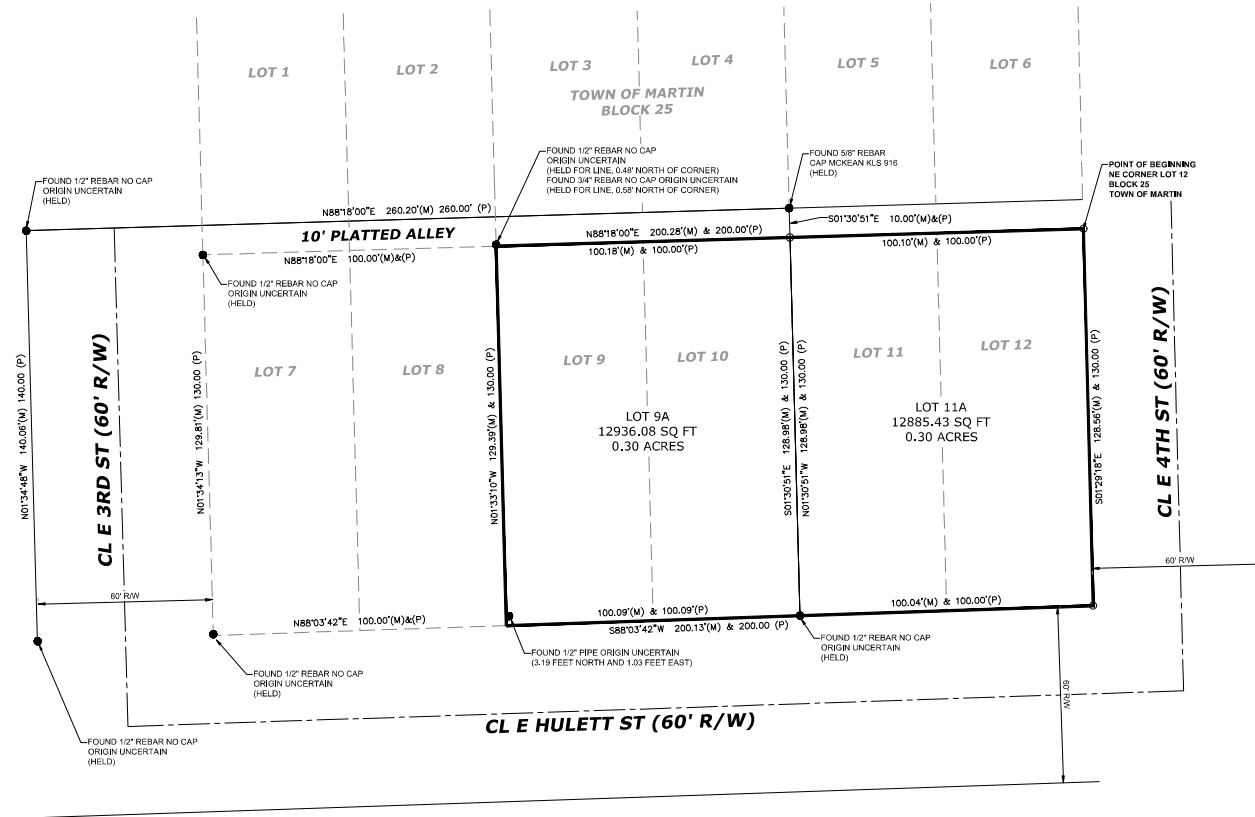
The following items shall be included on the final plat.

- Scale, the same used for the preliminary plat; North point; vicinity map.
- The words "FINAL PLAT" followed by the name of the subdivision at the top of the sheet, and then followed by a metes and bounds description of the tract.
- The instrument of survey which shows the point of beginning, corners, bearings, courses, distances, exterior boundaries, interior lot boundaries, abandoned lot lines, pins, monuments found or set. All P.I.'s corners, boundaries must be monumental with a 2" x 24" metal bar.
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- Individual notations and a TABLE showing: lot area, setbacks, and building envelopes.
- A number for each lot, starting (if practical) in the northwest corner.
- All easements with widths, and roads with curve data.
- Ingress/egress limitations, if required.
- The location of existing utility easements.
- A written legal description from the survey.
- An instrument of dedication for all roads and easements.
- Special notations required as a condition of platting by the Planning Commission.
- Approved phases – clearly delineated.
- Private travel easements.
- The Owner's Certificate with Notary Seal.
- Certificate of the Governing Body with City Clerk's attest and Seal.
- Edgerton City Planning Commission chair and secretary approval.
- Certificate of the Register of Deeds.
- Surveyor's Certificate and Seal and certificate for survey review by the County Surveyor or designated Land Surveyor.
- Certificate of the Zoning Administrator.



REPLAT OF LOTS 9-12, BLOCK 25, TOWN OF MARTIN

A SUBDIVISION OF LAND IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS



DESCRIPTION PER DEED:
 BK 7128 PG 883
 LOT 9, 10, BLOCK 25, TOWN OF MARTIN COMMONLY CALLED EDGERTON, A SUBDIVISION IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS.

BK 8420 PG 648
 LOT 11, BLOCK 25, TOWN OF MARTIN COMMONLY CALLED EDGERTON, A SUBDIVISION IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS.

BK 7128 PG 881
 LOT 12, BLOCK 25, TOWN OF MARTIN COMMONLY CALLED EDGERTON, A SUBDIVISION IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS.

SURVEYORS SUGGESTED:
 A REPLAT OF LOTS 9, 10, 11 & 12, BLOCK 25, TOWN OF MARTIN, A SUBDIVISION OF LAND IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS, PREPARED BY ANDREA N WEISHAUBT, PLS 1730 DATED MARCH 13, 2024, AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 12, ALSO KNOWN TO BE A POINT ON THE WEST RIGHT OF WAY LINE OF EAST 4TH STREET AS IT NOW EXISTS; THENCE SOUTH 01°29'18" EAST, ALONG THE EAST LINE OF SAID LOT 12 AND SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 126.56 FEET TO THE SOUTHEAST CORNER OF SAID LOT 12, ALSO KNOWN TO BE A POINT ON THE NORTH RIGHT OF WAY LINE OF EAST HULETT STREET AS IT NOW EXISTS; THENCE SOUTH 88°03'42" WEST, ALONG THE SOUTH LINE OF SAID LOTS 12, 11, 10 AND 9 AND SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 200.13 FEET TO THE SOUTHWEST CORNER OF SAID LOT 9; THENCE NORTH 01°33'10" WEST, ALONG THE WEST LINE OF SAID LOT 9, A DISTANCE OF 129.39 FEET TO THE NORTHWEST CORNER OF SAID LOT 9; THENCE NORTH 88°18'00" EAST, ALONG THE NORTH LINE OF SAID LOTS 9, 10, 11 AND 12, A DISTANCE OF 200.28 FEET TO THE POINT OF BEGINNING.

CONTAINING 25,821.51 SQUARE FEET OR 0.60 ACRES MORE OR LESS

DEDICATION:
 THE UNDERSIGNED PROPRIETOR OF THE ABOVE DESCRIBED TRACT OF LAND HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER AS SHOWN ON THE ACCOMPANYING PLAT, WHICH SUBDIVISION AND PLAT SHALL HEREAFTER BE KNOWN AS "REPLAT OF LOTS 9-12, BLOCK 25, TOWN OF MARTIN".

THE UNDERSIGNED PROPRIETOR OF SAID PROPERTY SHOWN ON THIS PLAT DOES HEREBY DEDICATE FOR PUBLIC USE AND PUBLIC WAYS AND THROUGHFARES, ALL PARCELS AND PARTS OF LAND INDICATED ON SAID PLAT AS STREETS, TERRACES, PLACES, ROADS, DRIVES, LANES, PARKWAYS, ALLEYS AND ALLEYS NOT HERETOFORE DEDICATED, WHERE PRIOR EASEMENTS RIGHTS HAVE BEEN GRANTED TO ANY PERSON, UTILITY OR CORPORATION ON SAID PARTS OF THE LAND SO DEDICATED, AND ANY POLES, LINES, PIPES, LAND WIRES, CONDUITS, DUCTS OR CABLE HERETOFORE INSTALLED THEREUPON AND THEREIN ARE REQUIRED TO BE REMOVED, BY ACCORDANCE WITH UNDERSIGNED IMPROVEMENTS AS NOW SET FORTH; THE UNDERSIGNED PROPRIETOR HEREBY ABSOLVES AND AGREES TO INDEMNIFY THE CITY OF EDGERTON, KANSAS, FROM ANY EXPENSE INCIDENT TO THE REGULATION OF ANY SUCH EXISTING UTILITY INSTALLATIONS WITHIN SAID PRIOR EASEMENT.

IN ACCORDANCE WITH WITH KSA 12-512B, ALL RIGHTS, OBLIGATIONS, EASEMENTS, OR INTERESTS NOT SHOWN ON THIS PLAT SHALL BE VACATED AS TO USE AND AS TO TITLE UPON FILING OR RECORDING OF THIS PLAT.

EXEMPTION:
 I, undersigned owner of this tract of land have set our hands this ___ day of _____, 2024.

EDGERTON UNITED METHODIST CHURCH INC., MANAGING MEMBER ROSS BAKER
 STATE OF KANSAS
 COUNTY OF _____

BE IT REMEMBERED THAT ON THIS ___ DAY OF _____, 2024, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, _____, CAME EDGERTON UNITED METHODIST CHURCH INC. MANAGING MEMBER, ROSS BAKER, TO ME PERSONALLY KNOWN TO BE THE SAME PERSON WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING, AND DAY I KNOWINGLY FORGOT THE EXECUTION OF SAID INSTRUMENT WHEREOF I HAVE HERETO SET MY HAND AND AFFIXED MY NOTARY SEAL THE DAY AND YEAR ABOVE WRITTEN.

NOTARY PUBLIC _____
 My Commission Expires, _____

APPROVALS:
 APPROVED BY THE PLANNING COMMISSION OF THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS THIS ___ DAY OF _____, 2024.

CHAIRMAN: JOHN E. DALEY SECRETARY: THA MATIAS

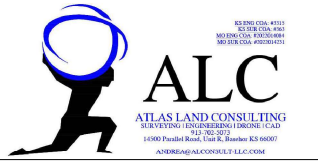
APPROVED BY THE GOVERNING BODY OF THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS THIS ___ DAY OF _____, 2024.

DONALD RIBBEY, MAYOR ATTEST: ALEXANDRIA CLOVER, CITY CLERK

APPROVED BY THE ZONING ADMINISTRATOR OF THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS THIS ___ DAY OF _____, 2024.

ZALARY MOORE, ZONING ADMINISTRATOR

PARCEL TABLE					
	LOT AREA	FRONT YARD SETBACK	SIDE YARD SETBACK	SIDE YARD STREET	REAR YARD SETBACK
LOT 9A	12936.08 SQ FT OR 0.30 ACRES	35 FEET	9 FEET	-	26 FEET
LOT 11A	12885.43 SQ FT OR 0.30 ACRES	35 FEET	9 FEET	20 FEET	26 FEET



FINAL PLAT LEGEND

- ▲ DENOTES FOUND MONUMENT AS NOTED
- DENOTES SET 1/2" X 24" REBAR CAP ALC KS CLS 363 NO C.L.S. 20200149231
- DENOTES FOUND MONUMENT AS NOTED
- P.O.C POINT OF COMMENCEMENT
- P.O.B POINT OF BEGINNING
- B/L BUILDING LINE
- C CALCULATED
- M MEASURED
- D DEEDED

GENERAL NOTES

1. THE BASIS FOR THE BEARING SYSTEM FOR THIS PLAT IS THE KANSAS NORTH ZONE U.S. STATE PLANE 1983.
2. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES IN FEET.
3. FLOODPLAIN NOTE: ACCORDING TO FIRM MAP COMMUNITY PANEL NUMBERS 2000IC133G EFFECTIVE AUGUST 3, 2009 AREA ZONE X* AREA OF MINIMAL FLOOD HAZARD.
4. KS ONE CALL WAS NOT CALLED.
5. CURRENT ZONING: R-4
6. CLOSURE PRECISION: 1 PART IN 259586.607
7. REFERENCED SURVEY: CITY OF EDGERTON (MARTIN) FINAL PLAT

VICINITY MAP



This is to certify on this 13th day of MARCH, 2024 this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the "Kansas Minimum Standards" for boundary surveys.

ANDREA N. WEISHAUBT LS 1730
 JOB NO: 24-031

SCALE PREPARED FOR

SEC-TWN-RNG UNITED METHODIST CHURCH INC

07-15-22 ADDRESS: 308 E HULETT ST EDGERTON, KS 66021

DATE
 MARCH 13, 2024

REPLAT OF LOGISTICS PARK KANSAS CITY – SOUTHEAST, FOURTH PLAT

Application FP2024-0002
30751 and 30801 W. 191st Street

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Final Plat located at 30751 and 30801 W. 191st Street.

Owner and Applicant

Kevin White,
representing
NorthPoint
Development, property
owner.

Existing Zoning and Land Use

The property is zoned to City of Edgerton L-P (Logistics Park) District. There is a warehouse currently on the western parcel, and the eastern is undeveloped.

Parcel Size

56.20± acres

Staff Report

Prepared by
Chris Clinton



BACKGROUND

1. Proposal

This Final Plat request is being made to realign the property line between the two addresses of 30751 and 30801 W. 191st Street. The existing property line curves west approximately 650± feet from the southern property line making the southern section of the 30751 W. 191st Street parcel wider than the north. The applicant is proposing to have that property line go directly north and south with this replat. The northern part of the property line would remain unchanged, and the southern approximately 650± feet of the property line will shift east. The applicant has indicated that they wish to expand the parking at 30801 W. 191st Street, which would cross the existing property line, which is not allowed per the United Development Code (UDC).

2. Subject Site History

The subject parcels were annexed into the City on March 27, 2014, via Ordinance No. 969. Rezoning to the L-P (Logistics Park) District occurred later that year and was approved by the Governing Body on August 28, 2014 (Ordinance No. 979). The subject parcels were preliminary platted on August 12, 2014 (PP-06-25-2014). The western parcel, Inland Port XII, located at 30801 W. 191st Street, was approved as part of a final plat on January 8, 2015 (FP-11-20-2014). Both parcels were then platted on January 26, 2017 (FP2016-03). A Preliminary Site Plan was approved for both parcels on August 12, 2014. Inland Port XII was approved on December 9, 2014 with Final Site Plan FS-11-06-2014 and was later constructed. Inland Port XIII was approved on December 13, 2016 (FS2016-09) but was never constructed. Any future development on that site will require a new Final Site Plan approval.

FINAL PLAT REVIEW

City staff has reviewed the Final Plat submittal for compliance with the requirements in Sections 13.3.G and 13.8 of the UDC. The replat proposes removing the curve in the property line dividing the two (2) lots. This realignment will increase Lot 2 by approximately 27,300 square feet and decrease Lot 3 by approximately 29,600 square feet. There is no minimum lot size in the L-P (Logistics Park) District therefore, the proposed lots comply with UDC requirements. The setbacks shown on the lots also meet the UDC requirements for L-P (Logistics Park) zoned parcels. The applicant has met all UDC requirements for plats and replatting.

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project and the project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
Application	Application for FP2024-0002	04/26/2024
1	Final Plat	04/22/2024

STAFF RECOMMENDATION

City Staff recommends approval of Final Site Plan **Application FP2024-0002** *Replat of Logistics Park Kansas City – Southeast, Fourth Plat*, subject to the following stipulations:

1. The commencement of any improvements shall not occur prior to the approval and endorsement of the Final Plat by the Governing Body and the submittal and approval of construction plans for all streets, sidewalks, storm water sewers, sanitary sewers, and water mains contained within the Final Plat.
2. The applicant must meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton UDC, and all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton UDC.

Note: For application FP2024-0002 the Planning Commission will be the approving authority for the application. However, the Governing Body must accept all dedication of land for public use, and the Final Plat will be presented to the Governing Body on June 27, 2024.



INITIAL SUBMISSION

RE-REVIEW

NAME OF PROPOSED SUBDIVISION: _____

LOCATION OR ADDRESS OF SUBJECT PROPERTY: _____

LEGAL DESCRIPTION: _____

CURRENT ZONING ON SUBJECT PROPERTY: _____ CURRENT LAND USE: _____

TOTAL AREA: _____ Acres NUMBER OF LOTS: _____ AVG. LOT SIZE: _____ Sq. Ft.

DEVELOPER'S NAME(S): _____ PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State Zip

PROPERTY OWNER'S NAME(S): _____ PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State Zip

ENGINEER'S NAME(S): _____ PHONE: _____

COMPANY: _____ FAX: _____

MAILING ADDRESS: _____
Street City State Zip

SIGNATURE OF OWNER OR AGENT: _____
If not signed by owner, authorization of agent must accompany this application.

NOTE: Ten (10) copies of the proposed preliminary plat must accompany this application for staff review. One (1) reduced copy (8 ½ x 11) must also be submitted with the application.

FOR OFFICE USE ONLY

Application No.: _____ Application Fee Paid: \$ _____ Date Fee Paid: _____ Receipt # _____

Cashier Code: FINALPLAT Received By: _____

FINAL PLAT INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-nine (49) days prior to a scheduled meeting. If the final plat complies with the preliminary plat, Planning Commission and Governing Body may consider approval without notice or public hearing.

PLANNING COMMISSION REVIEW AND DECISION: The Edgerton Planning Commission meets in the City Hall on the second Tuesday of every month. The Planning Commission shall review the final plat and other material submitted with it to determine conformity preliminary plat. The Planning Commission shall act upon the final plat within ninety (90) days after submission, unless the subdivider shall waive or consent to an extension of the ninety (90) day period.

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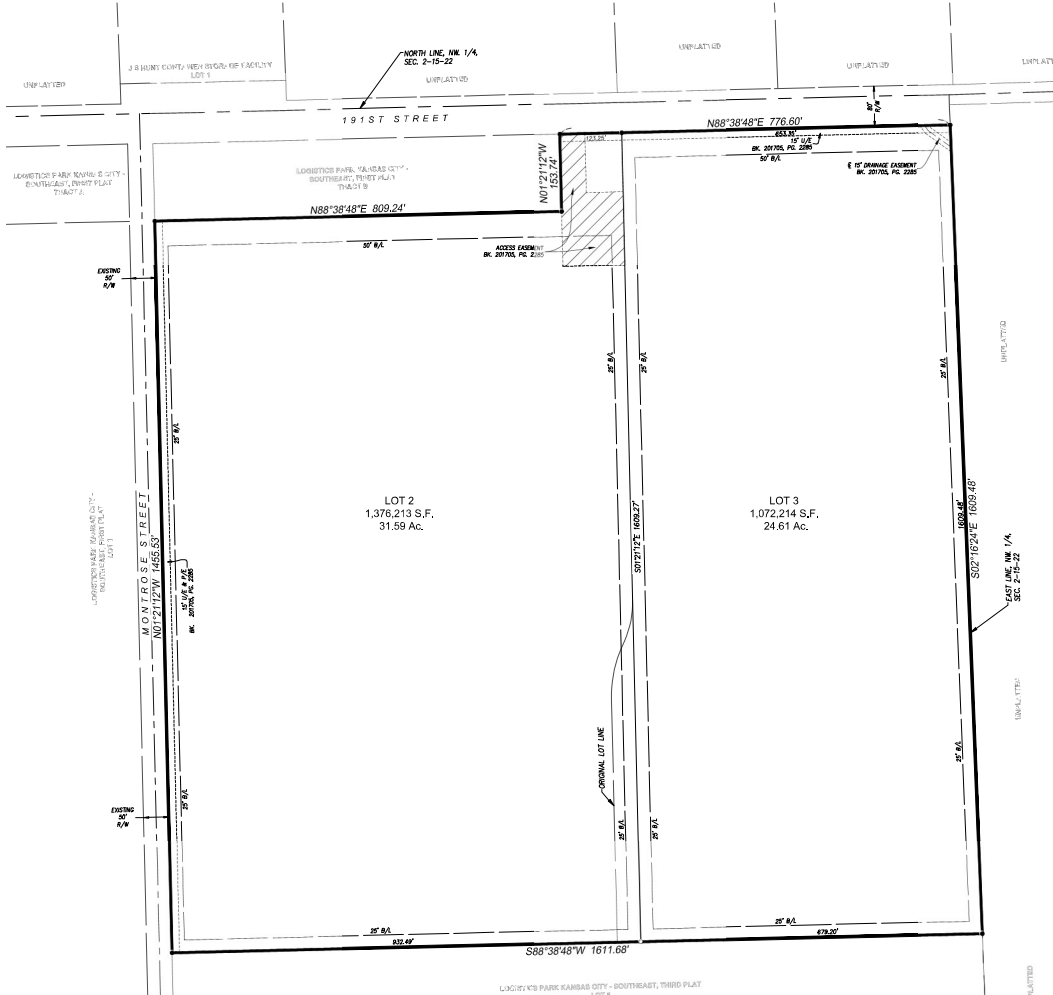
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- Certificate of the Zoning Administrator.

FINAL PLAT

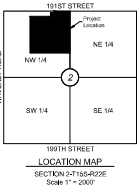
REPLAT OF LOGISTICS PARK KANSAS CITY - SOUTHEAST, FOURTH PLAT

A REPLAT OF LOTS 2 AND 3, LOGISTICS PARK KANSAS CITY - SOUTHEAST, FOURTH PLAT
SECTION 2, TOWNSHIP 15 SOUTH, RANGE 22 EAST, IN THE CITY OF EDGERTON, JOHNSON COUNTY, KANSAS



LEGEND:

- ▲ TO BE SECTION CORNER AS NOTED
- FOUND 5/2\"/>



NOTES:

Basis of Bearings: Kansas North Zone, U.S. State Plane, NAD 83
S.88°38'48\"/>

CLOSURE CALCULATIONS:
Precision: 1:144,141 = 1:884,851.120\"/>

Floor Plan Note: According to the F.E.M.A. Flood Insurance Rate Map Number 20091001100, dated August 3, 2009, and 20091001100, dated August 3, 2009, as published by the Federal Emergency Management Agency, the above site map shows the property in Zone \"X\" for insurance purposes. Zone \"X\" is defined as areas determined to be outside the 500-year flood elevation. No Base Flood Elevations have been determined.

LOT NO.	LOT AREA	LOT INFORMATION			BUILDING ENVELOPE
		FRONT SETBACK	REAR SETBACK	REAR SETBACK	
2	1,376,213 S.F. 31.59 Acres	AS SHOWN	AS SHOWN	AS SHOWN	1,276,392 S.F. 29.27 Acres
3	1,072,214 S.F. 24.61 Acres	AS SHOWN	AS SHOWN	AS SHOWN	946,813 S.F. 21.77 Acres
ROW	361/2 S.F. 0.82 Acres				

LEGAL DESCRIPTION:
Lots 2 and 3 LOGISTICS PARK KANSAS CITY - SOUTHEAST, FOURTH PLAT, in the City of Edgerton, Johnson County, Kansas.

DEDICATION:
The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as \"REPLAT OF LOGISTICS PARK KANSAS CITY - SOUTHEAST, FOURTH PLAT\".

The undersigned proprietor of said property shown on said plat does hereby dedicate for public use and public ways and thoroughfares, all parcels and parts of land indicated on said plat as streets, lanes, alleys, roads, drives, bases, parking areas and ways not heretofore dedicated. Where prior easement rights have been granted to any person, utility or corporation on said parts of the land so dedicated, and any pipes, lines, cables and wires, conduits, ducts or cables heretofore installed thereon and therein are required to be relocated, in accordance with proposed improvements as now set forth, the undersigned proprietor hereby assents and agrees to indemnify the City of Edgerton, Kansas, from any expense incident to the relocation of any such existing utility installations within said prior easement.

RESTRICTIONS:
There are no restrictions to be recorded with this plat.

CONSENT TO LEVY:
The undersigned proprietor of the above described tract of land hereby consents and agrees that the Board of County Commissioners and the City of Edgerton, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public use from the lien and effect of any special assessments, and that the amount of unpaid special assessments on such land dedicated, shall become and remain a lien on this land forming and abutting on such dedicated public way or thoroughfare.

EXECUTION:
IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed
this _____ day of _____, 20____.

Edgerton Land Holding Company, LLC
By: NorthPark Development, LLC
Its Manager
Owners: Lot 3, Logistics Park Kansas City-Southeast Fourth Plat

JPMXII 191 Street, LLC
By: NorthPark Development, LLC
Its Manager
Owners: Lot 2, Logistics Park Kansas City-Southeast Fourth Plat

Nathaniel Hagedorn, Managing Member
Nathaniel Hagedorn, Managing Member

STATE OF KANSAS) SS
COUNTY OF JOHNSON)

BE IT REMEMBERED, that on this _____ day of _____, 20____, before me a Notary Public in and for said County and State, came Nathaniel Hagedorn, Managing Member of Edgerton Land Holding Company, LLC, and JPMXII 191 Street, LLC who is personally known to me to be the same person who executed the foregoing instrument of writing or behalf of said corporation, and he duly acknowledged the execution of the same to be the act and deed of said corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year first written above.

Notary Public: _____ My Appointment Expires _____

APPROVALS:
APPROVED by the Planning Commission of the City of Edgerton, Johnson County, Kansas, on the _____ day of _____, 20____.

John Dickey, Chairperson
Tire Mathos, Secretary

APPROVED by the Governing Body of the City of Edgerton, Johnson County, Kansas, on the _____ day of _____, 20____.

Donald Roberts, Mayor
Alex Clover, City Clerk

APPROVED by the Zoning Administrator on the _____ day of _____, 20____.

Zaahray Moore, Zoning Administrator

SURVEYOR'S CERTIFICATION:
This is to certify on the 9th day of April, 2024, this field survey was completed on the ground by me or under my direct supervision and that said survey meets or exceeds the \"Kansas Minimum Standards\" for boundary surveys pursuant to K.S.A. 74-1707.

DRAFT COPY

Wayne E. Mahood, Kansas PS-1239
REC-RS 024-204
wmaheed@ncicons.com



REPLAT OF LPKC - SOUTHEAST, FOURTH PLAT

Prepared For:
ELIX XII, LLC
5015 NW Canal Street, Suite 200
Riverside, MO 64150
(816) 888-7590

Prepared By:
Renaissance Infrastructure Consulting
307 S. 5th Street
Lawrenceville, Kansas 66044
913-317-6900
www.riicons.com

Date of Preparation:
April 22, 2024
By: AFB

24-018

TEMPORARY CONSTRUCTION USE – ROCK CRUSHING FOR TSL EDGERTON – PHASE II

Application TCU2024-0001
31115 W. 191st Street

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Temporary Construction Use – Rock Crushing located at 31115 W. 191st Street.

Property Owner and Applicant

Hastings Family
Holdings, LLC
represented by Chris
Stara, Agent

Zoning and Land Use

Currently zoned L-P
(Logistics Park) District.
The northern part of the
subject property has
current operations of a
cargo container
storage/maintenance
facility and construction
to expand to the south
is ongoing.

Parcel Size

44.34± acres

Staff Report

Prepared by
Chris Clinton



BACKGROUND

Article 9, Section 9.6E of the Unified Development Code of the City of Edgerton, Kansas states that the Planning Commission is authorized to review and approve the use of property during times of construction, reconstruction, or adaptation to permit temporary living quarters for construction personnel, offices, buildings for storage, outdoor storage, machinery yards, portable concrete or asphalt mixing plants, sanitary facilities, and similar uses.

On previous occasions, the Edgerton Planning Commission has approved the use of certain property for construction-related activities associated with Logistic Park Kansas City (LPKC) subject to stipulations and the approval of City Staff.

Subject Site and Previous Approvals

The subject property is zoned L-P (Logistics Park) District, as the existing operation was rezoned on November 14, 2013 and the property under development was zoned on October 25, 2018. On April 9, 2019, the City of Edgerton Planning Commission approved Final Site Plan FS2019-02 for TSL Edgerton to expand their operation to the south. The property owner has had extensions of the Final Site Plan approved by the Planning Commission from 2020 to 2022 and the site is currently being developed. In April 2023, the Planning Commission approved TU2023-01, a temporary construction use for rock crushing operations for the expansion. The temporary use of rock crushing equipment expired on October 1, 2023, and rock crushing work has not occurred since, as the equipment has been damaged.

TEMPORARY CONSTRUCTION USE REVIEW

Applicant Request

Hastings Family Holdings, LLC, property owner, has submitted an application to renew the rock crushing operations. In the application, Mr. Chris Stara, the owner's representative, states that the rock crushing operations are to start upon approval of the operations. A Kleemann Mobirex MR 130i EVO2 is to be used for this operation, and the applicant provided specifications of the equipment which is a mobile impact crusher to be used onsite. The mobility of the crusher allows the operator to relocate on the site to ensure efficiency of the process. The use of the onsite crusher also reduces or removes the need to have rock delivered to the site for grading. The rock crushing operations will produce dust, however, the equipment has a water system installed to aid in dust mitigation. The operations are estimated to be completed by March 31, 2025 and will occur Monday through Saturday from 7:00 AM to 7:00 PM. The requested hours of operation are outside the approved hours of construction activities of 7:00 AM to 6:00 PM Monday through Friday and 8:00 AM to 6:00 PM Saturday. The City has reviewed the request and would recommend the Planning Commission approve the deviation from the approved construction hours. If the operations need to be extended past March 31, 2025, a new Temporary Construction Use permit must be granted prior to rock crushing recommencing. The applicant states if this request is to be denied, the material will need to be hauled in which would increase the traffic and impact City maintained roads. Off-site impacts will be minimized as much as possible, but if they do occur, the applicant, or the applicant's subcontractor will need to mitigate any issues that do arise.

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project. Please contact the Building Codes Division of the Community Development Department for more information about City permits. The project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
Application	Application for TCU2024-0001	04/25/2024
1	Request Letter	04/25/2024
2	Equipment Specification	

STAFF RECOMMENDATION

Staff recommends **approval** of Temporary Construction Use Application **TCU2024-0001** for 31115 W. 191st Street for construction-related activities pursuant to Article 9, Section 9.6E of the Unified Development Code, by Hastings Family Holdings, LLC for temporary construction and a temporary guard shack for TSL Edgerton subject to the following stipulations:

1. The rock crushing operations must be completed prior to March 31, 2025. If the rock crushing operations needs to be extended, another Temporary Construction Use permit must be obtained through the approval of the Planning Commission.
2. Offsite impacts from onsite construction-related activities shall be minimized to the extent possible. This shall include compliance with all City regulations and policies related to the tracking of debris onto public streets.
3. Applicant and any subcontractors agree to address any issues that affect offsite properties or public rights-of-way or easements in a reasonable time period.
4. Hours of operation shall be limited to from 7:00 AM to 7:00 PM on Monday through Saturday. The Development Services Director has authorized extended construction hours per Article 4-203.d of the Municipal Code.



New/Expired Permit (\$500)

Amended Application (\$250)

Project Name: TSL Terminals - Phase II

Location or Address of Subject Property: 31115 W 191st Street, Edgerton, KS (Undeveloped Portion)
(please attach legal description)

Current Zoning on Subject Property: Logistics Park Current Land Use: Vacant

Total Area: 44.3 Acres

Applicant Name(s): Chris Stara Phone: 531-444-4820

Company: TranSpec Leasing Email: chris.stara@4tsl.com

Mailing Address: 10001 S 152nd St Omaha NE 68138
Street City State Zip

Property Owner Name(s): David Hastings Phone: 402-895-6692

Company: Hastings Family Holdings, LLC Email: david.hastings@4tsl.com

Mailing Address: 10001 S 152nd St Omaha NE 68138
Street City State Zip

Explain construction activities: Application for use of rock crusher on site to break down concrete
for use as base material in the construction of terminal yard.

NOTE: Application must be submitted 28 days prior to regularly scheduled Planning Commission meeting

Signature of owner or agent:  Date: 4/25/2024

FOR OFFICE USE ONLY

Application No: _____ Application Fee Paid: \$ _____ Date Paid: _____

Cashier Code: TEMPCON Receipt #: _____ Planning Commission Meeting Date: _____

Received By: _____ Date: _____



TransSpec Leasing, Inc.

10001 South 152nd Street
Omaha, Nebraska 68138
(402) 895-6692
www.4tsl.com

April 25, 2024

Mr. Zach Moore
City of Edgerton, Kansas
404 East Nelson St.
Edgerton, KS 66021

RE: Renewal of Temporary Construction Permit for Rock Crushing Activities

Dear Mr. Moore:

TransSpec Leasing, Inc. (applicant) request to position a construction trailer and temporary guard shack at 31115 W 191st St, Edgerton, KS in support of the construction of Phase II of TSL Edgerton. Described below are the parameters of the proposed operations:

Construction Trailer

- Position behind the administration building, where it cannot be seen from W. 191st Street or Waverly Road.
- Will be used by construction foremen as a place to keep safety equipment, construction drawings, and to complete paperwork.
- Use will commence June 12, 2024, and finish by March 31st, 2025.
- Operating hours will range from 7 AM-7 PM, Monday – Saturday

Guard House

- Position a main gate.
- Will be used by overnight security guard to watch over the facility.
- Use will commence June 12, 2024, and finish by March 31st, 2025.
- Operating hours will be from 6 PM – 7 AM every night.

Please contact me, with any questions.

Best regards,

A handwritten signature in blue ink, appearing to read 'Chris Stara'.

Chris Stara

Technical Information

MOBIREX MR 130i EVO2



Track-mounted impact crusher

For use in natural stone and recycling

MOBIREX EVO2

Series

HIGHLIGHTS

- > Optimised material flow as a result of increasing system widths
- > Hydraulic gap setting
- > Simple and intuitive SPECTIVE control concept
- > Efficient and powerful D-DRIVE diesel-direct drive
- > High-performance post screening unit with oversize grain return (option)

MOBIREX MR 130i EVO2 mobile impact crusher

The MOBIREX MR 130i EVO2 mobile impact crusher can be deployed universally and produces first-class final product quality. With a crusher inlet width of 52" it achieves a production that was previously only associated with considerably larger crushing plants. Excellent efficiency and performance are achieved through a variety of technical highlights. Thanks to its compact design, the plant is easy to transport and quick to assemble and disassemble.

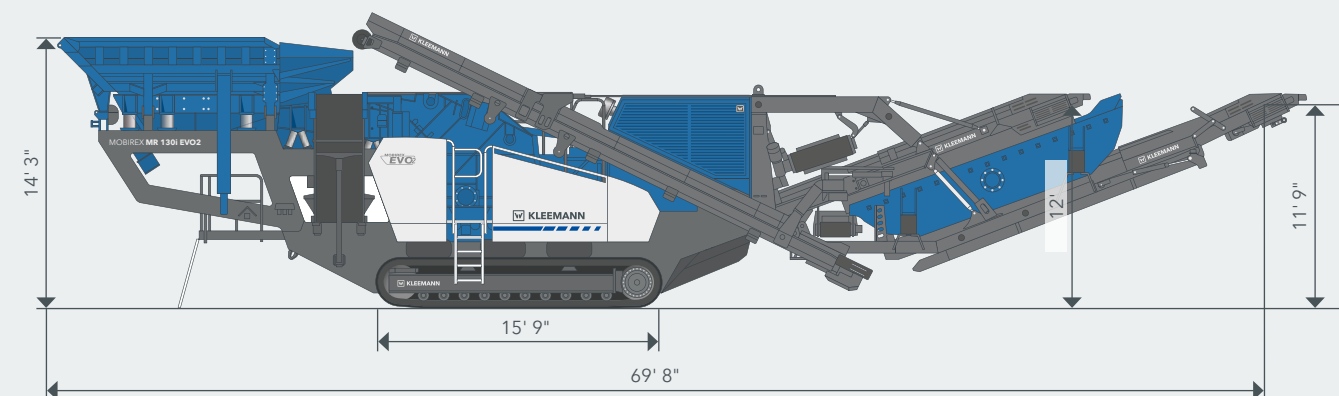


TECHNICAL DATA MR 130i EVO2

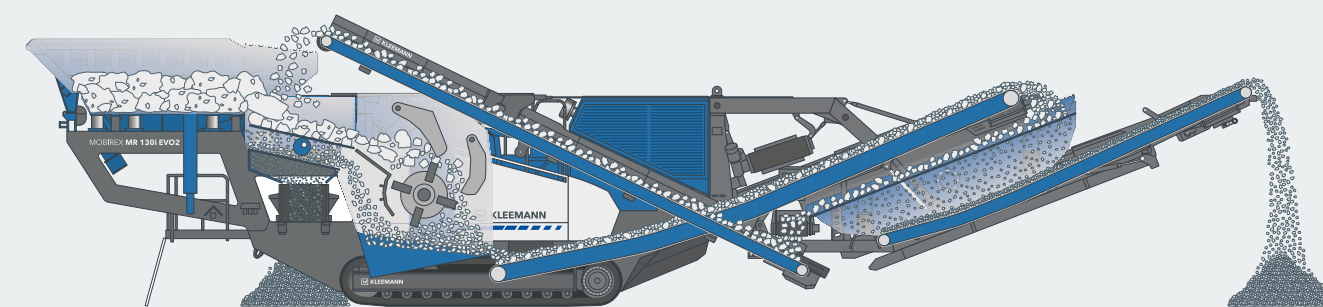
Feeding unit	
Feed capacity up to approx. (US t/h)	496 ¹⁾
Max. feed size	41" x 26"
Feed height (with extension)	14' 3" (15' 5")
Hopper volume (with extension) (yd ³)	6.5 (11.8)
Width x length (with extension)	7' 5" x 12' 2" (9' 10" x 12' 2")
Vibrating feeder	
Width x length	40" x 8' 7"
Prescreening	
Type	Double-deck heavy-duty screen
Width x length	48" x 7' 7"
Side discharge conveyor rigid (optional)	
Width x length (extended)	26" x 13' 1" (19' 8")
Discharge height approx. (extended)	9' 6" (12')
Crusher	
Impact crusher type	SHB 130-090
Crusher inlet width x height	52" x 36"
Crusher weight approx. (lbs)	36,450
Rotor diameter	47"
Crusher drive type, approx. (hp)	direct, 416
Type of impact toggle adjustment	infinitely variable, fully hydraulic
Crushing capacity with demolished concrete up to approx. (US t/h)	331 ²⁾
Crushing capacity with rubble up to approx. (US t/h)	331 ²⁾
Crushing capacity with demolished asphalt up to approx. (US t/h)	287 ³⁾
Crushing capacity with limestone up to approx. (US t/h)	375 ²⁾

Discharge chute	
Width x length	56" x 8' 10"
Crusher discharge conveyor	
Width x length	56" x 31' 10"
Discharge height approx.	12'
Power supply unit	
Drive concept	diesel-direct ⁴⁾
Scania (Tier 4f/Stage IV) (hp)	493 (1,800 rpm)
Generator (kVA)	135
Post screening unit (optional)	
Type	single-deck post screen
Width x length	61" x 14' 11"
Oversize grain return conveyor (wider)	20" x 32' (26" x 32')
Discharge height of fine grain discharge conveyor approx.	11' 9"
Transport	
Transport dimensions without options	
> Transport height	12' 4"
> Transport length approx.	60' 4"
> Max. transport width	9' 10"
Transport dimensions with post screening unit	
Transport length with screening unit	70' 11"
> Transport width with screening unit	10' 4"
Transport weight	
> Transport weight screening unit (lbs)	14,340
> Transport weight of basic plant - max. configuration (lbs)	132,300 - 140,550

OPERATING POSITION



MATERIAL FLOW



Optimum material flow is guaranteed: the MOBIREX MR 130i EVO2's system widths have been increased over the entire plant in the direction of material flow. The material flow is therefore not narrowed and material bridging can also be effectively prevented. Thanks to the fully hydraulic adjustment of the crushing gap, the plant

can adapt quickly to the material or the desired final grain size.

Operation is intuitive thanks to the SPECTIVE and SPECTIVE CONNECT operating concept.

¹⁾ Depending on type and composition of feed material, feed size, prescreening as well as target final grain size
²⁾ With final grain size 0" - 1.8" with approx. 10 - 15 % oversize grain
³⁾ With final grain size 0" - 1.3" with approx. 10 - 15 % oversize grain
⁴⁾ All electric ancillary drives

STANDARD EQUIPMENT

- > Hydraulically folding feed hopper, can be operated from ground
- > Frequency-controlled vibrating feeder
- > Frequency-controlled prescreen
- > Prescreen covering with slotted grate or punched plate (upper deck) and wire cloth (lower deck)
- > Extended side discharge conveyor 19' 8", rigid: can be mounted on left or right, discharge height approx. 12', must be dismantled for transport, inc. spray system
- > Quick Track for setting machine operating mode quickly and easily, operation via radio remote control
- > Impact crusher with rotor ledge set made of martensitic
- > Continuous feed system (CFS) for optimum crusher loading
- > Automatic crusher gap adjustment
- > Integrated overload protection
- > Rotor lock & turn device: system for securely turning and locking the rotor for maintenance tasks or clearing blockages
- > Permanent magnetic separator, magnet preparation
- > Post screening unit, in convenient container dimensions, hook-lift compatible, available with 20" and 26" wide oversize grain return conveyor
- > Swivel arm for changing rotor ledges
- > SPECTIVE control concept: menu-guided user interface, 12-inch control panel; telematics system WITOS FleetView for efficient fleet and service management
- > Lockable control cabinet, dust and vibration protected
- > LED lighting
- > Water spray system for dust reduction

OPTIONS

- > Hopper extension: hydraulically folding
- > Side discharge conveyor 13' 1", rigid: can be mounted on left or right, discharge height 9' 6", must be dismantled for transport, inc. spray system
- > Side discharge conveyor belt cover (sheet metal) in connection with rigid side discharge conveyor
- > Side discharge conveyor, hydraulically folding, can be mounted on both sides, discharge height 9' 6", remains on machine during transport, inc. spray system
- > Climate packages: hot climate or cold climate package
- > Ergonomic power pack enclosure for insulating noise sources
- > Electromagnetic separator
- > Belt scales, available for crusher discharge conveyor and fine grain conveyor (secondary screening unit)
- > Air classifier for cleaning oversize grain from foreign matter and lightweight matter through 15 hp blower with air outlet under transfer conveyor. Only available in connection with secondary screening unit option.
- > Trackpads for crawler chassis for protection of ground
- > Premium lighting

WIRTGEN AMERICA

6030 Dana Way
 Antioch, TN 37013
 USA

T: +1 615 501 0600
 M: info.america@wirtgen-group.com

www.wirtgen-group.com/america



TEMPORARY CONSTRUCTION USE – CONSTRUCTION TRAILER AND GUARD SHACK FOR TSL EDGERTON – PHASE II

Application TCU2024-0002
31115 W. 191st Street

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Temporary Construction Use – Construction trailer and temporary guard shack located at 31115 W. 191st Street.

Property Owner and Applicant

Hastings Family Holdings, LLC represented by Chris Stara, Agent

Zoning and Land Use

Currently zoned L-P (Logistics Park) District. The northern part of the subject property has current operations of a cargo container storage/maintenance facility and construction to expand to the south is ongoing.

Parcel Size

44.34± acres

Staff Report Prepared by

Chris Clinton



BACKGROUND

Article 9, Section 9.6E of the Unified Development Code (UDC) states that the Planning Commission is authorized to review and approve the use of property during times of construction, reconstruction, or adaptation to permit temporary living quarters for construction personnel, offices, buildings for storage, outdoor storage, machinery yards, portable concrete or asphalt mixing plants, sanitary facilities, and similar uses.

On previous occasions, the Edgerton Planning Commission has approved the use of certain property for construction-related activities associated with Logistic Park Kansas City (LPKC) subject to stipulations and the approval of City Staff.

Subject Site and Previous Approvals

The subject property is zoned L-P (Logistics Park) District, as the existing operation was rezoned on November 14, 2013 and the property under development was zoned on October 25, 2018. On April 9, 2019, the City of Edgerton Planning Commission approved Final Site Plan FS2019-02 for TSL Edgerton to expand their operations to the south. The property owner has had extensions of the Final Site Plan approved by the Planning Commission from 2020 to 2022 and the site is currently being developed. In April 2023, the Planning Commission approved TU2023-01, a temporary construction use for rock crushing operations for the expansion. The temporary use of rock crushing equipment expired on October 1, 2023, and rock crushing work has not occurred since, as the equipment has been damaged.

TEMPORARY CONSTRUCTION USE REVIEW

Applicant Request

Hastings Family Holdings, LLC, property owner, has submitted an application for a temporary construction trailer and temporary guard shack to the City for the Planning Commission to consider. In the application, Mr. Chris Stara, the owner's representative, states that the temporary construction trailer will be placed behind the administration building that is currently onsite. The provided map shows the proposed location and it appears that it will be screened from W. 191st Street. The trailer is to be used by the construction foreman to store equipment, construction drawings, and an office to complete paperwork. The proposed use of the trailer will start on June 12, 2024 and be completed by March 31, 2025. If the ongoing development is completed and issued a certificate of occupancy prior to March 31, 2025, the trailer will be removed, as is included as a stipulation of staff's recommendation. The proposed hours of operation of the business will be from 7:00 AM to 7:00 PM, Monday through Saturday and the guard shack will be used overnight from 6:00 PM to 7:00 AM. The temporary guard shack will be positioned by the main gate and be used during the same dates as the construction trailer. There is no noise, light, or odor produced with these requests.

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project. Please contact the Building Codes Division of the Community Development Department for more information about City permits. The project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
Application	Application for TCU2024-0002	04/25/2024
1	Request Letter	04/25/2024
2	Map of Temporary Structures	

STAFF RECOMMENDATION

Staff recommends **approval** of Temporary Construction Use Application **TCU2024-0002** for 31115 W. 191st Street for construction-related activities pursuant to Article 9, Section 9.6E of the Unified Development Code, by Hastings Family Holdings, LLC for a temporary construction trailer and a temporary guard shack for TSL Edgerton – Phase II, subject to the following stipulation:

1. The temporary structures must be removed from the site either upon issuance of a Certificate of Occupancy for Phase II or March 31, 2025, whichever occurs first.



New/Expired Permit (\$500)

Amended Application (\$250)

Project Name: TSL Edgerton - Phase II

Location or Address of Subject Property: 31115 W 191st St, Edgerton, KS
(please attach legal description)

Current Zoning on Subject Property: Logistics Park Current Land Use: Container Storage

Total Area: 44.3 Acres

Applicant Name(s): Chris Stara Phone: 531-444-4820

Company: TranSpec Leasing, Inc. Email: chris.stara@4tsl.com

Mailing Address: 10001 S 152nd St Omaha NE 68138
Street City State Zip

Property Owner Name(s): David Hastings Phone: 402-895-6692

Company: Hastings Family Holdings, LLC Email: david.hastings@4tsl.com

Mailing Address: 10001 S 152nd St Omaha NE 68138
Street City State Zip

Explain construction activities: As part of construction of Phase II of TSL's terminal a contractor trailer has been located to the South of the administrative office. The trailer is used by TranSpec's construction foreman as a place to keep safety equipment, construction drawings, an to complete paperwork. In addition, to the construction trailer there is also a temporary guard shack. The guard shack is used by a night security guard to watch over the facility. Upon completion of exit gates on Phase II, and additional office space, both structures will go away, and a permanent guard structure installed.

NOTE: Application must be submitted 28 days prior to regularly scheduled Planning Commission meeting

Signature of owner or agent:  Date: 4/25/2024

FOR OFFICE USE ONLY

Application No: _____ Application Fee Paid: \$ _____ Date Paid: _____

Cashier Code: TEMPCON Receipt #: _____ Planning Commission Meeting Date: _____

Received By: _____ Date: _____



Transpec Leasing, Inc.

10001 South 152nd Street
Omaha, Nebraska 68138
(402) 895-6692
www.4tsl.com

April 25, 2024

Mr. Zach Moore
City of Edgerton, Kansas
404 East Nelson St.
Edgerton, KS 66021

RE: Renewal of Temporary Construction Permit for Rock Crushing Activities

Dear Mr. Moore:

Transpec Leasing, Inc. (applicant) request to complete rock crushing operations at 3115 W 191st St, Edgerton, KS in support of the construction of Phase II of TSL Edgerton. Described below are the parameters of the proposed rock crushing operations:

- (1) Kleemann Mobirex MR 130i EVO2
- Crushing will commence June 12, 2024, and finish by March 31st, 2025
- Rock crushing activities will be performed Monday-Saturday
- Operating hours will range from 7 AM-7 PM
- Crushing equipment is mobile. Crusher will be relocated throughout the site to ensure efficiency of the crushing process.
- Crushed rock will be utilized on site for construction applications.
- Water application will be used on site to control dust.
- The denial of this permit will change the overall scope of the project, including a larger quantity of import material resulting in increased vehicle traffic on City maintained roads.

Please contact me, with any questions.

Best regards,

A handwritten signature in blue ink, appearing to read 'Chris Stara'.

Chris Stara

Exhibit: Temporary Structures



PROJECT DOOR PRE-TRIPPING

Application FSP2024-0001
31220 W. 187th Street

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Final Site Plan located at 31220 W. 187th Street.

Owner and Applicant

Kevin White,
Agent, NorthPoint
Development.

Existing Zoning and Land Use

The property was rezoned to City of Edgerton L-P (Logistics Park) District on July 12, 2012 (Ord. 924). The property has been developed with a container storage lot and maintenance facility.

Parcel Size

30.48± acres

Staff Report Prepared by

Chris Clinton



BACKGROUND

1. Proposal

This Final Site Plan request is being made in preparation for the installation of a guard shack and to construct a new, steel, pre-tripping building that complies with the Unified Development Code (UDC). Currently on the site, there is an approximately 10,600 square foot maintenance facility that repairs cargo containers. After inspection, the containers are either stored or repaired at the facility. Most of the site is dedicated to the storage of containers, both on and off chassis, which is permitted as a conditional use in the L-P District. A Conditional Use Permit (CU2021-04) was approved in 2022. There are two (2) stacked and modified cargo containers that are currently being used for pre-tripping purposes but were, however, not shown on the previously approved plans. With the inclusion of a future guard shack, the provided Final Site Plan includes plans for a new pre-tripping structure. The pre-tripping operations would be an accessory use to the cargo container storage lot and maintenance facility. The UDC requires a Site Plan for all new buildings per Section 10.1.B and must be considered following a public hearing before the Planning Commission.

2. Subject Site History

The 30.48-acre subject property was annexed on March 25, 2010 (Ordinance 883) and was rezoned to the L-P (Logistics Park) District on July 12, 2012 (Ordinance 924). On December 14, 2021, the Planning Commission approved a Preliminary Plat (PP2021-04), a Final Site Plan (FS2021-11) and recommended approval of a Final Plat (FP2021-03) and a Conditional Use Permit (CU2021-04) for the subject property. Final Plat FP2021-03 was approved by the Governing Body on January 13, 2022 and CU2021-04 was approved by the Governing Body on September 8, 2022 via Ordinance No. 2119.

FINAL SITE PLAN REVIEW

1. Zoning and Development Requirements

A. Building Materials

UDC Section 5.2.G.8 requires that accessory structures have a façade design similar in character with the façade of the main buildings, including the utilization of similar fenestration and materials. The existing modified containers that are used as the pre-tripping area was not originally included as part of the plan set approved with FS2021-11. The existing containers will be removed and replaced with a newly constructed building with the same dimensions as the modified containers. The new pre-tripping structure the tenant uses to inspect cargo containers is over 19 feet tall, and an existing 8-foot tall vinyl fence will remain to partially screen the building. The applicant is proposing a stone veneer in the first ten (10) feet above grade similar to that of the principal building and the remaining façade is proposed to be comprised of textured Hardie board siding, painted to match the maintenance building.

The UDC stipulates that cementitious product cannot be placed within the first eight (8) feet above grade on a façade visible from a public right-of-way (Section 5.2.J.3). This requirement has been met as the stone veneer will clad all of the façades within ten (10) feet above grade. The same UDC Section requires the cementitious products be limited to 50% of the buildings' exterior finishes. The applicant has provided calculations for the Hardie board siding and has indicated that the façade will be 48.9% Hardie board, meeting the UDC requirement.

The proposed guard shack will also be clad in stone veneer to match the main building. The only other material used on the prefabricated guard shack will be glass. This structure meets the UDC requirements and is similar to other guard shacks in and around Logistics Park Kansas City.

B. Setbacks

Table 1 below outlines the required and provided setbacks for the proposed structure.

Table 1

Setback	Required	Proposed
Front	50 feet	Approximately 56 feet
Side	50 feet	Approximately 380 feet
Rear	50 feet	Approximately 850 feet

The proposed setbacks exceed the minimum required setbacks of the UDC.

C. Height

The maximum height allowed of a building in the L-P District is 110 feet. The proposed structure is just over 19.5 feet above grade, complying with this UDC requirement.

D. FAR

The Floor Area Ratio (FAR) with the proposed structure is 0.01:1. The maximum FAR allowed by the UDC is 3:1. This proposal meets the required FAR.

E. Building Coverage

The UDC allows for 50% of the subject parcel to be covered by buildings. The subject parcel is approximately 1,327,757 square feet, which would allow 663,879 square feet of building. The proposed building with the inclusion of the currently developed warehouses would total approximately 11,589 square feet, complying with this UDC requirement.

F. Building Separation

The proposed space between the proposed structure and the cargo container maintenance facility is 61.5 feet. The UDC requires a minimum of 20 feet of separation between the structures. While this does meet the UDC requirements, the location must be approved by the Fire Department. If the Planning Commission approves this application, a building permit will be needed for the construction of the pre-tripping structure. The building permit plans will be reviewed for compliance with the currently adopted fire code.

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project and the project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
Application	Application for FSP2024-0001	02/20/2024
1	C-0200 Site Plan	04/29/2024
2	S1.00 General Notes	04/12/2024
3	S1.01 Typical Sections & Details	04/12/2024
4	S2.00 Foundation, Mezzanine & Roof Framing Plans	04/12/2024
5	A4.02 Building Elevations	05/21/2024

STAFF RECOMMENDATION

Staff recommends approval of Final Site Plan **Application FSP2024-0001** *Project Door Pre-Tripping* subject to the following stipulations:

1. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads, and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

Note: For application FSP2024-0001 the Planning Commission is the approving authority.



Site Plan Application

PRELIMINARY SITE PLAN FINAL SITE PLAN REVISED SITE PLAN RE-REVIEW

PROJECT NAME: _____

LOCATION OR ADDRESS OF SUBJECT PROPERTY: _____

LEGAL DESCRIPTION: _____

CURRENT ZONING ON SUBJECT PROPERTY: _____ CURRENT LAND USE: _____

TOTAL AREA: _____ ACRES NUMBER OF LOTS: _____ AVG. LOT SIZE: _____ Sq. Ft.

DEVELOPER NAME(S): _____ PHONE: _____

COMPANY: _____ EMAIL: _____

MAILING ADDRESS: _____
Street City State Zip

PROPERTY OWNER NAME(S): _____ PHONE: _____

COMPANY: _____ EMAIL: _____

MAILING ADDRESS: _____
Street City State Zip

ENGINEER NAME(S): _____ PHONE: _____

COMPANY: _____ EMAIL: _____

MAILING ADDRESS: _____
Street City State Zip

SIGNATURE OF OWNER OR AGENT: _____
If not signed by owner, authorization of agent must accompany this application.

NOTE: Two (2) 34"x42" paper copies plus an electronic copy of the site plan must accompany this application for staff review. All Site Plan requirements may be found in Article 10 of the Edgerton Unified Development Code (UDC).

Applicant is to provide the legal description electronically as a Word document to the City of Edgerton.

FOR OFFICE USE ONLY

Application No.: _____ Application Fee Paid: \$ _____ Date Paid: _____ Receipt #: _____

Code: SITEPLAN or PUBLISH Publication Fee Paid: \$ _____ Date Paid: _____

Received By: _____

SITE PLAN INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-nine (49) calendar days prior to the public hearing.

NOTICE REQUIREMENTS: A public hearing is required for Site Plan applications at either the Preliminary or Final Site Plan stage, depending upon which is submitted first. If a public hearing is held for a Preliminary Site Plan, a public hearing does not need to be held for the Final Site Plan. The City shall publish notice of the public hearing at least twenty (20) days in advance of the hearing in the official City newspaper. One copy of the proposed Site Plan shall be made available for public inspection at least twenty (20) days prior of the public hearing.

DESIGN STANDARDS: Applicants should abide by the district zoning regulations and design standards set forth in the Edgerton UDC as noted in the appropriate Articles for the proposed development. These regulations and design standards include, but are not limited to, building placement, architectural design standards, parking and loading, access management, photometrics, landscaping, signage and diesel emissions.

PLANNING COMMISSION REVIEW: The Edgerton Planning Commission meets in the Edgerton City Hall on the second Tuesday of every month. The Planning Commission shall review the site plan to determine conformity with the design guidelines and other requirements included within the Edgerton UDC.

APPROVAL LIMITATIONS: The Site Plan approval expires after one year from the date of approval and becomes null and void unless the applicant has been issued a building permit for the project or has requested an extension of time from the Planning Commission.

CHECKLIST

The following items shall be included on the site plan, and the scale shall be a professionally acceptable standard suitable to the area of the proposed project:

- A scale vicinity map showing the relationship of the site to surrounding neighborhoods, zoning of surrounding properties, roads and other physical features.
- A project title, zoning designation and applicant name. A street, lot or tract address of the project.
- An index of content pages.
- The data table as outlined in Section 10.1, Subsection G of the UDC.
- The name of the architect, engineer, surveyor and landscape architect, all licensed in the State of Kansas, who prepared the Site Plan.
- Engineer's seal with original signature.
- A landscape plan sealed by a landscape architect licensed to practice in the state of Kansas which is in conformance with applicable zoning district requirements. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. The submitted landscape plan drawn to scale, shall show the requirements as shown in Section 10.1, Subsection G.
- Existing and proposed topography including contours at two (2) foot intervals unless the property is too flat and then spot elevations shall be provided.
- Exterior lot lines with any survey pins.
- Location of buildings, proposed and existing if existing buildings will remain.
- Parking areas, paths, sidewalks with sizes and surface material specifications.

- Exterior lighting specifications including a preliminary photometric plan. A final photometric plan will be required at the time the applicant applies for a Building Permit.
- Site entrance and connections to streets.
- The location of existing and proposed easements.
- Connection point for utilities and the location and size of all utility lines including but not limited to sewer lines and manholes; water lines and fire hydrants; telephone, cable, fiber, and electrical systems; and storm drainage systems including inlets, catch basins, lines and other appurtenances, existing and proposed.
- Vehicular and pedestrian circulation within the site, entrances and exits, loading and unloading areas, and adjacent curb cuts.
- Scale drawings of all proposed signage including location, height, size, area, materials and design to be used on the premises with construction drawings required when applying for a sign permit in accordance with Article 12, Sign Regulations, of the UDC.
- Features to facilitate handicapped access.
- Profile and detail for roads the location and width of sidewalks and the location of trails.
- Storm Drainage Systems and Facilities shall be provided in connection with the proposed development of land in accordance with the Kansas City Metropolitan chapter of the American Public Works Association Construction and Material Specifications Section 5600 Storm Drainage Systems and Facilities. Said Site Plan shall show, by use of directional arrows, the proposed flow of storm drainage from the site. A summary table shall be provided on the Site Plan in the format outlined in Section 10.1, Subsection G of the UDC.
- A Storm Water Pollution Prevention Plan (SWPPP) shall also be provided and shall meet the known requirements of the National and Kansas General Permit. A signed and dated copy of the NOI shall be provided to the City prior to any disturbance of the soil on the construction site.
- Scale drawing of building floor plans with dimensions and square foot calculations.
- Scale drawings in full color with dimensions of all building facades or elevations including the labeling of exterior materials and color.
- Roof pitch and materials.
- The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right of way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. Include type of screening that will be used around equipment.
- Areas or facilities used for trash, trash compacting, recycling containers, service and loading are to be located out of public view from streets, adjacent to residential properties, and other highly visible areas such as parking lots, access drives, and similar areas. Refer to the regulations in Section 10.1, Subsection G of the UDC.
- Layout and design of all property designed required parking and loading areas in accordance with Article 16, Parking and Loading Regulations, of the UDC.

POSSIBLE ADDITIONAL REQUIREMENTS

Depending upon circumstances the Zoning Administrator may require additional information related to business operations and their impact on adjacent properties including, but not limited to the requirement of additional information for hazardous material or other environmental impacts.

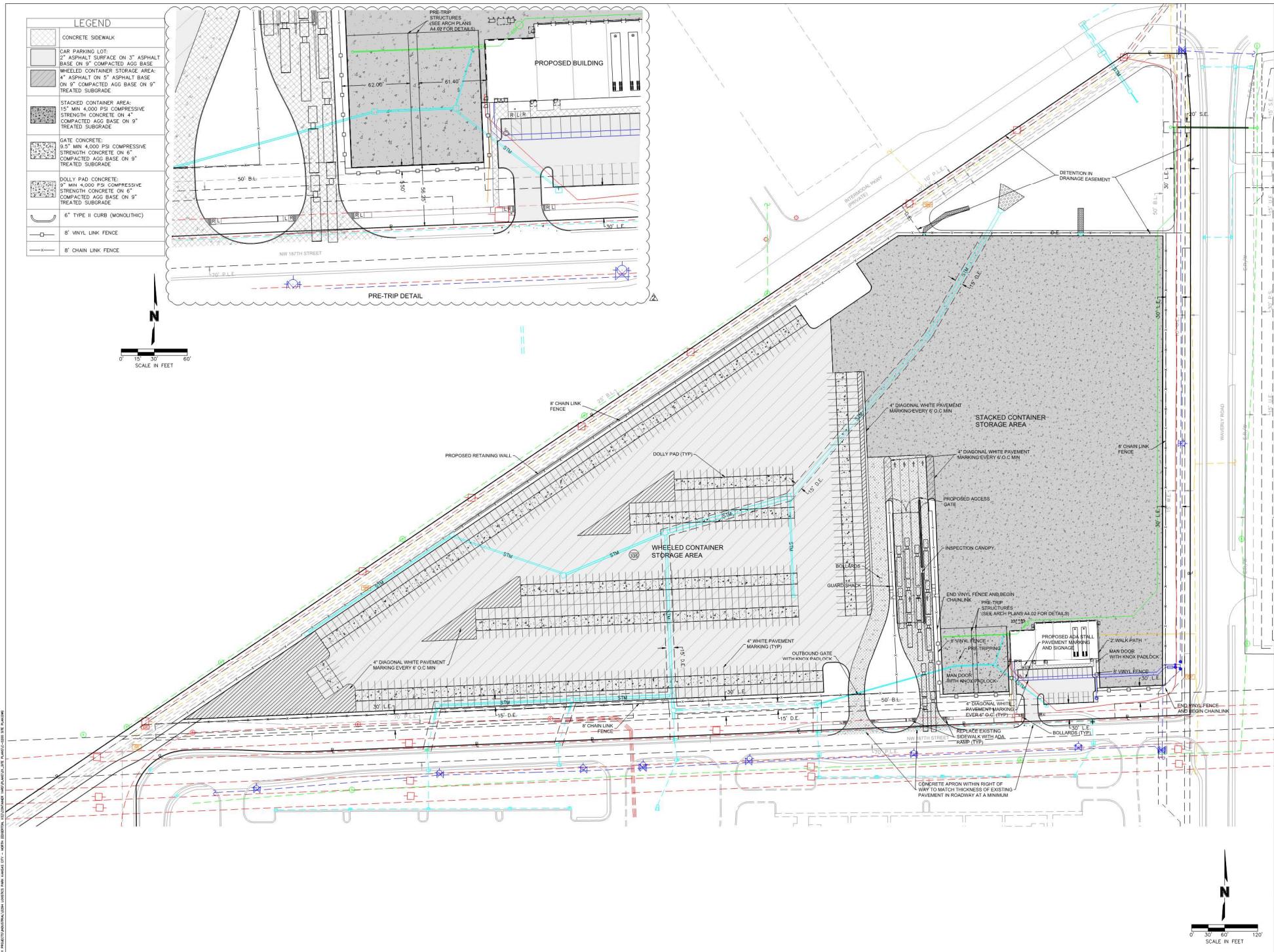
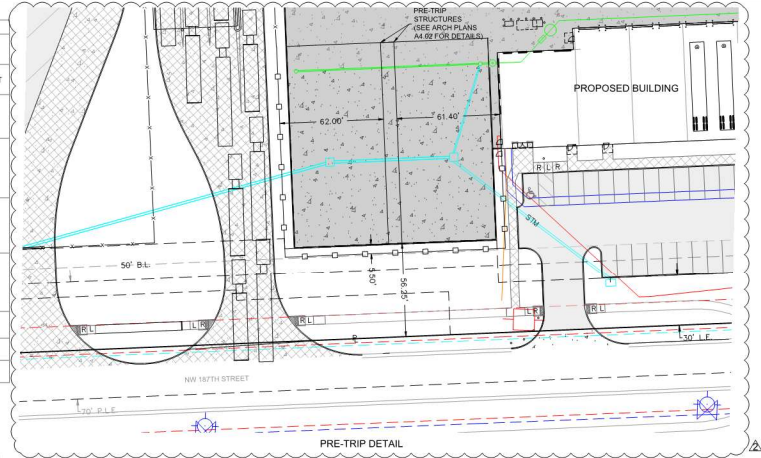
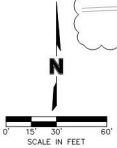
The Zoning Administrator may also require a detailed traffic impact study prepared by a Traffic Engineer, licensed in the State of Kansas, for large uses, mixed use and multi-tenant developments, or for developments in heavy traffic or congested areas to include:

- The projected number of motor vehicle trips to enter and leave the site, estimated for daily and peak hour traffic levels;
- The projected traffic flow pattern including vehicular traffic movements at all major intersections likely to be affected by the proposed use of the site;
- The impact of the proposed traffic upon existing, public and private ways in relation to existing and projected daily and peak hour road capacities;
- A recommendation of whether additional improvements would be needed such as turning lanes or traffic signals to accommodate the projected traffic;
- Any other information as determined by the City Engineer.

Outdoor Storage Requirements. Include adequate details on Site Plan to confirm individual District requirements are met.

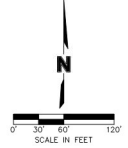
- Permanent Outdoor Storage – If applicable and allowed within the zoning designation, permanent outdoor storage areas, attached to the main structure and enclosed with screening or fencing, may be allowed if the enclosure meets aesthetic guidelines. Permanent outdoor storage areas must be indicated on the Site Plan.
- Seasonal Outdoor Storage - If applicable and allowed within the zoning designation, placement and dimensions of Seasonal Outdoor Storage area must be shown on the Site Plan. Administrative approval for a Seasonal Outdoor Storage Permit is granted by the Zoning Administrator upon the submission of a permit application which includes, but is not limited to, parking implications, time parameters (hours of operation and duration of display), signage, pedestrian and vehicular traffic flow, lighting requirements, security, maintenance of merchandise, and fencing.
- Temporary Sales Area – Temporary Sales Areas may be allowed within certain zoning designations. If the applicant wishes to request a Temporary Sales Permit, the Temporary Sales Area must be indicated on the Site Plan.

- LEGEND**
- CONCRETE SIDEWALK
 - CAR PARKING LOT:
2" ASPHALT SURFACE ON 3" ASPHALT BASE ON 6" COMPACTED AGG BASE
 - WHEELED CONTAINER STORAGE AREA:
4" ASPHALT ON 5" ASPHALT BASE ON 9" COMPACTED AGG BASE ON 9" TREATED SUBGRADE
 - STACKED CONTAINER AREA:
15" MIN. 4,000 PSI COMPRESSIVE STRENGTH CONCRETE ON 4" COMPACTED AGG BASE ON 9" TREATED SUBGRADE
 - GATE CONCRETE:
9.5" MIN. 4,000 PSI COMPRESSIVE STRENGTH CONCRETE ON 6" COMPACTED AGG BASE ON 9" TREATED SUBGRADE
 - DOLLY PAD CONCRETE:
9.5" MIN. 4,000 PSI COMPRESSIVE STRENGTH CONCRETE ON 6" COMPACTED AGG BASE ON 9" TREATED SUBGRADE
 - 6" TYPE II CURB (MONOTHIC)
 - 8" VINYL LINK FENCE
 - 8" CHAIN LINK FENCE



DATE	NO.	REVISION/APPROVALS
2024.02.29	1	DESIGNED BY
2024.04.29	2	REVISED PER OWNER CHANGES
	3	PRE TRIPPING DETAIL ADDED

SITE PLAN
PROJECT DOOR
EDGERTON, JOHNSON COUNTY, KANSAS



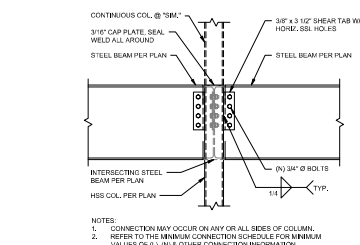
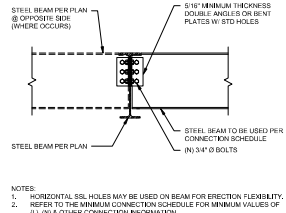
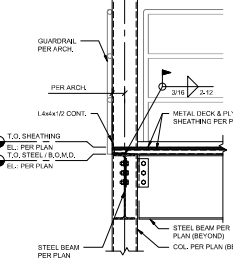
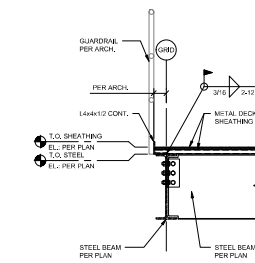
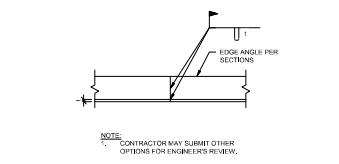
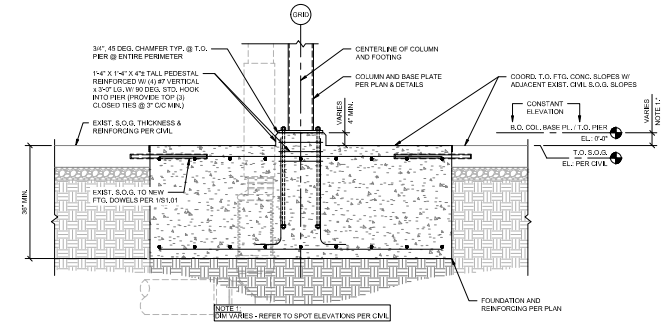
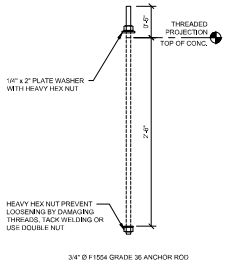
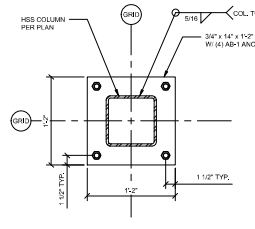
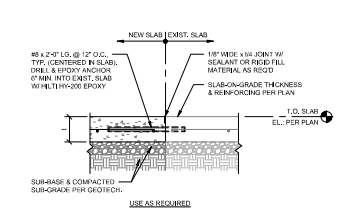
DATE	DESCRIPTION

PROJECT NO.	PRINT NO.

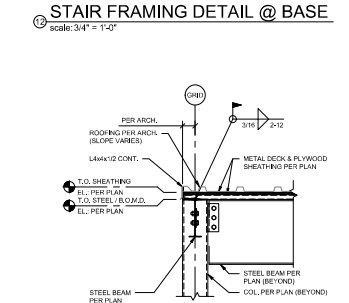
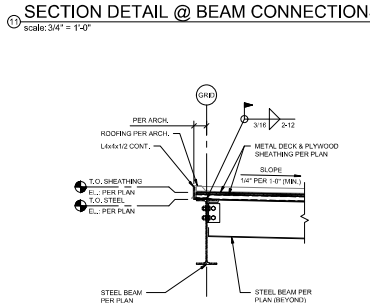
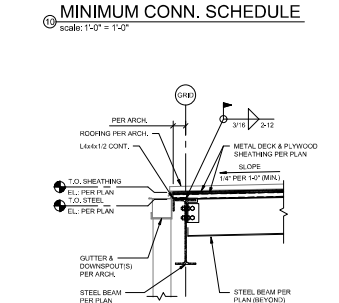
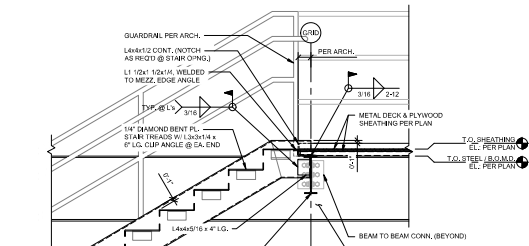
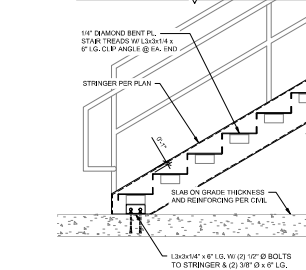
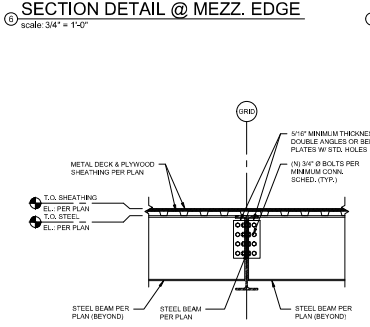
RISK/RANGE	PRINTING SET

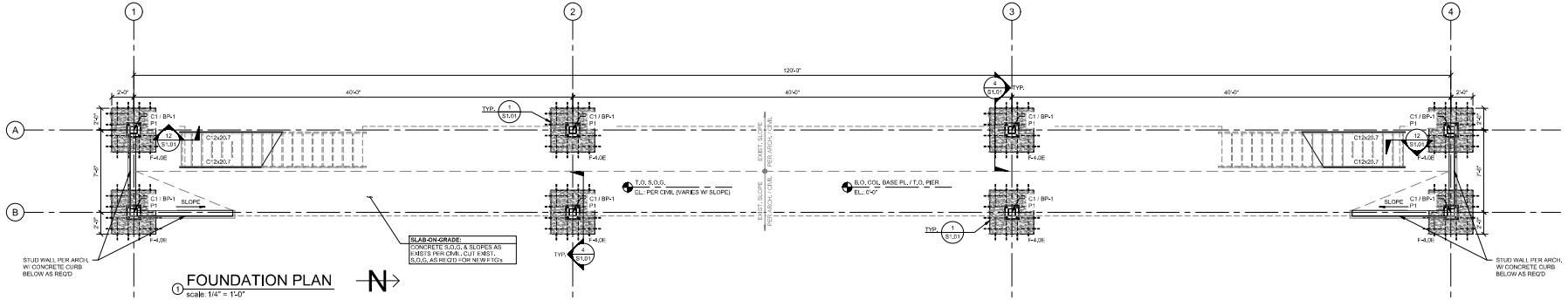
TYPICAL SECTIONS & DETAILS

S1.01



MINIMUM CONNECTION SCHEDULE			
BEAM SIZE	MIN. QTY. 3/4" Ø BOLTS	MIN. ANGLE OR BENT PLATE LENGTH (LIN.)	
W8	2	6	
W10	2	6	
W12	2	6	
W14	2	6	
W16	3	9	
W18	3	9	
W21	3	9	
W24	4	12	
W27	4	12	
W30	5	15	
W33	5	15	
W36	6	18	
W40	6	18	
W44	7	21	



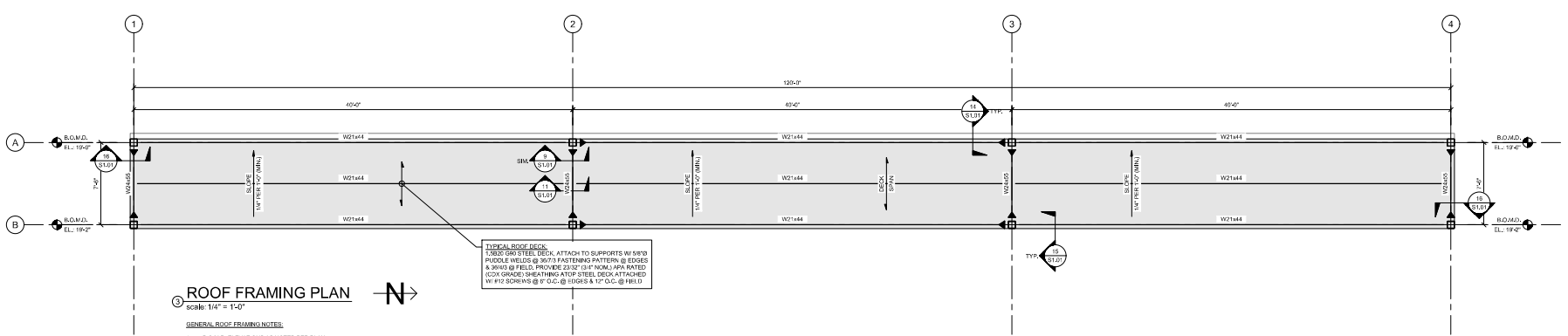
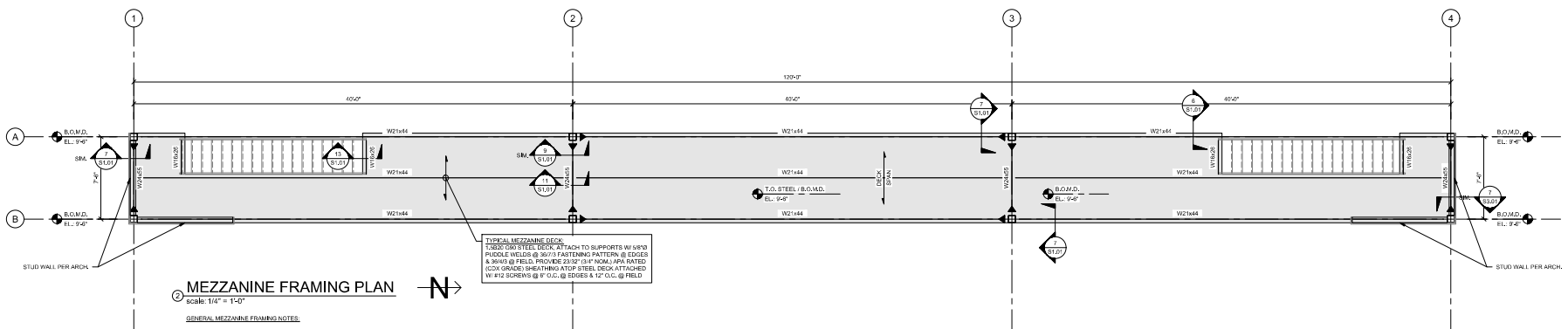


COLUMN SCHEDULE:

MARK	SIZE	BASE PLATE	COMMENTS
C1	HSS8x4x1/2	PER PLAN	-

FOOTING SCHEDULE:

TYP.	WIDTH	LENGTH	DEPTH	REINFORCING
F4.0E	4'-4"	4'-0"	3'-2"	(5) #8 @ 16" BOTTOM



REV#	DATE	DESCRIPTION

PROJECT NO.	PR1000
ISSUANCE	PRKING SET
DATE	2024/06/03
DRAWN BY	SMH
CHECKED BY	TJP
SCALE	PER DWG.



studioNorth
ARCHITECTURE
1405 NW 41st Street | Suite 100 | Overland, MO 64088
816.888.1100
187 South Park, LLC
Kansas Certificate of Authorization No. A-1346

- CIVIL
- LANDSCAPE
- FOUNDATIONS
- STRUCTURAL
- PLUMBING
- MECHANICAL
- ELECTRICAL
- FIRE PROTECTION
- CONTRACTOR



LOCATED AT:



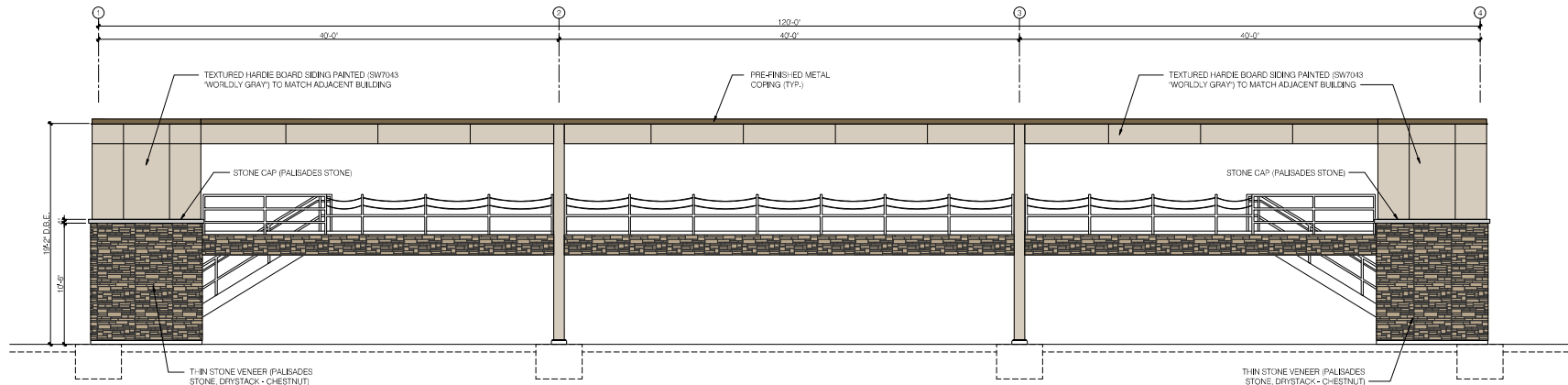
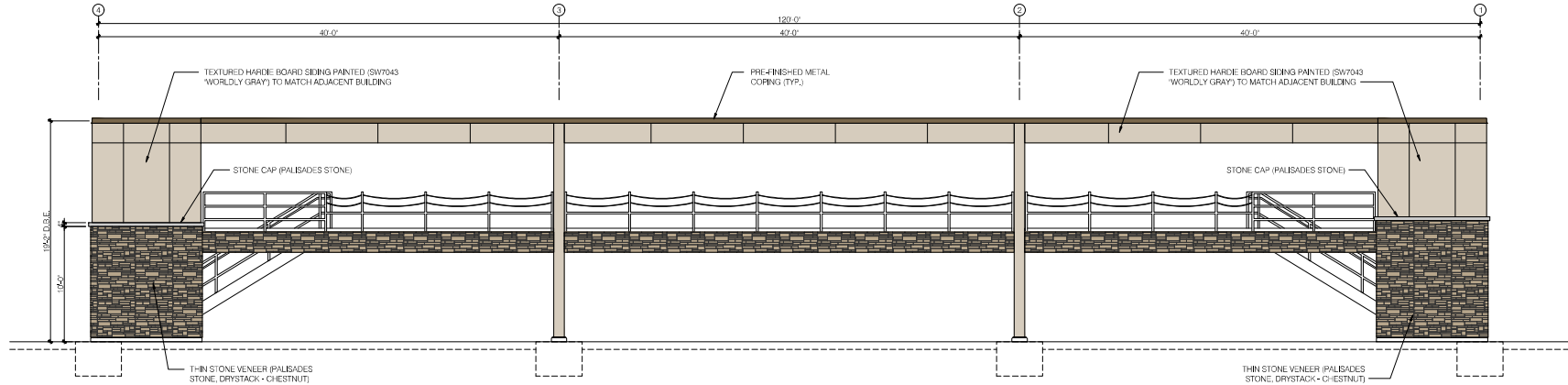
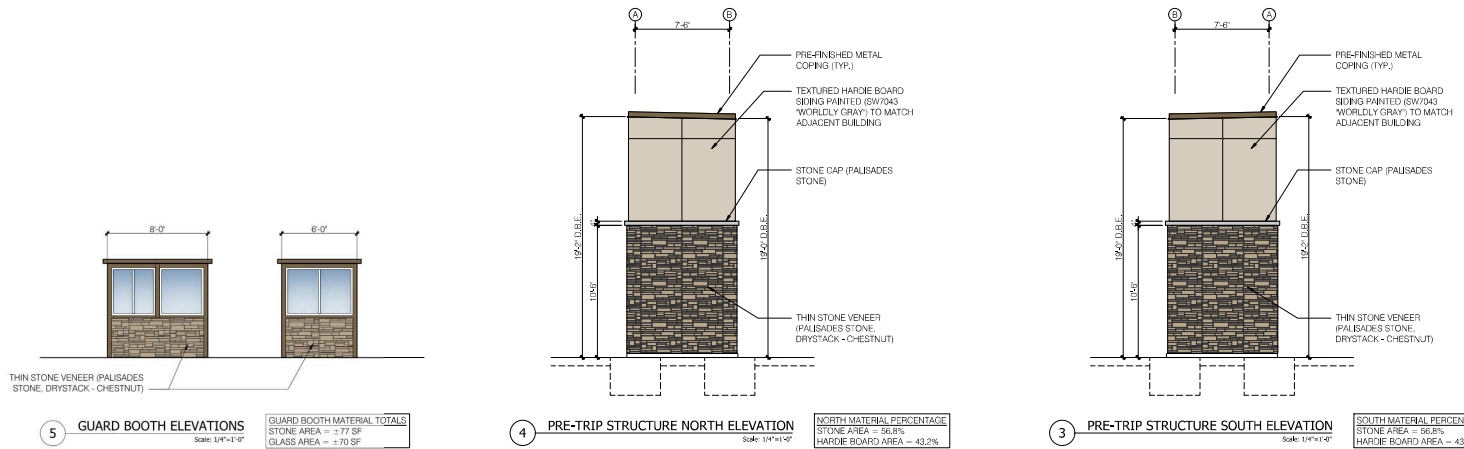
LPKC
Project Door

31200 W 167th Street • Olathe, KS 66021

Project No.	2020-107	
Date	05/21/24	
Issued For	Permitting	
Revisions		
No.	Date	Description

Preliminary
Not For Construction

A4.02
BUILDING ELEVATIONS



KUBOTA NADC UDT OIL & DIESEL PIPING SYSTEMS

Application FSP2024-0004
31700 W. 207th Street

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Revised Final Site Plan located at 31700 W. 207th Street.

Owner and Applicant

Kubota North America Corporation,
Property Owner

Existing Zoning and Land Use

The property is currently zoned L-P (Logistics Park) District. The property is currently developed with two (2) warehouses.

Parcel Size

206.21± acres

Staff Report

Prepared by
Chris Clinton



BACKGROUND

1. Proposal

This Revised Final Site Plan request is being made in preparation for the construction of a 960 square foot building on the northwest corner of the northern building. This building is to house two (2) 2,500-gallon tanks. One of the tanks will house oil and the other will be filled with diesel fuel. The oil and diesel fuel will then be piped underground into the northern warehouse to be used with the products. The site is currently developed with two (2) warehouses, the southern one (1) being approximately 1,011,000 square feet, and the northern one (1) being approximately 1,008,000 square feet, used for light manufacturing and distribution which are permitted uses in the L-P District. The proposed tanks are allowed as accessory uses, but the Unified Development Code (UDC) requires the tanks to either be below ground or fully enclosed in a building, and UDC Section 5.2.H.4 requires the tanks to be shown on a Final Site Plan. Site Plans are also required for all new structures per Section 10.1.B of the UDC and must be considered following a public hearing by the Planning Commission.

2. Subject Site History

The 206.21-acre subject property was annexed on March 15, 2018 (Ordinance 1077) and was rezoned to the L-P (Logistics Park) District on April 26, 2018 (Ordinance 1079). The subject property was created when the Governing Body approved the Final Plat for this property on April 26, 2018 (FP2018-03).

The Planning Commission approved the Final Site Plan for the subject property (FS2018-08) on November 13, 2018 for the development of the two (2) warehouses that are currently being occupied. On July 14, 2020, the Planning Commission approved FS2020-05, which allowed a fuel tank to be installed above-ground near the southwest corner of the northern building on the development. The request for that tank was submitted prior to the requirement of all fuel tanks be enclosed or underground. If this application is approved by the Planning Commission, the above-ground fuel tank will be removed upon installation of the new fuel tank.

FINAL SITE PLAN REVIEW

1. Zoning and Development Requirements

A. Accessory Fuel Tanks

Section 5.2.H.4 requires all exterior fuel tanks to be buried underground. All of the fuel tanks have to meet the International Building Code, International Fire Code, and all Kansas Department of Health and Environment requirements. The applicant has listed the incorrect code suites in the provided Final Site Plan and that must be corrected prior to the Zoning Administrator certifying the document. The applicant has proposed the fuel and oil tanks be in a separate building. This meets Section 5.2.H.2 of the UDC, which states that all operations must be conducted within a fully enclosed building or underground. Piping coming from the new building will be underground as well. The piping would need to come above ground prior to entering the northern warehouse and the applicant has provided a detail that shows the piping will extend only two (2) feet and six (6) inches above ground. The proposed location does appear to be screened from view from any public right-of-way and neighboring property.

B. Architectural Design Standards

The applicant is proposing a 960 square foot building to house two (2) 2,500-gallon tanks. The building is proposed to be constructed on concrete tilt-up panels. The east façade includes two (2) rolling doors that are eight (8) feet by ten (10) feet. The applicant has included a ramp at the bottom of these doors with a concrete drive to allow for easier refilling. The façades of the proposed building are to be painted with two (2) of the same colors that are on the warehouses. The proposal meets or exceeds the requirements of the UDC regarding the design of the building.

C. Setbacks

Table 1 below outlines the required and provided setbacks for the proposed structure.

Table 1

Setback	Required	Proposed
Front	50 feet	Approximately 1,820 feet
Side	50 feet	Approximately 510 feet
Rear	50 feet	Approximately 700 feet

The proposed setbacks exceed the minimum required setbacks of the UDC.

D. Height

The maximum height allowed of a building in the L-P District is 110 feet. The proposed structure is just over 19 feet above grade, complying with the UDC requirement.

E. FAR

The Floor Area Ratio (FAR) with the proposed structure is 0.24:1. The maximum FAR allowed by the UDC is 3:1. This proposal meets the required FAR.

F. Building Coverage

The UDC allows for 50% of the subject parcel to be covered by buildings. The subject parcel is approximately 8,322,206 square feet, which would allow 4,161,103 square feet of building. The proposed building with the inclusion of the currently developed warehouses would total approximately 2,020,306 square feet, meeting the UDC requirement.

G. Building Separation

The UDC requires a minimum of 20 feet of separation between the structures. The proposed space between the proposed structure and the northern warehouse is 145 feet. While this meets the UDC requirements, the location must also be approved by the Fire Department. If the Planning Commission approves this application, a building permit will be required for the construction of the structure and installation of the tanks. The building permit plans will be reviewed for compliance with the currently adopted Fire Code.

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project and the project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
Application	Application for FSP2024-0004	03/06/2024
1	C1.00 Cover Sheet	02/23/2024
2	C1.01 General Notes	03/25/2024
3	C1.02 Site Plan	04/22/2024
4	C1.03 Site Grading Plan	03/25/2024
5	C1.04 Site Details	04/25/2024
6	C1.05 Sediment & Erosion Control Details	03/25/2024
7	C1.06 Grassing Specifications	03/25/2024
8	M1.03 Piping Site Plan	04/22/2024
9	A1.01 Life Safety Plan Code Summary Specifications	03/25/2024
10	A1.02 Floor Plan Elevations	03/25/2024
11	A1.03 Sections Building/Wall	03/25/2024

STAFF RECOMMENDATION

Staff recommends approval of Final Site Plan **Application FSP2024-0004** *Kubota NADC UDT Oil & Diesel Piping Systems*, subject to the following stipulations:

1. The following comments must be addressed prior to certification by the Zoning Administrator:
 - a. The Code Summary on Sheet A1.01 must be updated to reflect the 2018 code suite having been adopted and used to design the project.

2. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads, and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

Note: For application FSP2024-0004 the Planning Commission is the approving authority.



Site Plan Application

PRELIMINARY SITE PLAN FINAL SITE PLAN REVISED SITE PLAN RE-REVIEW

PROJECT NAME: KUBOTA NAOC - UOT OIL & DIESEL PIPE SYSTEMS

LOCATION OR ADDRESS OF SUBJECT PROPERTY: 31750 W. 207th STREET, EDGERTON, KS 66021

LEGAL DESCRIPTION: 8 1/2 X 11 INCLINAD - ON CO.01 TITLE SURVEY

CURRENT ZONING ON SUBJECT PROPERTY: INDUSTRIAL CURRENT LAND USE: INDUSTRIAL

TOTAL AREA: 206.2 ACRES NUMBER OF LOTS: 1 AVG. LOT SIZE: N/A Sq. Ft.

DEVELOPER NAME(S): ANDY SULLIVAN PHONE: 770-532-0038 x 12043

COMPANY: KUBOTA NORTH AMERICA EMAIL: andy.sullivan@kubota.com

MAILING ADDRESS: 2115 RAMSEY RD. GRANDEVILLE GA 30501
Street City State Zip

PROPERTY OWNER NAME(S): ANDY SULLIVAN (REP.) PHONE: 770-532-0038 x 12043

COMPANY: KUBOTA NORTH AMERICAN CORP. EMAIL: andy.sullivan@kubota.com

MAILING ADDRESS: 10 IVERNESS DRIVE E. ENGLEWOOD CO 80112
Street SUITE 250 City State Zip

ENGINEER NAME(S): L. G. LEWIS, PE PHONE: 864-233-8844

COMPANY: H2L CONSULTING ENGINEERS EMAIL: slewis@h2l.com

MAILING ADDRESS: 116 S. PLEASANTBURG DR. GRANVILLE SC 29607
Street City State Zip

SIGNATURE OF OWNER OR AGENT: Andy Sullivan
If not signed by owner, authorization of agent must accompany this application.

NOTE: Two (2) 34"x42" paper copies plus an electronic copy of the site plan must accompany this application for staff review. All Site Plan requirements may be found in Article 10 of the Edgerton Unified Development Code (UDC).

Applicant is to provide the legal description electronically as a Word document to the City of Edgerton.

FOR OFFICE USE ONLY

Application No.: _____ Application Fee Paid: \$ _____ Date Paid: _____ Receipt #: _____

Code: SITEPLAN or PUBLISH Publication Fee Paid: \$ _____ Date Paid: _____

Received By: _____

SITE PLAN INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-nine (49) calendar days prior to the public hearing.

NOTICE REQUIREMENTS: A public hearing is required for Site Plan applications at either the Preliminary or Final Site Plan stage, depending upon which is submitted first. If a public hearing is held for a Preliminary Site Plan, a public hearing does not need to be held for the Final Site Plan. The City shall publish notice of the public hearing at least twenty (20) days in advance of the hearing in the official City newspaper. One copy of the proposed Site Plan shall be made available for public inspection at least twenty (20) days prior of the public hearing.

DESIGN STANDARDS: Applicants should abide by the district zoning regulations and design standards set forth in the Edgerton UDC as noted in the appropriate Articles for the proposed development. These regulations and design standards include, but are not limited to, building placement, architectural design standards, parking and loading, access management, photometrics, landscaping, signage and diesel emissions.

PLANNING COMMISSION REVIEW: The Edgerton Planning Commission meets in the Edgerton City Hall on the second Tuesday of every month. The Planning Commission shall review the site plan to determine conformity with the design guidelines and other requirements included within the Edgerton UDC.

APPROVAL LIMITATIONS: The Site Plan approval expires after one year from the date of approval and becomes null and void unless the applicant has been issued a building permit for the project or has requested an extension of time from the Planning Commission.

CHECKLIST

The following items shall be included on the site plan, and the scale shall be a professionally acceptable standard suitable to the area of the proposed project:

- A scale vicinity map showing the relationship of the site to surrounding neighborhoods, zoning of surrounding properties, roads and other physical features.
- A project title, zoning designation and applicant name. A street, lot or tract address of the project.
- An index of content pages. **C0.01**
- The data table as outlined in Section 10.1, Subsection G of the UDC. **C1.01**
- The name of the architect, engineer, surveyor and landscape architect, all licensed in the State of Kansas, who prepared the Site Plan.
- Engineer's seal with original signature. **L.G. LEWIS, PE**
- No** A landscape plan sealed by a landscape architect licensed to practice in the state of Kansas which is in conformance with applicable zoning district requirements. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. The submitted landscape plan drawn to scale, shall show the requirements as shown in Section 10.1, Subsection G.
- Existing and proposed topography including contours at two (2) foot intervals unless the property is too flat and then spot elevations shall be provided.
- No** Exterior lot lines with any survey pins.
- Location of buildings, proposed and existing if existing buildings will remain.
- Parking areas, paths, sidewalks with sizes and surface material specifications.

- Exterior lighting specifications including a preliminary photometric plan. A final photometric plan will be required at the time the applicant applies for a Building Permit. **NO EXTERIOR LIGHTING.**
- Site entrance and connections to streets. **NA**
- The location of existing and proposed easements. **NONE**
- Connection point for utilities and the location and size of all utility lines including but not limited to sewer lines and manholes; water lines and fire hydrants; telephone, cable, fiber, and electrical systems; and storm drainage systems including inlets, catch basins, lines and other appurtenances, existing and proposed. **NA**
- Vehicular and pedestrian circulation within the site, entrances and exits, loading and unloading areas, and adjacent curb cuts. •
- Scale drawings of all proposed signage including location, height, size, area, materials and design to be used on the premises with construction drawings required when applying for a sign permit in accordance with Article 12, Sign Regulations, of the UDC. **NO NEW SIGNAGE.**
- Features to facilitate handicapped access. **NA**
- Profile and detail for roads the location and width of sidewalks and the location of trails. **NA**
- Storm Drainage Systems and Facilities shall be provided in connection with the proposed development of land in accordance with the Kansas City Metropolitan chapter of the American Public Works Association Construction and Material Specifications Section 5600 Storm Drainage Systems and Facilities. Said Site Plan shall show, by use of directional arrows, the proposed flow of storm drainage from the site. A summary table shall be provided on the Site Plan in the format outlined in Section 10.1, Subsection G of the UDC. **C 2.01**
- A Storm Water Pollution Prevention Plan (SWPPP) shall also be provided and shall meet the known requirements of the National and Kansas General Permit. A signed and dated copy of the NOI shall be provided to the City prior to any disturbance of the soil on the construction site. **C 2.01**
- Scale drawing of building floor plans with dimensions and square foot calculations. **A 1.02**
- Scale drawings in full color with dimensions of all building facades or elevations including the labeling of exterior materials and color. **A 1.02**
- Roof pitch and materials. **A 1.03**
- The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right of way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. Include type of screening that will be used around equipment. **NONE**
- Areas or facilities used for trash, trash compacting, recycling containers, service and loading are to be located out of public view from streets, adjacent to residential properties, and other highly visible areas such as parking lots, access drives, and similar areas. Refer to the regulations in Section 10.1, Subsection G of the UDC. **NA**
- Layout and design of all property designed required parking and loading areas in accordance with Article 16, Parking and Loading Regulations, of the UDC.

POSSIBLE ADDITIONAL REQUIREMENTS

Depending upon circumstances the Zoning Administrator may require additional information related to business operations and their impact on adjacent properties including, but not limited to the requirement of additional information for hazardous material or other environmental impacts.

The Zoning Administrator may also require a detailed traffic impact study prepared by a Traffic Engineer, licensed in the State of Kansas, for large uses, mixed use and multi-tenant developments, or for developments in heavy traffic or congested areas to include:

- The projected number of motor vehicle trips to enter and leave the site, estimated for daily and peak hour traffic levels;
- The projected traffic flow pattern including vehicular traffic movements at all major intersections likely to be affected by the proposed use of the site;
- The impact of the proposed traffic upon existing, public and private ways in relation to existing and projected daily and peak hour road capacities;
- A recommendation of whether additional improvements would be needed such as turning lanes or traffic signals to accommodate the projected traffic;
- Any other information as determined by the City Engineer.

Outdoor Storage Requirements. Include adequate details on Site Plan to confirm individual District requirements are met.

- **Permanent Outdoor Storage** – If applicable and allowed within the zoning designation, permanent outdoor storage areas, attached to the main structure and enclosed with screening or fencing, may be allowed if the enclosure meets aesthetic guidelines. Permanent outdoor storage areas must be indicated on the Site Plan.
- **Seasonal Outdoor Storage** - If applicable and allowed within the zoning designation, placement and dimensions of Seasonal Outdoor Storage area must be shown on the Site Plan. Administrative approval for a Seasonal Outdoor Storage Permit is granted by the Zoning Administrator upon the submission of a permit application which includes, but is not limited to, parking implications, time parameters (hours of operation and duration of display), signage, pedestrian and vehicular traffic flow, lighting requirements, security, maintenance of merchandise, and fencing.
- **Temporary Sales Area** – Temporary Sales Areas may be allowed within certain zoning designations. If the applicant wishes to request a Temporary Sales Permit, the Temporary Sales Area must be indicated on the Site Plan.

Property/Lease Description

All that part of the Southeast and Southwest Quarters of Section 10, Township 15 South, Range 22 East of the Sixth Principal Meridian, together with all that part of Lots 1 thru 4, inclusive, ROCKWALL ESTATES, a platted subdivision, all in the City of Edgerton, Johnson County, Kansas, more particularly described as follows:

Beginning at the South Quarter corner of said Section 10; thence on Kansas State Plane North Zone bearings, South 88° 11'14" West, coincident with the South line of the Southwest Quarter of said Section 10, a distance of 1,686.12 feet thence departing said South line, North 45° 15'45" West, coincident with the centerline of Homestead Road, as it now exists, a distance of 1,237.76 feet; thence departing said centerline, North 02° 16'53" West a distance of 1,026.96 feet; thence North 87° 45'15" East a distance of 1,237.62 feet to a point on the North line of the Southwest Quarter of said Section 10; thence North 88° 09'59" West, coincident with the South line of said Southwest Quarter, a distance of 1,788.29 feet; thence departing said North line, South 01° 49'46" East a distance of 2,539.48 feet to a point on the South line of said Southwest Quarter; thence South 88° 09'59" West, coincident with said South line, a distance of 1,545.62 feet to the Point of Beginning, containing 8,963,886 square feet or 205.765 acres, more or less.

NOTE
Plans may change pending city review.

Description
All that part of the Southeast and Southwest Quarters of Section 10, Township 15 South, Range 22 East of the Sixth Principal Meridian, together with all that part of Lots 1 thru 4, inclusive, ROCKWALL ESTATES, a platted subdivision, all in Johnson County, Kansas, more particularly described as follows:

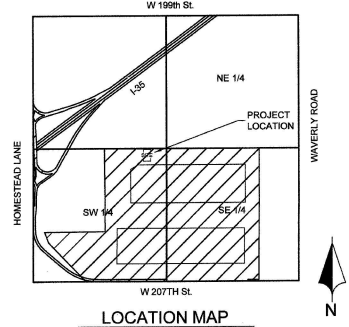
Beginning at the South Quarter corner of said Section 10; thence on Kansas State Plane North Zone bearings, South 88° 11'14" West, coincident with the South line of the Southwest Quarter of said Section 10, a distance of 1,686.12 feet; thence departing said South line, North 45° 15'45" West, coincident with the centerline of Homestead Road, as it now exists, a distance of 1,237.76 feet; thence departing said centerline, North 02° 16'53" West a distance of 1,026.96 feet; thence North 87° 45'15" East a distance of 1,237.62 feet; thence North 02° 16'53" West a distance of 1,026.96 feet to a point on the North line of the Southwest Quarter of said Section 10; thence North 88° 09'59" East, coincident with the North line of said Southwest Quarter, a distance of 1,788.29 feet; thence departing said North line, South 01° 49'46" East a distance of 2,539.48 feet to a point on the South line of said Southwest Quarter; thence South 88° 09'59" West, coincident with the South line of said Southwest Quarter, a distance of 1,788.29 feet to the Point of Beginning, subject to all that part in existing road right-of-way containing 8,962,382 square feet, or 206.207 acres, more or less.

- UTILITIES**
- | | |
|---|---|
| ELECTRIC
Energy (Missouri West)
Phone: 888.471.5275 | SANITARY
City of Edgerton
404 East Nelson
P.O. Box 255
Edgerton, Kansas
Phone: 913.883.6231 |
| GAS
Kansas Gas Service
11401 West 80th Street
Overland Park, Kansas
Phone: 913.599.8661 | TELEPHONE
Century Link
Phone: 800.788.3500 |
| WATER
Johnson Rural Water District 7
534 West Main
P.O. Box 7
Gardner, Kansas
Phone: 913.856.7173 | CABLE
Century Link
Phone: 800.788.3500 |

KUBOTA NADC

UDT OIL & DIESEL PIPING SYSTEMS

31750 W. 207TH STREET
EDGERTON, JOHNSON COUNTY, KANSAS 66021



PROJECT BENCHMARK
Johnson County Vertical Control Benchmark BM 1021. Elev =998.66 NAVD 88

LEGEND

--- Existing Section Line	----- Proposed Right-of-Way
----- Existing Right-of-Way Line	----- Proposed Property Line
----- Existing Lot Line	--- LL --- Proposed Lot Line
----- Existing Easement Line	--- LIE --- Proposed Easement
===== Existing Curb & Gutter	===== Proposed Curb & Gutter
----- Existing Sidewalk	----- Proposed Sidewalk
----- Existing Storm Sewer	----- Proposed Storm Sewer
□ Existing Storm Structure	□ Proposed Storm Structure
--- WA --- Existing Waterline	A Proposed Fire Hydrant
--- GAS --- Existing Gas Main	--- WATER --- Proposed Waterline
--- SAN --- Existing Sanitary Sewer	----- Proposed Sanitary Sewer
● Existing Sanitary Manhole	● Proposed Sanitary Manhole
----- Existing Contour Major	----- Proposed Contour Major
----- Existing Contour Minor	----- Proposed Contour Minor
	***** Future Curb & Gutter

INDEX OF SHEETS

- C1.00 Title Sheet
- C1.01 General Notes
- C1.02 Site Plan
- C1.03 Site Grading Plan
- C1.04 Site Details
- C1.05 Sediment & Erosion Control Details
- C1.06 Grassing Specifications



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DRAWING
NOT FOR
CONSTRUCTION**

CERTIFICATE:
Received and placed on record this _____ of _____, 2024.

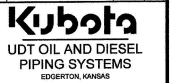
Zoning Administrator _____
Approved by the Edgerton City Planning Commission this _____ day of _____, 2024.

Chair of the Planning Commission _____

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, conditions required during Site Plan approval and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant Signature: [Signature] Date: 5/20/2024
Title: Professional Engineer Organization: H2L Consulting Engineers

D	OWNER REVIEW	02-13-24	JTM
No.	REVISION	DATE	BY



COVER SHEET

Date: 03-20-2024	Approved By: WDH
Drawn By: LC	Checked By: WDH
Project No: 23032	Sheet No: C1.00

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GENERAL NOTES

- All construction shall conform to the City of Edgerton's minimum design standards.
- Spot Grades shown herein shall govern over finished grades.
- All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
- The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Missouri, at the contractor's expense.
- The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition. See site land disturbance plans for erosion control measures.
- All work shall be confined within easements and/or construction limits as shown on the plans.
- All National Pollution Discharge Elimination System(NPDES) standards shall be met. See site land disturbance plans for more information.
- Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.
- Refer to the site land disturbance plans for existing utility locations and removal.
- Contractor to place erosion control matting on all slopes 3:1 or greater for stabilization.
- All storm structure dimension callouts are to inside of wall.

LAYOUT & PAVING NOTES

- Contractor shall keep a full set of KC-APWA Standard Details onsite at all times.
- The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work.
- Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Adjust all utilities prior to installation of pavement.
- Concrete walks and pads shall have a broom finish. All concrete shall be 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
- All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
- Dimensions are to the face of curb, or edge of concrete, unless otherwise noted.
- Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
- For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.
- Asphalt base course to be APWA Type 1 and surface course to be APWA Type 3. The maximum amount of recyclable asphalt material shall be 30%.
- Manhole/Storm Structure top elevations designated as "Field Verify" are located outside the street right-of-way or in areas of undetermined grading. Contractors ordering precast manholes/structures shall be responsible for adjustments required in the field at no additional cost to the owner. The Contractor shall field verify the top elevations prior to ordering precast manholes/structures.

PAVEMENT MARKING AND SIGNAGE NOTES

- Parking stall marking stripes shall be four inch (4") wide white stripes on asphalt and yellow on concrete pavement. Handicap stall marking shall be furnished at locations shown on plans.
- Traffic control and pavement markings shall be painted with a white Sherwin Williams S-W traffic marking series b-29y2 or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

UTILITY NOTES:

- Contractor will be required to provide notice to utility companies a minimum of twenty-four (24) hours prior to any excavation as follows: Kansas One Call: (316) 687-2479
- Exist. utilities and their locations, as shown on the plans, represent the best information attainable for design. Location information has been obtained from the various utility companies and is taken either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed constructions.
- The Contractor is to verify utility locations prior to construction of this project.
- Utility service and installation shall be coordinated with the respective utility owner, see Title Sheet for utility services and installation contacts.



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1	FOR REVIEW AND APPROVAL	05-08-24	JTM
0	OWNER REVIEW	05-23-24	JTM
No.	REVISION	DATE	BY

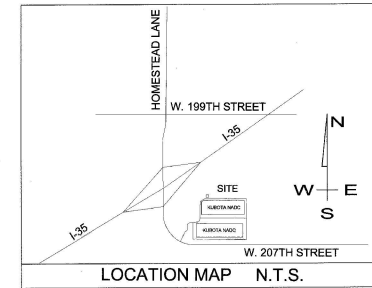
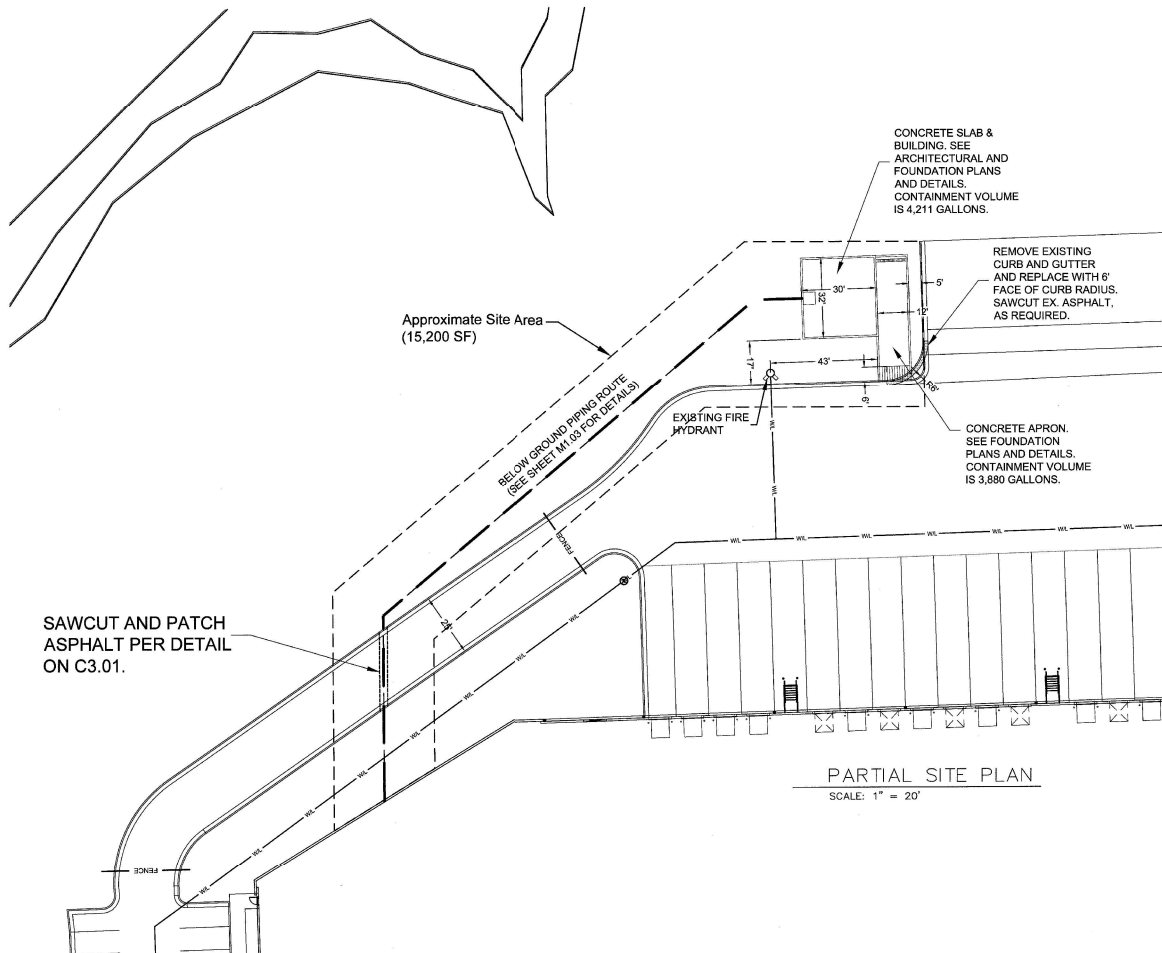


GENERAL NOTES

Date: 03-20-2024 Approved By: WDH
 Drawn By: LC Checked By: WDH
 Project No: 23032
 Sheet No:

C1.01





SITE DATA

OWNER - KUBOTA NORTH AMERICA CORPORATION
10 IVERNESS DRIVE E, SUITE 250
ENGLEWOOD, CO 80112

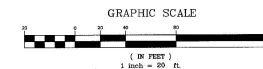
TAX PROPERTY ID - BP55830000 0001

LOT AREA - 206.21 ACRES (Total Kubota Complex)

NEW BUILDING AREA - 960 SF

ZONING - L-P, Logistics Park

PROPERTY SURFACE SUMMARY (PROJECT SITE)	
Summary of Existing Conditions	Summary after Project Completion
Total Building: 0 SF	Total Building: 960 SF
Total Pavement: 3,378 SF	Total Pavement: 4,408 SF
Total Impervious: 3,378 SF	Total Impervious: 5,368 SF
Total Pervious: 11,462 SF	Total Pervious: 9,832 SF
Total Property Area: 15,200 SF	Total Property Area: 15,200 SF



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No.	REVISION	DATE	By
2	APPLICANT REVISIONS	04-24-24	JTM
1	FOR REVIEW AND APPROVAL	04-24-24	JTM
B	FOR OWNER REVIEW	04-24-24	WGH
A	FOR OWNER REVIEW	02-28-24	WGH

Kubota
UDT OIL AND DIESEL
PIPING SYSTEMS
EDGERTON, KANSAS

Site Plan

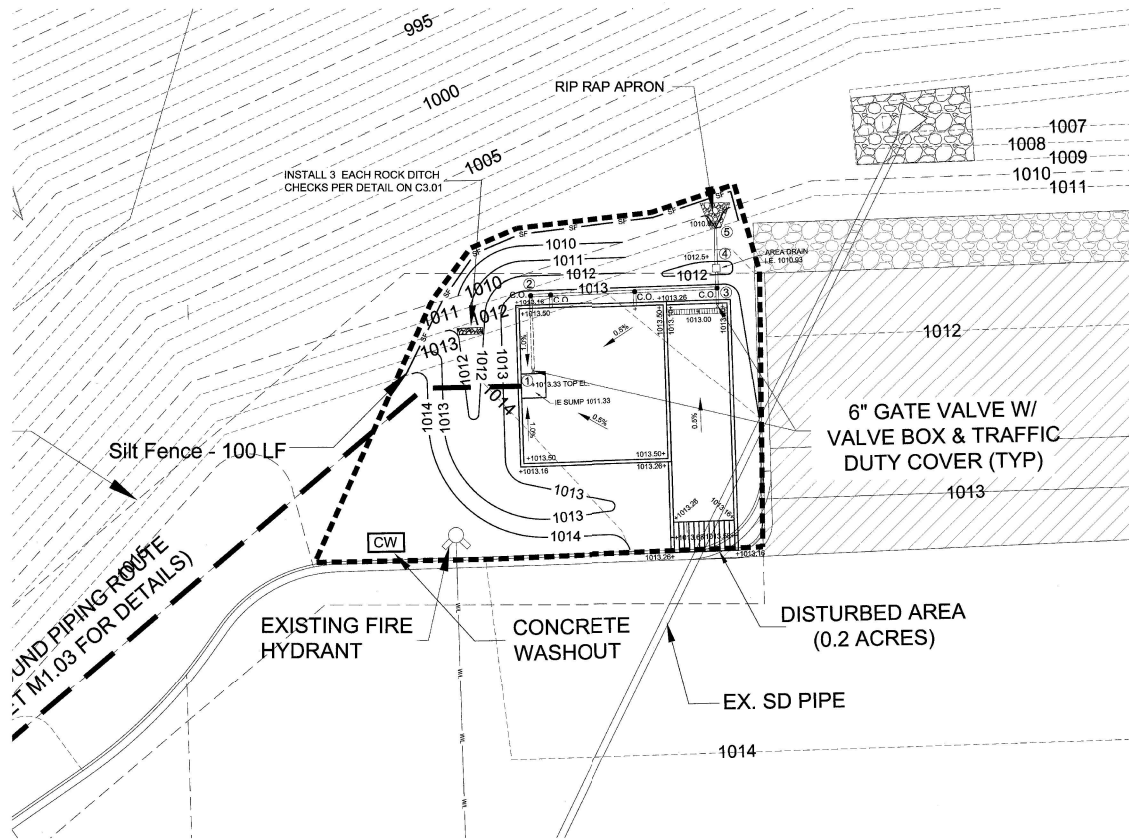
Date: 02-16-2024 Approved By: JTM

Drawn By: WDH Checked By: JTM

Project No: 23032

Sheet No:

C1.02

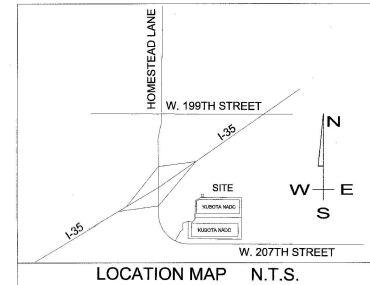


PARTIAL SITE PLAN
SCALE: 1" = 10'

Storm Drain Schedule

Structure	Type	Top Elev.	Invert Elev.	From	To	Length	Size (in)	Slope (%)
1	SP	1013.33	1011.33	1	2	16	6	1.00
2	CO	1013.16	1011.17	2	3	37	6	1.00
3	CO	1013.00	1010.80	3	4	4	6	6.67
4	AD	1011.50	1010.53	4	5	8	8	6.67
5	PE	1011.00	1010.00					

- Notes:**
- All new pipe shall be SCH. 40 PVC.
 - Structures are defined as follows:
 - CO - Clean Out
 - SP - Sump
 - AD - Stormwater Area Drain
 - PE - Pipe End



H2L
CONSULTING ENGINEERS
116 SOUTH PLEASANTBURG DRIVE
GREENVILLE, SOUTH CAROLINA 29607
(803) 233-8844 www.h2l.com

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NO.	REVISION	DATE	BY

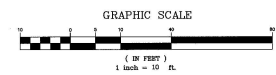
I	FOR REVIEW AND APPROVAL	02-20-24	JTM
A	FOR OWNER REVIEW	02-27-24	MDH

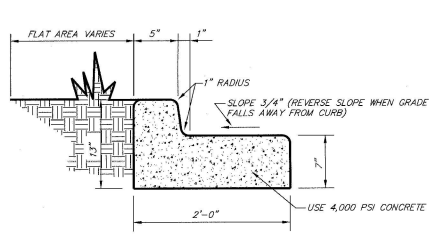
Kubota
UDT OIL AND DIESEL PIPING SYSTEMS
EDGERTON, KANSAS

Site Grading Plan

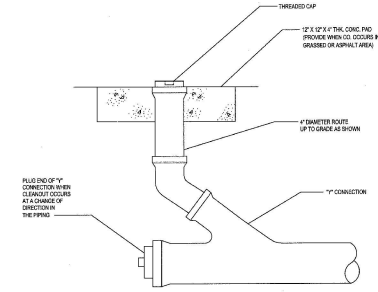
Date:	02-16-2023	Approved By:	JTM
Drawn By:	WDH	Checked By:	JTM
Project No:	23032		
Sheet No:	C1.03		

C1.03
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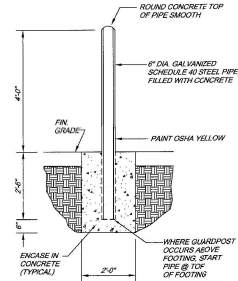




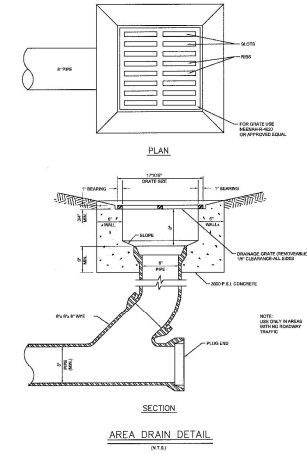
24" CONCRETE CURB & GUTTER DETAIL



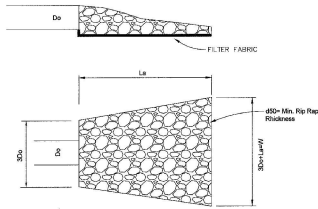
YARD CLEANOUT DETAIL
NOT TO SCALE



BOLLARD DETAIL

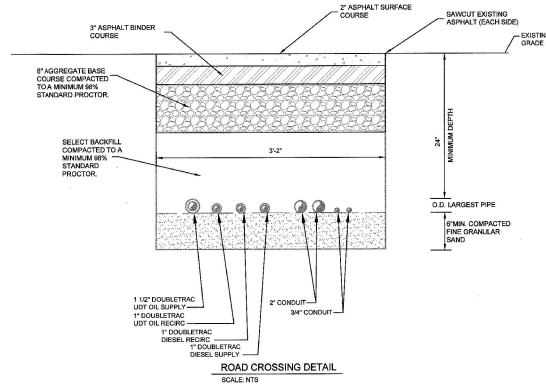


AREA DRAIN DETAIL
(N.T.S.)



RIP-RAP APRON DETAIL

STRUCTURE	Do	So	Q	La	W	do	MAX THICKNESS
OUTLET PIPE	8"	2'	10'	6'	7'	0.2	0.3'



NOTE: REMOVE AND REPLACE CURB AND GUTTER AS REQUIRED TO COMPLETE ROAD CROSSING. MATCH EXISTING CURB AND GUTTER.

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2	APPLICANT REVISIONS	04-25-24	JTM
1	FOR REVIEW AND APPROVAL	03-25-24	JTM
B	FOR OWNER REVIEW	03-21-24	MEH
A	FOR OWNER REVIEW	02-23-24	MEH

Kubota
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PIPING SYSTEMS
EDGERTON, KANSAS

Site Details

Date	02-16-2023	Approved By:	JTM
Drawn By	WDH	Checked By:	JTM
Project No.	23032		
Sheet No.	C1.04		



M:\-2023\000\23032 IBC Replacement & Spill Containment - Kubota Kansas\dwgs\23032 - C1.02 C1.06.dwg

Drawing File: M:\-2023\000\23032 IBC Replacement & Spill Containment - Kubota Kansas\dwgs\23032 - C1.02 C1.06.dwg - Printed by: jtm - Plot Date: Mon, 11/20/24, 11:44am

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION

STEEL FRAME AND TYPE C SILT FENCE INSTALLATION

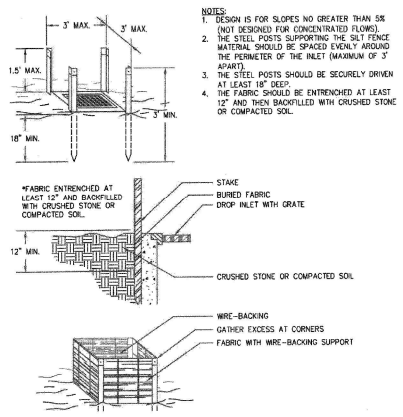


Figure 6-28.1 - Fabric and Supporting Frame for Inlet Projection

6/100

DOWNRAIN PIPE AND INLET DETAIL

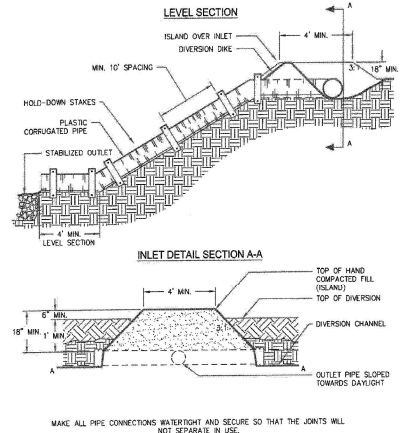
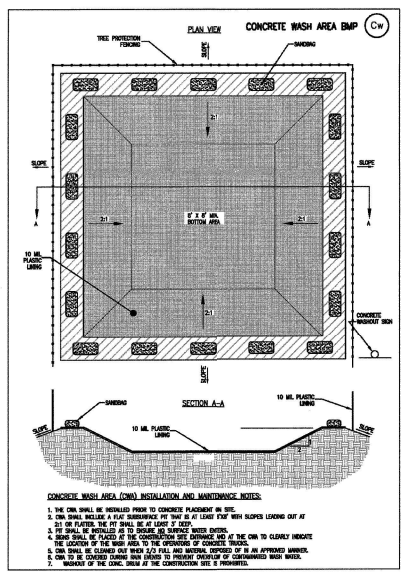


Figure 6-45.1

6/105



- CONCRETE WASH AREA (CWA) INSTALLATION AND MAINTENANCE NOTES:**
1. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT IN SITE.
 2. THE CWA SHALL BE 4 FEET WIDER THAN THE 10 ML PLATE DRAIN LEAVING OUT AT 21\"/>

SILT FENCE - TYPE C

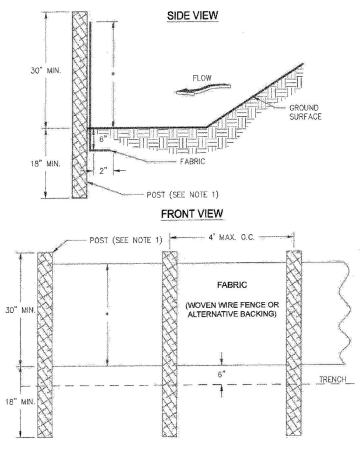


Figure 6-27.2

6/100

STONE CHECK DAM

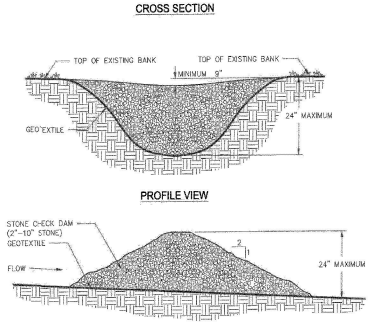


Figure 6-12.2

6/82

6/100

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No.	REVISION	DATE	By
1.	FOR REVIEW AND APPROVAL	02-20-24	JTM
A.	FOR OWNER REVIEW	10-10-24	MEH

Kubota
UDT OIL and DIESEL
PIPING SYSTEMS
EDGERTON, KANSAS

Sediment & Erosion Control Details

Date: 02-16-2023 Approved By: JTM
Drawn By: WDH Checked By: JTM
Project No: 23032
Sheet No:

C1.05



Project File: H:\2023000\23032 IBC Replacement & Spill Containment - Kubota Kansas\dwgs\23032 - C1.02 C1.06.dwg

Table 6-4.1 - Temporary Cover or Companion Cover Crops
PLANT, PLANTING RATE, AND PLANTING DATE FOR PERMANENT COVER OR COMPANION CROPS

Table 6-4.1 with columns: Species, Broadcast Rate, Residue Type, Planting Dates by Tillage Area, and Remarks. Rows include BARKLEY COVER CROPS, HYBRID ANNUAL SORGHUM, and MILEE PEARL BUCKWHEAT.

Table 6-4.1 continued with rows for BARKLEY COVER CROPS, HYBRID ANNUAL SORGHUM, and MILEE PEARL BUCKWHEAT.

Table 6-4.1 continued with rows for SORGHUM, BRINJON, and BIRD CHERRY.

Table 6-4.1.1 Fertilizer Requirements

Table 6-4.1.1 with columns: TYPE OF SPECIES, YEAR, ANALYSIS OR EQUIVALENT, RATE, and N TOP DRESSING RATE. Rows list crop types like Cool season system, Cool season grasses, and Warm season grasses.

1/ Apply in spring following seeding
2/ Apply in fall, appropriate when high rates are used.
3/ Apply in 3-4 inch applications.
4/ Apply when plants are 8 inches tall.
5/ Apply in 2-4 inch applications only.
6/ Apply when plants grow to a height of 2 to 4 inches.

Table 6-4.2 Permanent Cover Crops

Table 6-4.2 with columns: Species, Broadcast Rate, Residue Type, Planting Dates by Tillage Area, and Remarks. Rows include BIRD CHERRY, BIRD CHERRY, and BIRD CHERRY.

Table 6-4.3 Permanent Cover Crops

Table 6-4.3 with columns: Species, Broadcast Rate, Residue Type, Planting Dates by Tillage Area, and Remarks. Rows include BIRD CHERRY, BIRD CHERRY, and BIRD CHERRY.

Table 6-5.1 Permanent Cover Crops

Table 6-5.1 with columns: Species, Broadcast Rate, Residue Type, Planting Dates by Tillage Area, and Remarks. Rows include HYBRID ANNUAL SORGHUM, HYBRID ANNUAL SORGHUM, and HYBRID ANNUAL SORGHUM.

Table 6-5.2 Permanent Cover Crops

Table 6-5.2 with columns: Species, Broadcast Rate, Residue Type, Planting Dates by Tillage Area, and Remarks. Rows include BIRD CHERRY, BIRD CHERRY, and BIRD CHERRY.

Table 6-5.3 Permanent Cover Crops

Table 6-5.3 with columns: Species, Broadcast Rate, Residue Type, Planting Dates by Tillage Area, and Remarks. Rows include BIRD CHERRY, BIRD CHERRY, and BIRD CHERRY.



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Table with columns: No., Description, Date. Rows include 1. FOR REVIEW AND APPROVAL, 2. FOR OWNER REVIEW, 3. REVISION.



Grassing Specifications

Date: 02-16-2023 Approved By: JTM
Drawn By: WDH Checked By: JTM

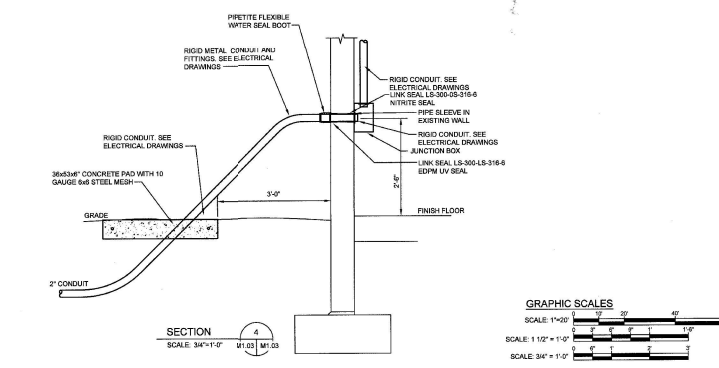
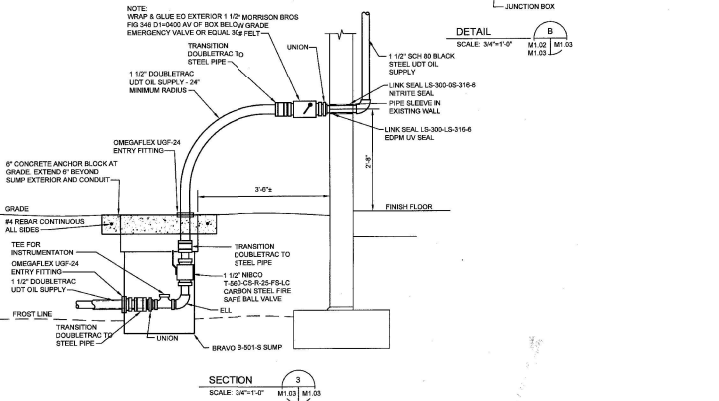
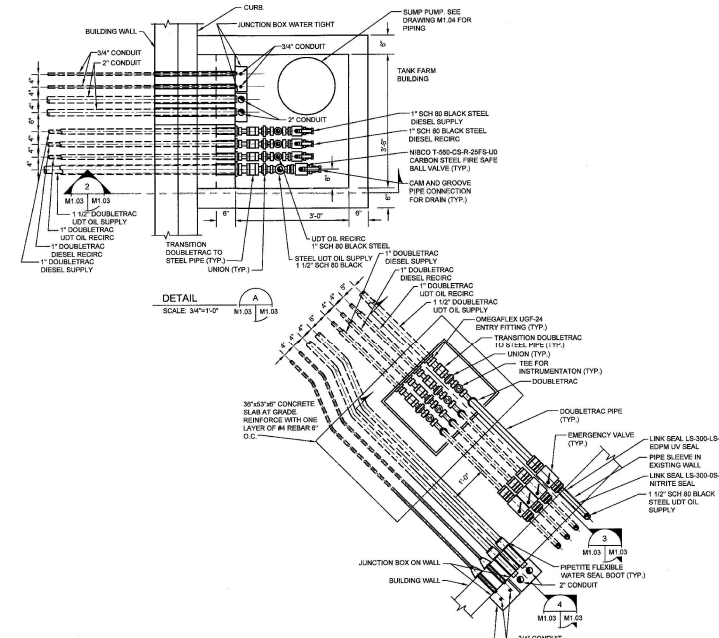
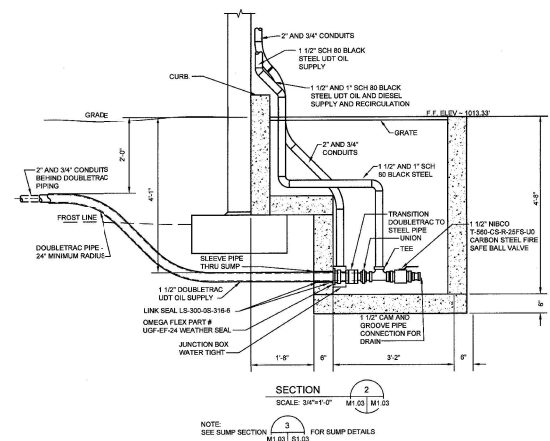
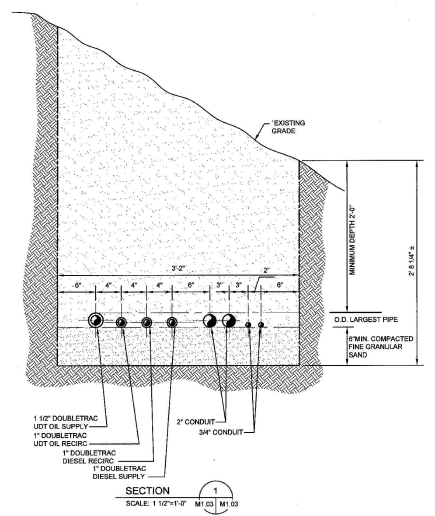
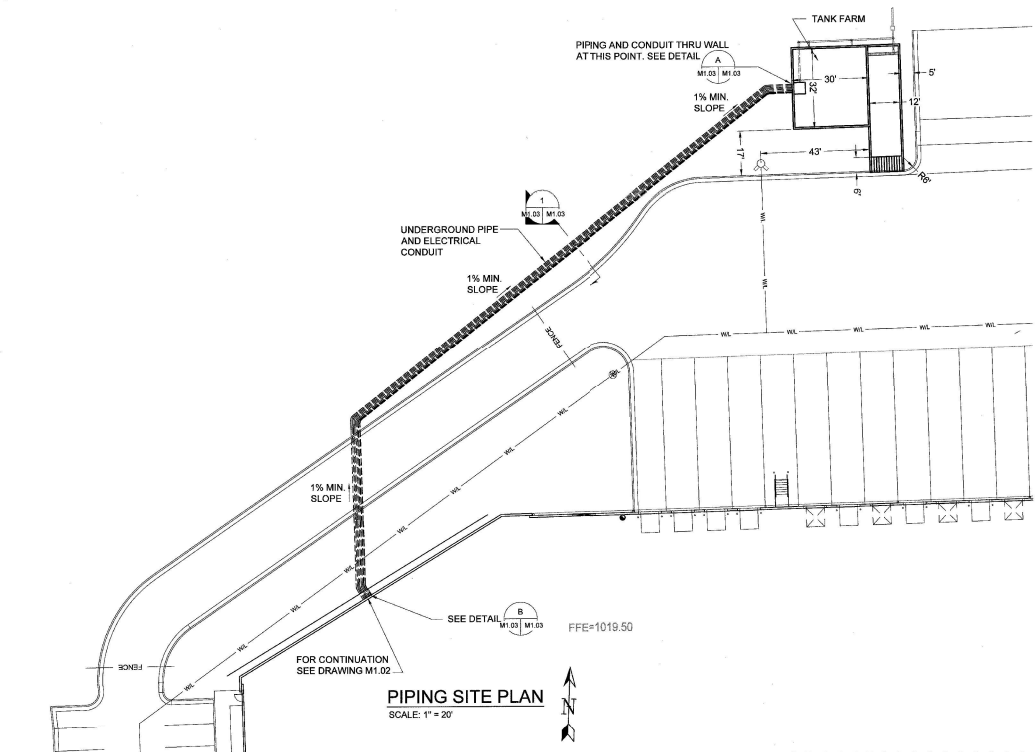
Project No: 23032

Sheet No: C1.06

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1/27/24
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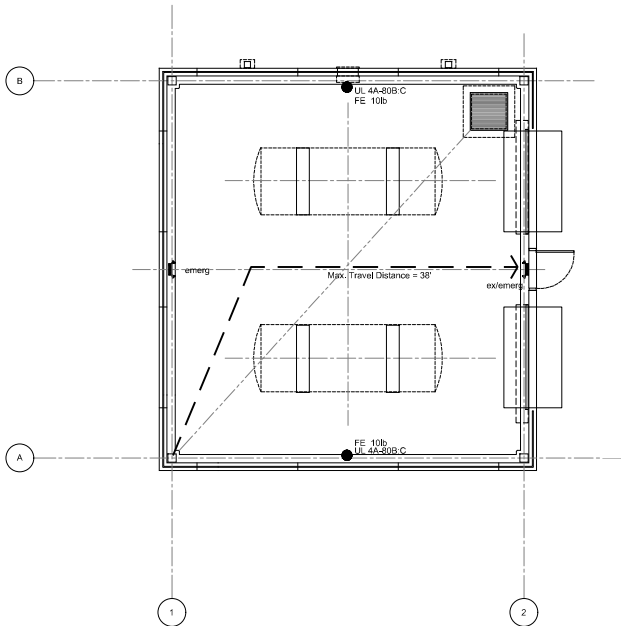
No.	REVISION	DATE	BY
2	APPLICANT REVISIONS	04-26-24	JTM
1	FOR REVIEW AND APPROVAL	03-26-24	JTM
3	OWNER REVIEW	03-18-24	JTM
4	OWNER REVIEW	02-23-24	JTM

Kubota
UDT OIL AND DIESEL
PIPING SYSTEMS
EDGERTON, KANSAS

Piping Site Plan

Date: 02-16-2024 Approved By: JTM
Drawn By: LC Checked By: JTM
Project No: 23032
Sheet No:

M1.03



CODE SUMMARY

Work of this Project has been designed in conformance with the following Codes:

- 2006 International Building Code
- 2006 International Fire Code
- 2006 International Mechanical Code
- 2006 International Plumbing Code
- 2006 International Fuel Gas Code
- 2006 International Energy Code
- 2006 National Electrical Code
- ICC ANSII A117.1-2007
- NFPA 101 Life Safety Code

USE / OCCUPANCY CLASSIFICATION

This Project - H-3

SPECIAL REQUIREMENTS

Section 415

HEIGHT / AREA LIMITS

- Height Allowable = 25'
- This Building = 16'
- Allowable Number of Stories = 2
- This Project = 1 story
- Allowable Area = 14,000 sq.ft.
- This Project = 1,024 sq.ft.

CONSTRUCTION TYPE

Table 601 - Protection of Building Elements
This Project - Type I-B Construction

FIRE RATED CONSTRUCTION

N/A

INTERIOR FINISHES

This Project - Table 803.13

FIRE PROTECTION SYSTEMS

- This Project - Section 903.3.1.1
- NFPA 13 throughout - SYSTEM DESIGN BY OTHERS
- This Project - Section 906 FIRE EXTINGUISHERS
- See Lifesafety Plan for location of UL 4A-80B-C 10lb-extinguishers
- This Project - Section 907 ALARM AND DETECTION SYSTEMS
- See Section 907.5 Integrate with Owner's existing system.

MEANS OF EGRESS

- This Project - Table 1004.5
- 1,024 sq.ft / 500 sq.ft. per Occupant = 3 total occupants
- This Project - Section 1005 Egress Sizing
- 3 x 2 = 0.6 inches required - 34" provided
- This Project - Section 1006 Number of Exits
- This Project - One exit provided
- This Project - Maximum Travel Distance
- H3 w/ sprinkler system = 250'
- This Project = 38'

ACCESSIBILITY

This Project - Section 1104 Accessible Route
Provided (See Sheet C1)

GENERAL NOTES:

1. Unless noted otherwise, all work shall conform to the minimum standards of the Codes as listed in the Code Summary. The common provisions included on Sheet A.001 shall apply to all work shown or specified herein.
2. All work shall comply with ADA Accessibility Guidelines and Chapter 11 of the Code.
3. All permits, licenses and utility connections shall be paid by the Owner and coordinated by the Contractor.
4. Discrepancies between existing conditions and the Documents shall be brought to the attention of the Architect/Engineer. Clarifications will be issued in written or drawing format.
5. Unless noted otherwise, dimensions indicated on the Drawings are from face to face or from structural centerlines to structural centerlines.
6. All materials shall be installed in strict accordance with the manufacturer's specifications or recommendations.
7. The Contractor shall submit shop drawings, product data sheets, or physical samples where specified. All submittals not bearing the Contractor's "Approved for Use on This Project" seal or similar recognition, shall be returned. The Contractor is responsible for confirming the means, methods, techniques, and safety precautions for all submittals.
8. The Contractor shall guarantee all work as outlined in the Owner - Contractor Agreement.
9. Any Contractor requested changes to Project cost or schedule shall not take effect until reviewed and approved in writing by the Owner.
10. Any concealed wood blocking shall be fire retardant and treated for resistance to moisture damage.
11. The Contractor shall coordinate the keying of all locks on this Project with the Owner's existing keying system.
12. All doors identified as EXIT shall freely open in the direction of exit travel without any special key or knowledge.
13. All surfaces designated to receive finishes shall be properly prepared to receive each finish. Beginning of finish application indicates the Contractor's acceptance of the substrate.
14. All wall penetrations shall be sealed (both sides) with backer rod properly sized for the opening and sealant.
15. Confirm final location and type of all fire extinguishers with the Owner's Building Department and/or Fire Marshal.
16. Coordinate type and location of building signage with the Owner's Building Department.

SPECIFICATIONS

DIVISION 6 - WOODS AND PLASTICS

ROUGH CARPENTRY

- LUMBER: S4S with 19% maximum moisture content.
- Materials for blocking and nailers shall be rated as stud or No.3, or better.
- Plywood shall be Exposure 1 CD with thickness as indicated on Drawings.
- PRESERVATIVE TREATED LUMBER: APWA C2 lumber or APWA C9 plywood
- Provide treated lumber at locations as follows: Roofing and flashing applications, in contact with concrete or masonry, and for any framing located less than 18" above floor.
- FIRE RETARDANT LUMBER: APWA C20 lumber or APWA C27 plywood
- Provide fire retardant lumber at locations as follows: Telephone and equipment backer boards.
- MISCELLANEOUS PRODUCTS
- Fasteners exposed to weather, ground or damp conditions shall be galvanized.
- Fasteners used in treated lumber materials shall be stainless steel.
- Fasteners size shall be as indicated in the Code for each application.
- INSTALLATION
- Install rough carpentry materials level, plumb, and true to lines. Cut and fit for each application.
- Prior to installation, visually inspect all lumber for defects. Discard materials that would limit strength or proper installation.
- Coordinate and install all concealed blocking with all other trades and divisions of work.

END OF DIVISION 6

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

BUILDING INSULATION

- SUBMITTALS: Product Data Sheets for each type of insulation
- SURFACE BURNING
- Less than 25 Flame Spread - Less than 50 Smoke Develop Index at exposed areas.
- INSULATION MATERIALS: Type II Class A mineral fiber made from glass slag or rock wool
- INSULATION MATERIALS: Tilt-Up Concrete Panels - 1" rigid, Polyisocyanurate Board, ASTM 1289
- INSTALLATION
- Fill tilt-up panel joints tightly with mineral fiber, loose insulation. Allow space for backer and sealant on both sides.
- Install rigid insulation boards in the interior of concrete, tilt-up panels as indicated on the Drawings.

THERMOPLASTIC POLYOLEFIN (TPO) ROOFING

- SUBMITTALS: Product Data Sheets for ALL materials including shop drawings for tapered insulation.
- EXTERIOR FIRE TEST: ASTM E108 - Class B
- WARRANTIES: Manufacturer's standard written warranty (with no dollar limit) signed by the manufacturer to repair leaks due to defects in materials and/or workmanship for a period of fifteen (15) years from the date of Substantial Completion.
- ROOFING MATERIALS:
- TPO sheets - ASTM 6872, Type II, scrim or fabric internally reinforced, 45 mils thick, minimum of 6' wide, white in color, with minimum solar reflectance of 78.
- AUXILIARY MATERIALS:
- Vertical Sheet Flashing - 60mils, color to match TPO panels.
- Bonding Adhesive - As recommended by the TPO manufacturer.
- Sealers, cones, vent flashing, formed corners, termination reglets, fasteners, and other components as required by the manufacturer for a complete, warranted, weather tight installation.
- ROOF INSULATION:
- Polyisocyanurate rigid board insulation; ASTM C1289, Type I. Provide R values as indicated on Drawings.
- Furnish roofing insulation board materials that are acceptable to the TPO membrane supplier.
- Furnish cuts, tapers and other special shapes as indicated on the drawings or required by the TPO manufacturer.
- Fabricate tapers at 3/8" per foot to match roof slope.
- INSTALLATION
- All insulation and roofing materials shall be installed only by tradespersons trained in the installation of the manufacturer's specific provided materials.
- Mechanically attach each layer of insulation to metal decking. Stagger insulation board layer joints in both directions.
- Mechanically attach the TPO membrane in strict accordance with the manufacturer's specifications to provide a fully warranted, weather tight installation.
- Thermally bond TPO sheets as specified by the roofing system manufacturer.
- Fabricate thru wall sooper openings in accordance with the manufacturer's preferred system.
- Install thru the roof penetration components in accordance with the manufacturer's specifications.

END OF DIVISION 7

SHEETMETAL AND FLASHINGS

- SUBMITTALS: Product Data Color Samples, Shop Drawings indicating dimensions, joint details, connection details, and confirmation of conformance with ANSI-ESPR1.
- FABRICATION STANDARDS: All work shall comply with SMACNA's "Architectural Sheetmetal Manual"
- COORDINATION: Coordinate all work of this Section with the work of other Divisions to provide a leakproof and non-conservative finished installation.

SPECIFICATIONS

(Continued from below)

SHEETMETAL AND FLASHINGS (Continued)

SHEETMETAL MATERIALS: Two-coat, fluoropolymer coating system complying with AAMA 2604. Material gauge shall be as indicated or appropriate for each application.

ACCESSORIES

- Butyl Sealant: ASTM C 1311 solvent release type for joints with limited movement.
- Asphalt Mastic: SSPC Paint 12, solvent free, asbestos free.
- Roofing Cement: ASTM D 4588 Type 1 Asphalt based, asbestos free.
- Silo Sheet: Resin-sized paper (30 / square)

INSTALLATION

- All sheetmetal materials shall be fabricated and installed only by tradespersons trained in the installation of the specific provided materials.
- All work shall comply with SMACNA's "Architectural Sheetmetal Manual". Allow for thermal and non-thermal expansion and when possible, provide concealed fasteners.
- Separate all non-compatible or corrosive surfaces with asphalt mastic or other permanent physical separation.

END OF DIVISION 7

DIVISION 8 - DOORS AND WINDOWS

STEEL DOORS AND FRAMES

- SUBMITTALS: Product Data and Hardware Schedule including door size, frame sizes, and mounting details.
- STEEL DOORS:
- Level 9: Extra-Heavy duty performance, 1 3/4" thick, insulated, and prepared for specified hardware. Reinforce all locations of surface applied hardware.
- Provide tempered, safety glass in doors as indicated on drawings.
- Provide doors factory primed for exterior exposure and ready for finished painting.
- Door construction shall be in accordance with NAHMMA specifications.
- STEEL FRAMES:
- ANSI A250.8 with concealed fasteners; 16 ga; A60 galvanized. Fabricate frame to accept all specified hardware.
- Provide frames factory primed for exterior exposure and ready for finished painting.
- Frame construction shall be in accordance with NAHMMA specifications.
- INSTALLATION:
- Frames shall comply with SDI 105, Doors shall comply with SDI 122 and ANSIDHA 115.10

HARDWARE:

- SUBMITTALS: Product Data and Hardware Schedule including door size, frame sizes, and mounting details.
- ACCEPTABLE MANUFACTURERS:
- Hinges: Hager or equivalent
- Locksets: Confirm Owner's existing lockset manufacturer and match existing. Coordinate keying with Owner's existing keying system.
- Closer: LCN or equivalent. Interior, top jamb mounted with hold-open, High, High frequency operation rated.
- Hardware Finishes: Match Owner's existing, exterior door hardware finish.
- Threshold: Aluminum, low height.
- Weatherstripping: Aluminum, securely surface applied with rubber bulb.

ROLLING DOORS

- SUBMITTALS: Product Data and door size, frame configuration, and installation details.
- ACCEPTABLE MANUFACTURERS:
- Cornel (or equivalent) "THERMISER" ESD 20, insulated roll up door, manual operation, face mounted.
- MATERIALS: 24ga24ga ASTM A 653 galv. steel slat curtain, Grade 40, Galvanex exterior and interior color selected from manufacturer's standard color offerings. Closed call foam insulation (7/8") throughout curtain. 24ga. galv. steel hood with standard Galvanex coating selection from standard color offerings. Guides shall be hot dipped galvanized after fabrication.
- INSTALLATION: Install roll up door in accordance with the manufacturer's specifications.

END OF DIVISION 8

DIVISION 9 - FINISHES

PAINTING

- SUBMITTALS: Product Data Sheets, (3) applied color samples for Owner approval prior to final application
- PRODUCTS: Exterior surface only - concrete fill up panels. (1) Sherwin-Williams (SW) "Loxon" color matched primer. (2) SW "Ultraseal", medium texture over entire building. Two separate color selections as indicated on Drawings.
- PRODUCTS: Interior/Exterior ferrous surfaces only. (1) SW rust inhibitive primer. (2) Two coats SW Pro Industrial water based alkyl urethane.
- INSTALLATION: Provide coats as required to obtain full and complete coverage with no areas of visible, substrate show through. Apply all products using the coverage rate and processes approve by the material manufacturer.

END OF DIVISION 9

DIVISION 10 - SPECIALTIES

FIRE EXTINGUISHERS

- SUBMITTALS: Product Data Sheets, mounting instructions, maintenance instructions.
- PRODUCTS: Reference Drawings for location of all fire extinguishers.

END OF DIVISION 10

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(863) 233-8844 www.h2l.com

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No.	REVISION	DATE	BY	

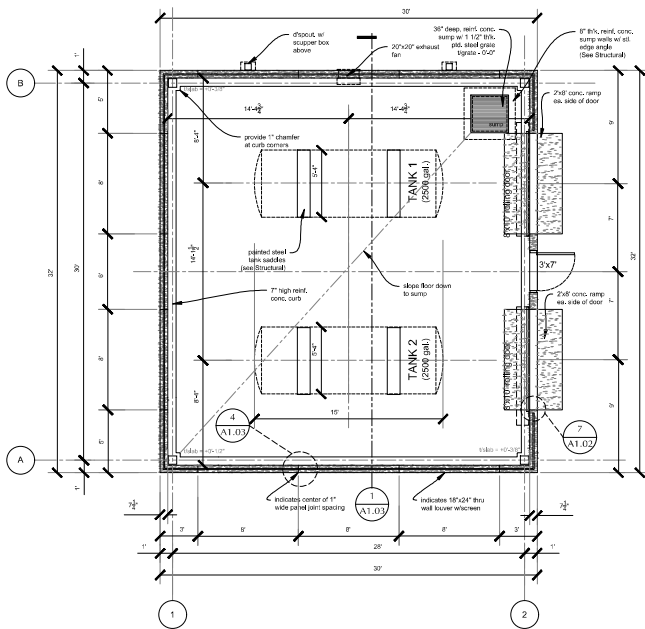
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PIPING SYSTEMS
EGGERTON, KANSAS

LIFESAFETY PLAN
CODE SUMMARY
SPECIFICATIONS

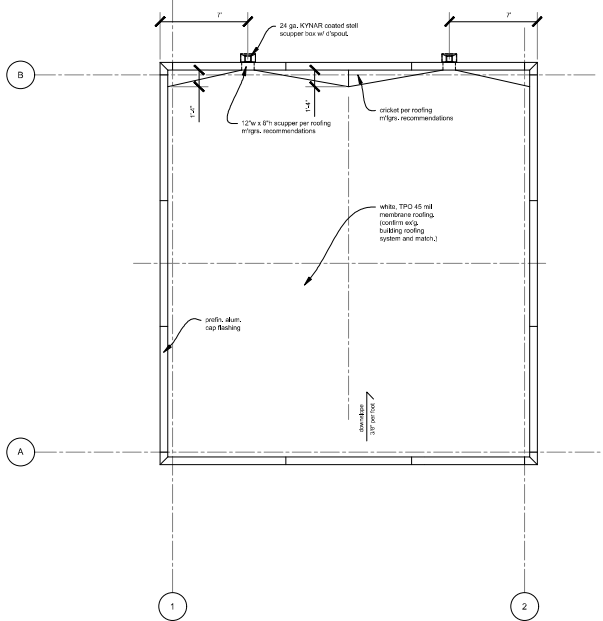
Date:	03/25/24	Approved By:	JTM
Drawn by:	JM	Checked By:	XX
Project No:	23032	Sheet No.:	

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DRAWING NO. 23032 - 01



1 FLOOR PLAN
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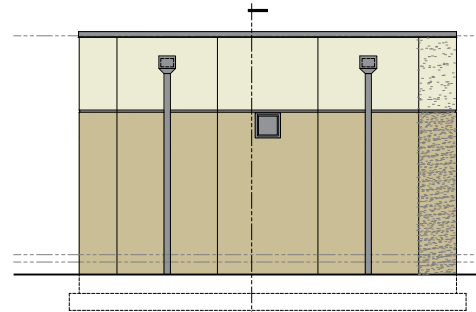


2 ROOF PLAN
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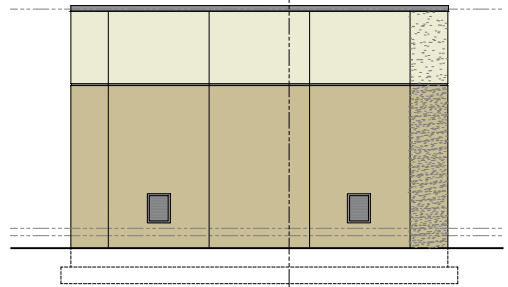


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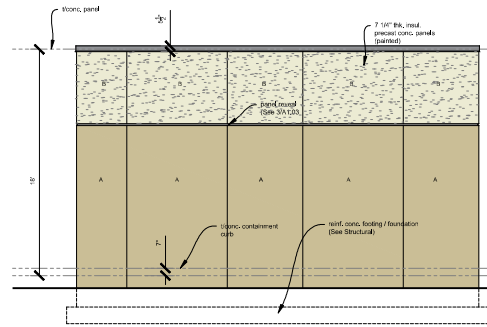
Provide cement based acrylic coating on all tilt up panels. Color shall match existing materials as follows:
B - Sherwin-Williams "Stone Lion" (SW 7507)
A - Sherwin-Williams "Sand Bar" (SW 7547)
Color match existing coating materials on existing building.



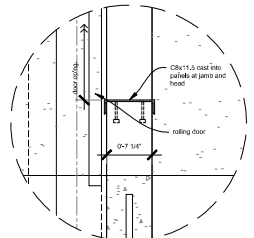
5 NORTH ELEVATION
SCALE: 1/4" = 12"



4 SOUTH ELEVATION
SCALE: 1/4" = 12"



6 WEST ELEVATION
SCALE: 1/4" = 12"



7 ROLLING DOOR JAMB
SCALE: 1 1/2" = 12"

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1	REVIEW AND APPROVAL	03/25/24	JM
No.	REVISION	DATE	BY

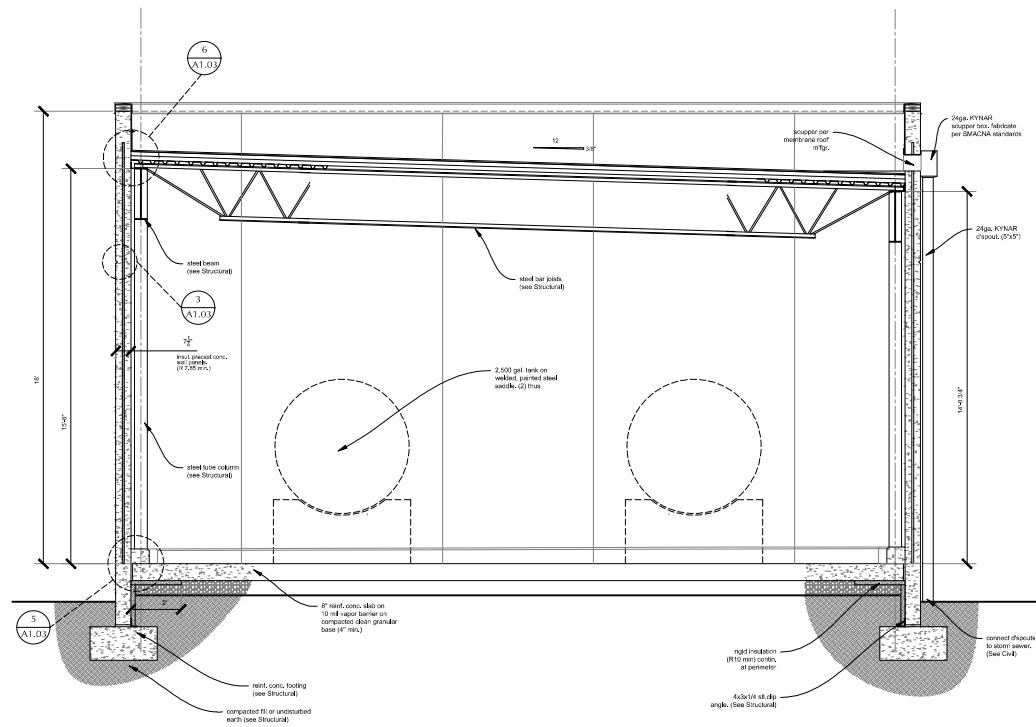
Kubota
UDT OIL & DIESEL
PIPING SYSTEMS
EDDERTON, KANSAS

FLOOR PLAN
ELEVATIONS

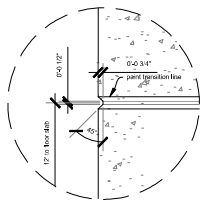
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Drawn By: JVM Checked By: XX
Project No: 23032
Sheet No:

A1.02

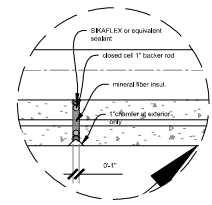
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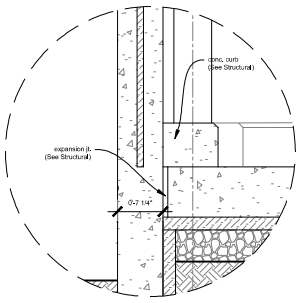
1 BUILDING SECTION
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0' 1' 2' 3'



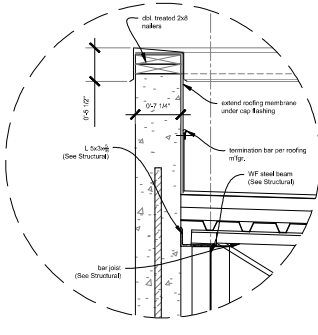
3 REVEAL DETAIL
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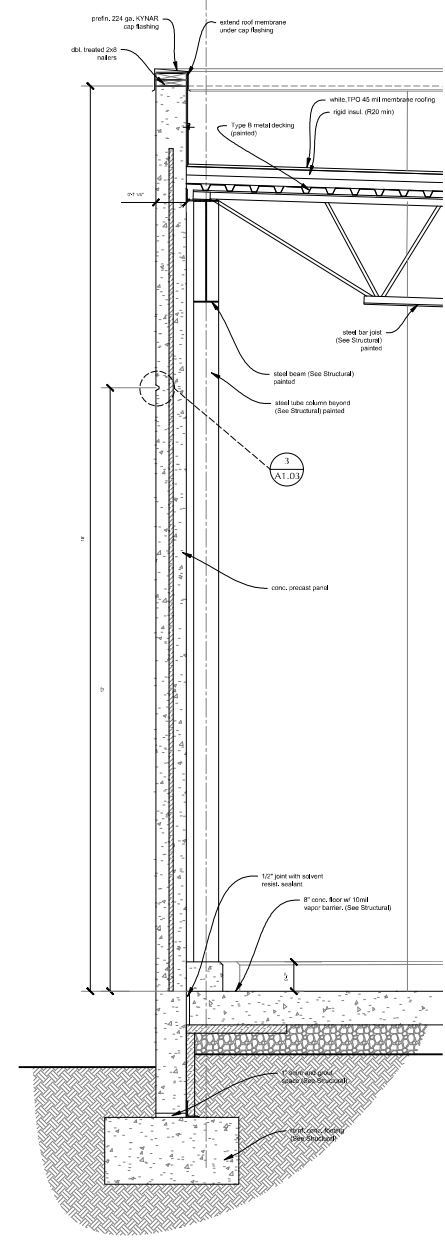
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SCALE: 1 1/2" = 12"
0' 4' 8' 12"



5 PANEL BASE DETAIL
SCALE: 1 1/2" = 12"
0' 4' 8' 12"



6 PANEL TOP DETAIL
SCALE: 1 1/2" = 12"
0' 4' 8' 12"



2 WALL SECTION
SCALE: 1" = 12"
0' 6' 12' 18"

5x3x5/16 steel clip, length, spacing, and fastener method shall be designed by a licensed professional employed by the panel fabricator.
Steel angle shall be primed and ready for finished paint.

NO.	REVISION	DATE	BY
1	REVIEW AND APPROVAL	03/25/24	JM

Kyoto
UDT OIL & DIESEL
PIPING SYSTEMS
EDGEMONT, KANSAS

SECTIONS
BUILDING/WALL

Date: 03/25/24 Approved By: JTM
Drawn By: JIM Checked By: XX
Project No: 23032
Sheet No:

A1.03