

**EDGERTON PLANNING COMMISSION
MEETING AGENDA
EDGERTON CITY HALL - 404 EAST NELSON STREET
June 10, 2025
7:00 P.M.**

The City of Edgerton encourages public participation in local governance issues. To facilitate an efficient and effective meeting, persons wishing to address the Planning Commission must sign-up before the meeting begins. During public hearings, comments must be limited to three (3) minutes per speaker. The maximum time limit for all speakers during each public hearing will be one (1) hour.

The chair may modify these provisions, as necessary. Speakers should state their name and address and then make comments that pertain to the public hearing item.

The chair may limit any unnecessary, off-topic, or redundant comments or presentations. Speakers should address their comments to Planning Commission members only and should not speak to fellow audience members. Commission members will not engage in a dialogue or debate with speakers. Speakers and audience members should conduct themselves in a civil and respectful manner. Disruptive conduct may result in removal from the meeting.

Call to Order

1. **Roll Call** _____ Draskovich _____ Mathos _____ Little _____ Mueller _____ Soemer
2. **Welcome**
3. **Pledge of Allegiance**

Consent Agenda *(Consent Agenda items will be acted upon by one motion unless a Planning Commissioner requests an item be removed for discussion and separate action.)*

4. Minutes from the May 13, 2025 Planning Commission Meeting.
5. Extension Request for FSP2024-0004 *Kubota NADC UDT Oil & Diesel Piping Systems*

Regular Agenda

6. **Declaration.** At this time, Planning Commission members may declare any conflict or communication they have that might influence their ability to impartially consider the agenda items.

Business Requiring Action

New Business

7. **ELECTION OF PLANNING COMMISSION OFFICERS.** Per the Bylaws of the Planning Commission outlined in the Unified Development Code, an annual meeting is to be held during June for the purpose of electing a Chair, Vice Chair, and Secretary of the Planning Commission.

8. Future Meeting Reminders

- July 8, 2025 at 7:00 PM – Regular Session
- August 12, 2025 at 7:00 PM – Regular Session
- September 9, 2025 at 7:00 PM – Regular Session

9. Announcements

10. Adjourn

**PLANNING COMMISSION
May 13, 2025 Minutes**

A regular session of the Edgerton Planning Commission (the Commission) was held in the Edgerton City Hall, 404 E. Nelson Street, Edgerton, Kansas on May 13, 2025. The meeting was convened when Chair Tina Mathos called the meeting to order at 7:00PM.

1. ROLL CALL

Jeremy Little	present
Tina Mathos	present
Adam Draskovich	absent
Ray Soemer	present
Jordyn Mueller	absent

With a quorum present, the meeting commenced.

Staff in attendance: Zachary Moore, Development Services Director

- 2. WELCOME** Chair Mathos welcomed all in attendance to the meeting.
- 3. PLEDGE OF ALLEGIANCE** All present participated in the Pledge of Allegiance.

CONSENT AGENDA

- 4.** Minutes from the April 8, 2025 Planning Commission Meeting.

Commissioner Little moved to approve the Consent Agenda. The motion was seconded by Commissioner Soemer. The Consent Agenda was approved, 3-0.

Regular Agenda

- 5. Declaration.** There were no declarations made.

6. FUTURE MEETING REMINDERS

Chair Mathos stated that the next regular sessions are scheduled for June 10, 2025 at 7:00 PM; July 8, 2025 at 7:00 PM; and August 12, 2025 at 7:00 PM.

7. ANNOUNCEMENTS

Mr. Moore stated that it was Public Service Recognition Week and thanked the Commissioners for their service to the City.

Commissioner Little mentioned that he might not be in attendance for the August Planning Commission meeting.

8. **ADJOURN**

Commissioner Soemer moved to adjourn the meeting. Commissioner Little seconded the motion. The meeting was adjourned at 7:04 PM, 3-0.

Submitted by Zachary Moore, Development Services Director

DRAFT

**MEMORANDUM**

Date: June 10, 2025

To: City of Edgerton Planning Commission

From: Chris Clinton, Planning and Zoning Coordinator

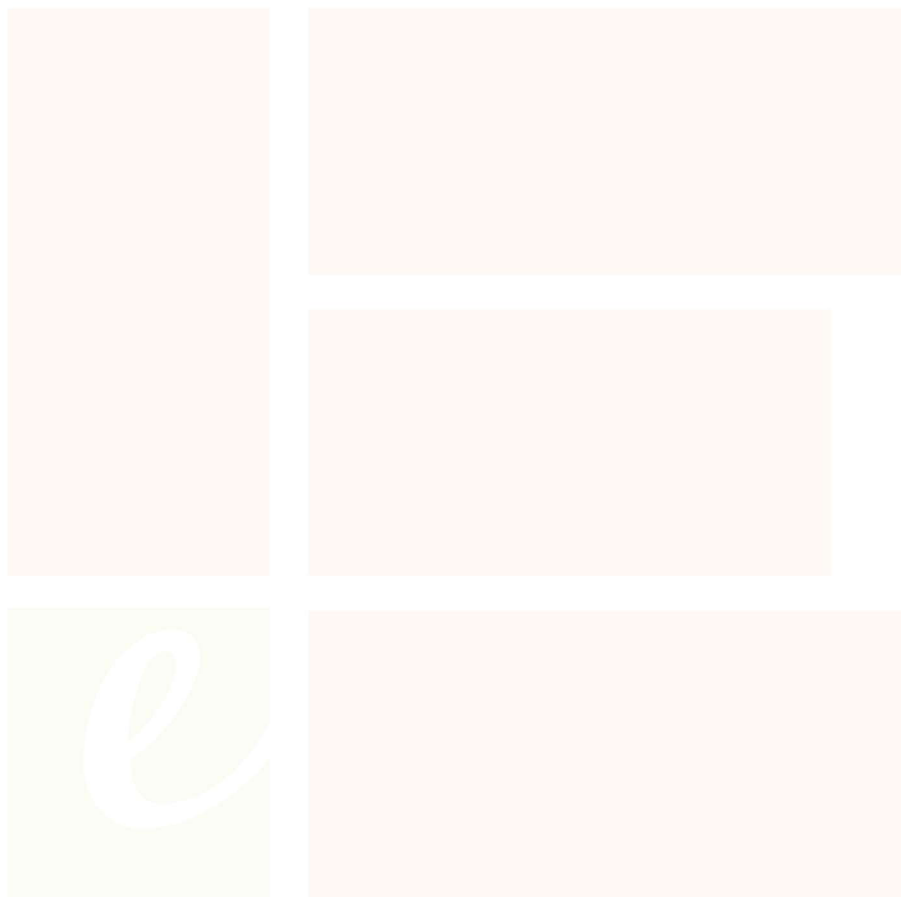
Re: Request for an Extension of Final Site Plan FSP2024-0004 *Kubota NADC UDT Oil & Diesel Piping Systems*

On June 11, 2024 the Edgerton Planning Commission approved Final Site Plan FSP2024-0004 for Kubota NADC UDT Oil & Diesel Piping Systems. Section 10.4 of the Unified Development Code (UDC) states that the approval period for a Site Plan is one (1) year from the date of approval by the Planning Commission. If a building permit is not issued within one (1) year of Planning Commission approval, the Site Plan becomes null and void.

An extension of up to one (1) year may be requested by the applicant. The extension must be granted by the Planning Commission, or the Site Plan will become null and void.

Ms. Rita Jones, Kubota, has submitted a letter requesting a one (1) year extension to Final Site Plan FSP2024-0004. The Final Site Plan proposes the development of storage tanks for diesel and oil to be piped into the northern warehouse. The tanks are shown in an accessory building to screen them from view. There are no proposed changes to the approved Site Plan included with this extension request.

City staff has not received any communication regarding the approval of Final Site Plan FSP2024-0004 and is supportive of the extension.



May 30, 2025

City of Edgerton
Planning & Zoning
404 E. Nelson
Edgerton, Ks 66021

To Whom It May Concern:

Kubota Tractor Corporation is requesting a one year extension to Final Site Plan #FSP2024-0004 "Kubota NADC UDT Oil and Diesel Piping System." The original expiration date is June 11, 2025. We are requesting a one year extension to June 11, 2026 due to budgetary constraints. An updated schedule will be provided once established.

Thank you,

/s/ Mark Bright
Wholegoods Director
Kubota Tractor Corporation
31750 W. 207th Street
Edgerton, KS 66021

KUBOTA NADC UDT OIL & DIESEL PIPING SYSTEMS

Application FSP2024-0004
31700 W. 207th Street

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Revised Final Site Plan located at 31700 W. 207th Street.

Owner and Applicant

Kubota North America Corporation,
Property Owner

Existing Zoning and Land Use

The property is currently zoned L-P (Logistics Park) District. The property is currently developed with two (2) warehouses.

Parcel Size

206.21± acres

Staff Report Prepared by

Chris Clinton



BACKGROUND

1. Proposal

This Revised Final Site Plan request is being made in preparation for the construction of a 960 square foot building on the northwest corner of the northern building. This building is to house two (2) 2,500-gallon tanks. One of the tanks will house oil and the other will be filled with diesel fuel. The oil and diesel fuel will then be piped underground into the northern warehouse to be used with the products. The site is currently developed with two (2) warehouses, the southern one (1) being approximately 1,011,000 square feet, and the northern one (1) being approximately 1,008,000 square feet, used for light manufacturing and distribution which are permitted uses in the L-P District. The proposed tanks are allowed as accessory uses, but the Unified Development Code (UDC) requires the tanks to either be below ground or fully enclosed in a building, and UDC Section 5.2.H.4 requires the tanks to be shown on a Final Site Plan. Site Plans are also required for all new structures per Section 10.1.B of the UDC and must be considered following a public hearing by the Planning Commission.

2. Subject Site History

The 206.21-acre subject property was annexed on March 15, 2018 (Ordinance 1077) and was rezoned to the L-P (Logistics Park) District on April 26, 2018 (Ordinance 1079). The subject property was created when the Governing Body approved the Final Plat for this property on April 26, 2018 (FP2018-03).

The Planning Commission approved the Final Site Plan for the subject property (FS2018-08) on November 13, 2018 for the development of the two (2) warehouses that are currently being occupied. On July 14, 2020, the Planning Commission approved FS2020-05, which allowed a fuel tank to be installed above-ground near the southwest corner of the northern building on the development. The request for that tank was submitted prior to the requirement of all fuel tanks be enclosed or underground. If this application is approved by the Planning Commission, the above-ground fuel tank will be removed upon installation of the new fuel tank.

FINAL SITE PLAN REVIEW

1. Zoning and Development Requirements

A. Accessory Fuel Tanks

Section 5.2.H.4 requires all exterior fuel tanks to be buried underground. All of the fuel tanks have to meet the International Building Code, International Fire Code, and all Kansas Department of Health and Environment requirements. The applicant has listed the incorrect code suites in the provided Final Site Plan and that must be corrected prior to the Zoning Administrator certifying the document. The applicant has proposed the fuel and oil tanks be in a separate building. This meets Section 5.2.H.2 of the UDC, which states that all operations must be conducted within a fully enclosed building or underground. Piping coming from the new building will be underground as well. The piping would need to come above ground prior to entering the northern warehouse and the applicant has provided a detail that shows the piping will extend only two (2) feet and six (6) inches above ground. The proposed location does appear to be screened from view from any public right-of-way and neighboring property.

B. Architectural Design Standards

The applicant is proposing a 960 square foot building to house two (2) 2,500-gallon tanks. The building is proposed to be constructed on concrete tilt-up panels. The east façade includes two (2) rolling doors that are eight (8) feet by ten (10) feet. The applicant has included a ramp at the bottom of these doors with a concrete drive to allow for easier refilling. The façades of the proposed building are to be painted with two (2) of the same colors that are on the warehouses. The proposal meets or exceeds the requirements of the UDC regarding the design of the building.

C. Setbacks

Table 1 below outlines the required and provided setbacks for the proposed structure.

Table 1

Setback	Required	Proposed
Front	50 feet	Approximately 1,820 feet
Side	50 feet	Approximately 510 feet
Rear	50 feet	Approximately 700 feet

The proposed setbacks exceed the minimum required setbacks of the UDC.

D. Height

The maximum height allowed of a building in the L-P District is 110 feet. The proposed structure is just over 19 feet above grade, complying with the UDC requirement.

E. FAR

The Floor Area Ratio (FAR) with the proposed structure is 0.24:1. The maximum FAR allowed by the UDC is 3:1. This proposal meets the required FAR.

F. Building Coverage

The UDC allows for 50% of the subject parcel to be covered by buildings. The subject parcel is approximately 8,322,206 square feet, which would allow 4,161,103 square feet of building. The proposed building with the inclusion of the currently developed warehouses would total approximately 2,020,306 square feet, meeting the UDC requirement.

G. Building Separation

The UDC requires a minimum of 20 feet of separation between the structures. The proposed space between the proposed structure and the northern warehouse is 145 feet. While this meets the UDC requirements, the location must also be approved by the Fire Department. If the Planning Commission approves this application, a building permit will be required for the construction of the structure and installation of the tanks. The building permit plans will be reviewed for compliance with the currently adopted Fire Code.

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project and the project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
Application	Application for FSP2024-0004	03/06/2024
1	C1.00 Cover Sheet	02/23/2024
2	C1.01 General Notes	03/25/2024
3	C1.02 Site Plan	04/22/2024
4	C1.03 Site Grading Plan	03/25/2024
5	C1.04 Site Details	04/25/2024
6	C1.05 Sediment & Erosion Control Details	03/25/2024
7	C1.06 Grassing Specifications	03/25/2024
8	M1.03 Piping Site Plan	04/22/2024
9	A1.01 Life Safety Plan Code Summary Specifications	03/25/2024
10	A1.02 Floor Plan Elevations	03/25/2024
11	A1.03 Sections Building/Wall	03/25/2024

STAFF RECOMMENDATION

Staff recommends approval of Final Site Plan **Application FSP2024-0004** *Kubota NADC UDT Oil & Diesel Piping Systems*, subject to the following stipulations:

1. The following comments must be addressed prior to certification by the Zoning Administrator:
 - a. The Code Summary on Sheet A1.01 must be updated to reflect the 2018 code suite having been adopted and used to design the project.
2. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads, and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

Note: For application FSP2024-0004 the Planning Commission is the approving authority.



☐ PRELIMINARY SITE PLAN

~~FINAL SITE PLAN~~

☐ REVISED SITE PLAN☐ RE-REVIEW

SIGNATURE OF OWNER OR AGENT: Andy Sullivan
If not signed by owner, authorization of agent must be provided.

If not signed by owner, authorization of agent must accompany this application.

NOTE: Two (2) 34"x42" paper copies plus an electronic copy of the site plan must accompany this application for staff review. All Site Plan requirements may be found in Article 10 of the Edgerton Unified Development Code (UDC).

Applicant is to provide the legal description electronically as a Word document to the City of Edgerton.

FOR OFFICE USE ONLY

Application No.: _____ Application Fee Paid: \$ _____ Date Paid: _____ Receipt #: _____

Code: SITEPLAN or PUBLISH Publication Fee Paid: \$_____ Date Paid: _____

Received By: _____

SITE PLAN INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-nine (49) calendar days prior to the public hearing.

NOTICE REQUIREMENTS: A public hearing is required for Site Plan applications at either the Preliminary or Final Site Plan stage, depending upon which is submitted first. If a public hearing is held for a Preliminary Site Plan, a public hearing does not need to be held for the Final Site Plan. The City shall publish notice of the public hearing at least twenty (20) days in advance of the hearing in the official City newspaper. One copy of the proposed Site Plan shall be made available for public inspection at least twenty (20) days prior of the public hearing.

DESIGN STANDARDS: Applicants should abide by the district zoning regulations and design standards set forth in the Edgerton UDC as noted in the appropriate Articles for the proposed development. These regulations and design standards include, but are not limited to, building placement, architectural design standards, parking and loading, access management, photometrics, landscaping, signage and diesel emissions.

PLANNING COMMISSION REVIEW: The Edgerton Planning Commission meets in the Edgerton City Hall on the second Tuesday of every month. The Planning Commission shall review the site plan to determine conformity with the design guidelines and other requirements included within the Edgerton UDC.

APPROVAL LIMITATIONS: The Site Plan approval expires after one year from the date of approval and becomes null and void unless the applicant has been issued a building permit for the project or has requested an extension of time from the Planning Commission.

CHECKLIST

The following items shall be included on the site plan, and the scale shall be a professionally acceptable standard suitable to the area of the proposed project:

- ☒ A scale vicinity map showing the relationship of the site to surrounding neighborhoods, zoning of surrounding properties, roads and other physical features.
- ☒ A project title, zoning designation and applicant name. A street, lot or tract address of the project.
- ☒ An index of content pages. **C0.01**
- ☒ The data table as outlined in Section 10.1, Subsection G of the UDC. **C1.01**
- ☒ The name of the architect, engineer, surveyor and landscape architect, all licensed in the State of Kansas, who prepared the Site Plan.
- ☒ Engineer's seal with original signature. **L.G. LEWIS, PE**
- No** ☐ A landscape plan sealed by a landscape architect licensed to practice in the state of Kansas which is in conformance with applicable zoning district requirements. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. The submitted landscape plan drawn to scale, shall show the requirements as shown in Section 10.1, Subsection G.
- ☒ Existing and proposed topography including contours at two (2) foot intervals unless the property is too flat and then spot elevations shall be provided.
- No** ☐ Exterior lot lines with any survey pins.
- ☒ Location of buildings, proposed and existing if existing buildings will remain.
- ☐ Parking areas, paths, sidewalks with sizes and surface material specifications.

- ☒ Exterior lighting specifications including a preliminary photometric plan. A final photometric plan will be required at the time the applicant applies for a Building Permit. **NO EXTERIOR LIGHTING.**
- ☐ Site entrance and connections to streets. **NA**
- ☐ The location of existing and proposed easements. **NONE**
- ☐ Connection point for utilities and the location and size of all utility lines including but not limited to sewer lines and manholes; water lines and fire hydrants; telephone, cable, fiber, and electrical systems; and storm drainage systems including inlets, catch basins, lines and other appurtenances, existing and proposed. **NA**
- ☒ Vehicular and pedestrian circulation within the site, entrances and exits, loading and unloading areas, and adjacent curb cuts. •
- ☐ Scale drawings of all proposed signage including location, height, size, area, materials and design to be used on the premises with construction drawings required when applying for a sign permit in accordance with Article 12, Sign Regulations, of the UDC. **NO NEW SIGNAGE.**
- ☐ Features to facilitate handicapped access. **NA**
- ☐ Profile and detail for roads the location and width of sidewalks and the location of trails. **NA**
- ☒ Storm Drainage Systems and Facilities shall be provided in connection with the proposed development of land in accordance with the Kansas City Metropolitan chapter of the American Public Works Association Construction and Material Specifications Section 5600 Storm Drainage Systems and Facilities. Said Site Plan shall show, by use of directional arrows, the proposed flow of storm drainage from the site. A summary table shall be provided on the Site Plan in the format outlined in Section 10.1, Subsection G of the UDC. **C 2.01**
- ☒ A Storm Water Pollution Prevention Plan (SWPPP) shall also be provided and shall meet the known requirements of the National and Kansas General Permit. A signed and dated copy of the NOI shall be provided to the City prior to any disturbance of the soil on the construction site. **C 2.01**
- ☒ Scale drawing of building floor plans with dimensions and square foot calculations. **A 1.02**
- ☒ Scale drawings in full color with dimensions of all building facades or elevations including the labeling of exterior materials and color. **A 1.02**
- ☒ Roof pitch and materials. **A 1.03**
- ☐ The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right of way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. Include type of screening that will be used around equipment. **NONE**
- ☐ Areas or facilities used for trash, trash compacting, recycling containers, service and loading are to be located out of public view from streets, adjacent to residential properties, and other highly visible areas such as parking lots, access drives, and similar areas. Refer to the regulations in Section 10.1, Subsection G of the UDC. **NA**
- ☒ Layout and design of all property designed required parking and loading areas in accordance with Article 16, Parking and Loading Regulations, of the UDC.

POSSIBLE ADDITIONAL REQUIREMENTS

Depending upon circumstances the Zoning Administrator may require additional information related to business operations and their impact on adjacent properties including, but not limited to the requirement of additional information for hazardous material or other environmental impacts.

The Zoning Administrator may also require a detailed traffic impact study prepared by a Traffic Engineer, licensed in the State of Kansas, for large uses, mixed use and multi-tenant developments, or for developments in heavy traffic or congested areas to include:

- The projected number of motor vehicle trips to enter and leave the site, estimated for daily and peak hour traffic levels;
- The projected traffic flow pattern including vehicular traffic movements at all major intersections likely to be affected by the proposed use of the site;
- The impact of the proposed traffic upon existing, public and private ways in relation to existing and projected daily and peak hour road capacities;
- A recommendation of whether additional improvements would be needed such as turning lanes or traffic signals to accommodate the projected traffic;
- Any other information as determined by the City Engineer.

Outdoor Storage Requirements. Include adequate details on Site Plan to confirm individual District requirements are met.

- **Permanent Outdoor Storage** – If applicable and allowed within the zoning designation, permanent outdoor storage areas, attached to the main structure and enclosed with screening or fencing, may be allowed if the enclosure meets aesthetic guidelines. Permanent outdoor storage areas must be indicated on the Site Plan.
- **Seasonal Outdoor Storage** - If applicable and allowed within the zoning designation, placement and dimensions of Seasonal Outdoor Storage area must be shown on the Site Plan. Administrative approval for a Seasonal Outdoor Storage Permit is granted by the Zoning Administrator upon the submission of a permit application which includes, but is not limited to, parking implications, time parameters (hours of operation and duration of display), signage, pedestrian and vehicular traffic flow, lighting requirements, security, maintenance of merchandise, and fencing.
- **Temporary Sales Area** – Temporary Sales Areas may be allowed within certain zoning designations. If the applicant wishes to request a Temporary Sales Permit, the Temporary Sales Area must be indicated on the Site Plan.

31750 W. 207TH STREET
EDGERTON, JOHNSON COUNTY, KANSAS 66021

All that part of the Southeast and Southwest Quarters of Section 10, Township 15 South, Range 22 East of the Sixth Principal Meridian, together with all that part of Lots 1 thru 4, inclusive, ROCKWALL ESTATES, a platted subdivision, all in the City of Edgerton, Johnson County, Kansas, more particularly described as follows:

[illegible]

Plans may change pending city review.

All that part of the Southeast and Southwest Quarters of Section 10, Township 15 South, Range 22 East of the Sixth Principal Meridian, together with all that part of Lots 1 thru 4, inclusive, ROCKWALL ESTATES, a platted subdivision, all in Johnson County, Kansas, more particularly described as follows:

beginning at the South Quarter corner of said Section 10, thence on Kansas State Plane North Zone bearings, South 89°11'14" West, coincident with the South line of the Southwest Quarter of said Section 10, a distance of 1,686.12 feet, thence departing said South line, North 45°15'45" West, coincident with the centerline of Homestead Road, a distance of 1,029.95 feet, thence North 2°02'02" West, coincident with the centerline, North 02°16'47" West a distance of 106.90 feet, thence North 67°45'19" East a distance of 1,237.62 feet, thence North 02°16'53" West a distance of 1,526.96 feet to a point on the North line of the Southwest Quarter of said Section 10, thence North 88°09'10" East, a distance of 1,788.61 feet to a point on the North line of the Southwest Quarter of said Section 10, thence North 88°15'55" East, coincident with the North line of said Southeast Quarter, a distance of 1,768.29 feet, thence North 88°09'55" East, a distance of 1,768.29 feet to a point on the South line of said Southeast Quarter, thence South 88°09'55" West, coincident with the South line of said Southeast Quarter, a distance of 1,768.61 feet to the Point of Beginning, subject to that part in existing road right-of-way.



C1.00	Title Sheet
C1.01	General Notes
C1.02	Site Plan
C1.03	Site Grading Plan
C1.04	Site Details
C1.05	Sediment & Erosion Control Details
C1.06	Grassing Specifications

CERTIFICATE:

Received and placed on record this _____ of _____,
2024.

Zoning Administrator

Approved by the Edgerton City Planning Commission this _____
day of _____, 2024.

Chair of the Planning Commission

---	Existing Section Line	---	Proposed Right-of-Way
---	Existing Right-of-Way Line	---	Proposed Property Line
---	Existing Lot Line	---	Proposed Lot Line
---	Existing Easement Line	---	Proposed Easement
---	Existing Curb & Gutter	---	Proposed Curb & Gutter
---	Existing Sidewalk	---	Proposed Sidewalk
---	Existing Storm Sewer	---	Proposed Storm Sewer
□	Existing Storm Structure	□	Proposed Storm Structure
W/L	Existing Waterline	A	Proposed Fire Hydrant
GAS	Existing Gas Main	---	Proposed Waterline
---	Existing Sanitary Sewer	---	Proposed Sanitary Sewer
⊙	Existing Sanitary Manhole	●	Proposed Sanitary Manhole
---	Existing Contour Major	---	Proposed Contour Major
---	Existing Contour Minor	---	Proposed Contour Minor
---	Future Curb & Gutter	---	Future Curb & Gutter

ELECTRIC Energy (Missouri West) Phone: 868.471.5275	SANITARY City of Edgerton 404 East Nelson P.O. Box 255 Edgerton, Kansas Phone: 813.893.6231
GAS Kansas Gas Service 11401 West 89th Street Overland Park, Kansas Phone: 913.595.8861	TELEPHONE Century Link Phone: 800.788.3500
WATER Johnson Rural Water District 7 534 West Main P.O. Box 7 Gardner, Kansas Phone: 913.856.7173	CABLE Century Link Phone: 800.788.3500



I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, conditions required during Site Plan approval and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant Signature: [Signature] Date: 5/20/2024

Title: Professional Engineer Organization: H2L Consulting Engineers

COVER SHEET

Date: 03-20-2024	Approved By: WDH
Drawn By: LC	Checked By: WDH
Project No:	23032
Sheet No:	C1.00



MA\~2023000\23032 IBC Replacement & Spill Containment - Kubota Kansas\dwgs\23032 - C1.01 - General Notes.dwg

Drawing Title: MA\~2023000\23032 IBC Replacement & Spill Containment - Kubota Kansas\dwgs\23032 - C1.01 - General Notes.dwg — Plotted Date: May 17, 2024, 11:44am

GENERAL NOTES

1. All construction shall conform to the City of Edgerton's minimum design standards.
2. Spot Grades shown herein shall govern over finished grades.
3. All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
4. The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Missouri, at the contractor's expense.
5. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition. See site land disturbance plans for erosion control measures.
6. All work shall be confined within easements and/or construction limits as shown on the plans.
7. All National Pollution Discharge Elimination System(NPDES) standards shall be met. See site land disturbance plans for more information.
8. Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.
9. Refer to the site land disturbance plans for existing utility locations and removal.
10. Contractor to place erosion control matting on all slopes 3:1 or greater for stabilization.
11. All storm structure dimension callouts are to inside of wall.

LAYOUT & PAVING NOTES

1. Contractor shall keep a full set of KC-APWA Standard Details onsite at all times.
2. The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work.
3. Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Adjust all utilities prior to installation of pavement.
4. Concrete walks and pads shall have a broom finish. All concrete shall be 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
5. All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
6. Dimensions are to the face of curb, or edge of concrete, unless otherwise noted.
7. Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
8. For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.
9. Asphalt base course to be APWA Type 1 and surface course to be APWA Type 3. The maximum amount of recyclable asphalt material shall be 30%.
10. Manhole/Storm Structure top elevations designated as "Field Verify" are located outside the street right-of-way or in areas of undetermined grading. Contractors ordering precast manholes/structures shall be responsible for adjustments required in the field at no additional cost to the owner. The Contractor shall field verify the top elevations prior to ordering precast manholes/structures.

PAVEMENT MARKING AND SIGNAGE NOTES

1. Parking stall marking stripes shall be four inch (4") wide white stripes on asphalt and yellow on concrete pavement. Handicap stall marking shall be furnished at locations shown on plans.
2. Traffic control and pavement markings shall be painted with a white Sherwin Williams S-W traffic marking series b-29y2 or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

UTILITY NOTES:

1. Contractor will be required to provide notice to utility companies a minimum of twenty-four (24) hours prior to any excavation as follows: Kansas One Call: (316) 687-2479
2. Exist. utilities and their locations, as shown on the plans, represent the best information attainable for design. Location information has been obtained from the various utility companies and is taken either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed constructions.
3. The Contractor is to verify utility locations prior to construction of this project.
4. Utility service and installation shall be coordinated with the respective utility owner, see Title Sheet for utility services and installation contacts.

H2L
CONSULTING ENGINEERS
116 SOUTH PLASANTBURG DRIVE
GREENVILLE, SOUTH CAROLINA 29607
(864) 235-8944 www.h2l.com

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1	FOR REVIEW AND APPROVAL	05-05-24	JTM
D	OWNER REVIEW	05-23-24	JTM
No.	REVISION	DATE	BY

Kubota
UDT OIL AND DIESEL
PIPING SYSTEMS
EDGERTON, KANSAS

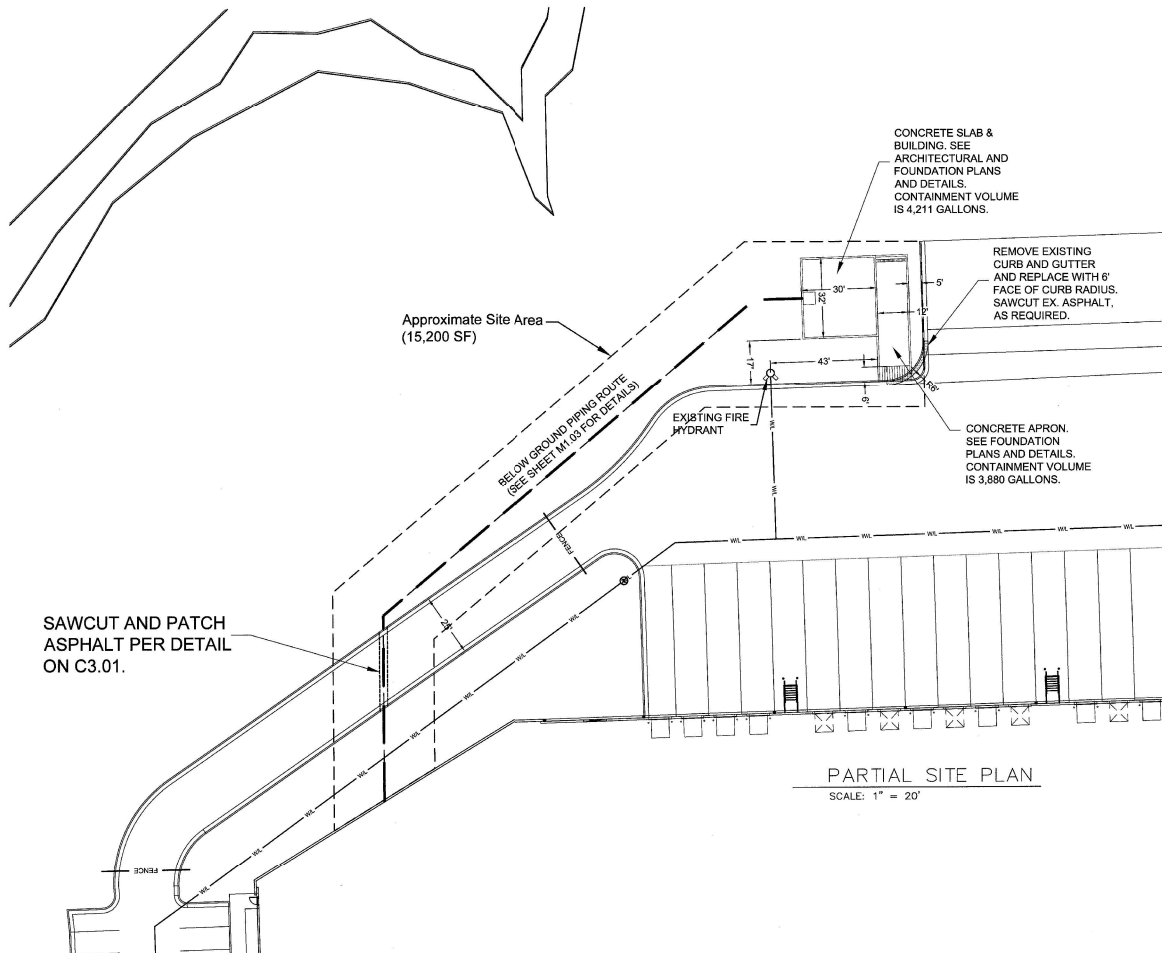
GENERAL NOTES

Date: 03-20-2024 Approved By: WDH
Drawn By: LC Checked By: WDH
Project No: 23032
Sheet No:

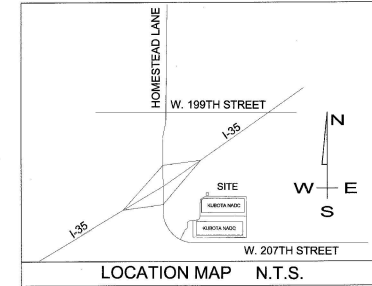
C1.01

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PARTIAL SITE PLAN
SCALE: 1" = 20'



SITE DATA

OWNER - KUBOTA NORTH AMERICA CORPORATION
10 IVERNESS DRIVE E, SUITE 250
ENGLEWOOD, CO 80112

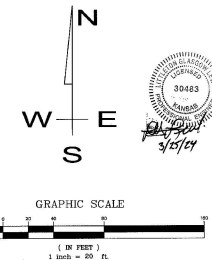
TAX PROPERTY ID - BP55830000 0001

LOT AREA - 206.21 ACRES (Total Kubota Complex)

NEW BUILDING AREA - 960 SF

ZONING - L-P, Logistics Park

PROPERTY SURFACE SUMMARY (PROJECT SITE)	
Summary of Existing Conditions	Summary after Project Completion
Total Building: 0 SF	Total Building: 960 SF
Total Pavement: 3,378 SF	Total Pavement: 4,408 SF
Total Impervious: 3,378 SF	Total Impervious: 5,368 SF
Total Pervious: 11,462 SF	Total Pervious: 9,832 SF
Total Property Area: 15,200 SF	Total Property Area: 15,200 SF



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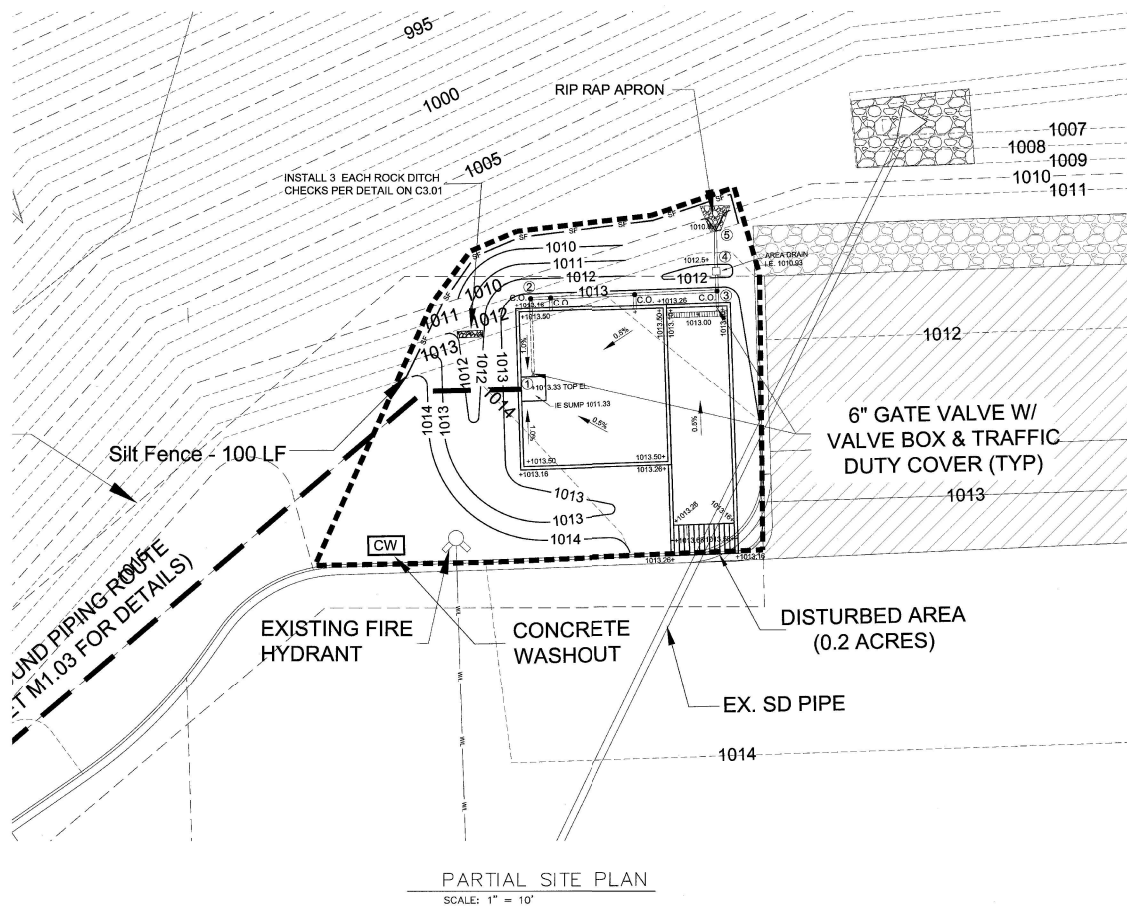
Kubota
UDT OIL AND DIESEL
PIPING SYSTEMS
EDGEMONT, KANSAS

Site Plan

Date: 02-16-2024 Approved By: JTM
Drawn By: WDH Checked By: JTM
Project No: 23032
Sheet No:

C1.02

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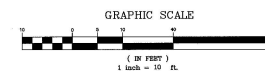
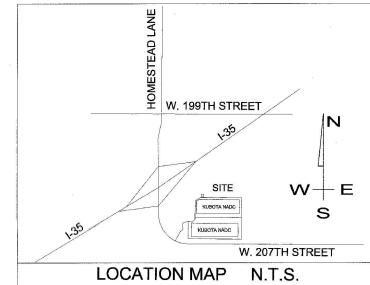


Storm Drain Schedule

Structure	Type	Top Elev.	Invert Elev.	From	To	Length	Size (in)	Slope (%)
1	SP	1013.33	1011.33	1	2	16	6	1.00
2	CO	1013.16	1011.17	2	3	37	6	1.00
3	CO	1013.00	1010.80	3	4	4	6	6.67
4	AD	1011.50	1010.53	4	5	8	8	6.67
5	PE	1011.00	1010.00					

Notes:

- All new pipe shall be SCH. 40 PVC.
- Structures are defined as follows:
 - CO - Clean Out
 - SP - Sump
 - AD - Stormwater Area Drain
 - PE - Pipe End



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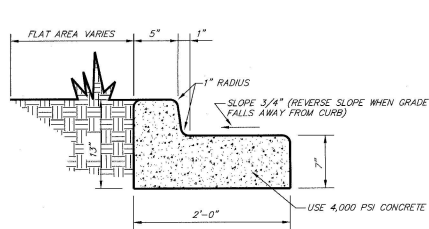
No.	REVISION	DATE	By
1	FOR REVIEW AND APPROVAL	02-16-2023	JTM
2	FOR OWNER REVIEW	02-17-24	MDH

Kubota
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PIPING SYSTEMS
EDGERTON, KANSAS

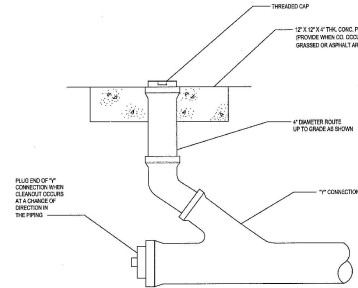
Site Grading Plan

Date: 02-16-2023 Approved By: JTM
Drawn By: WDH Checked By: JTM
Project No: 23032
Sheet No: C1.03

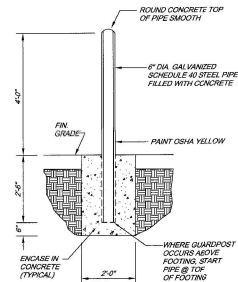
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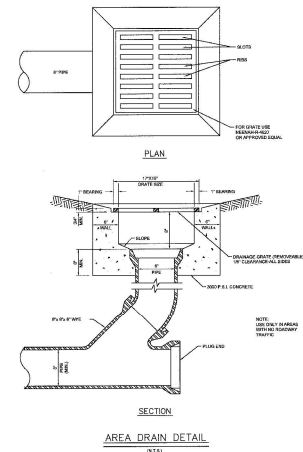
24" CONCRETE CURB & GUTTER DETAIL



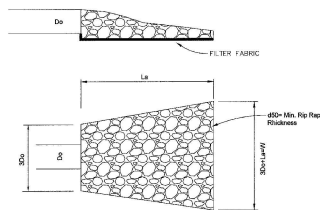
YARD CLEANOUT DETAIL
NOT TO SCALE



BOLLARD DETAIL

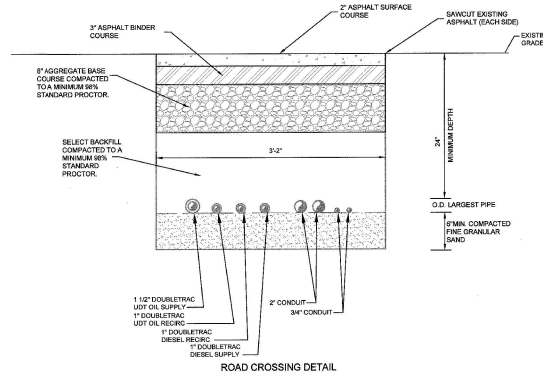


AREA DRAIN DETAIL
(N.T.S.)



RIP-RAP APRON DETAIL

(N.T.S.)									
STRUCTURE	D _o	S _o	Q	L _a	W	W _o	W _o	W _o	APRON THICKNESS
OUTLET PIPE	8"	2'	10'	6'	7'	0.2	0.3	0.3	6"



NOTE: REMOVE AND REPLACE CURB AND GUTTER AS REQUIRED TO COMPLETE ROAD CROSSING. MATCH EXISTING CURB AND GUTTER.

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No.	REVISION	DATE	By
2	APPLICANT REVISIONS	04-20-24	JTM
1	FOR REVIEW AND APPROVAL	03-20-24	JTM
B	FOR OWNER REVIEW	03-21-24	REH
A	FOR OWNER REVIEW	02-20-24	REH

Kubota
UDT OIL AND DIESEL
PIPING SYSTEMS
EDGERTON, KANSAS

Site Details

Date:	02-16-2023	Approved By:	JTM
Drawn By:	WDH	Checked By:	JTM
Project No:	23032		
Sheet No:	C1.04		

W:\2023000\23032 IBC Replacement & Spill Containment - Kubota Kansas\dwgs\23032 - C1.02 C1.06.dwg

Drawn By: A:\2023000\23032 IBC Replacement & Spill Containment - Kubota Kansas\dwgs\23032 - C1.02 C1.06.dwg - Printed By: JTM - Plot Date: May 17, 2024 - 11:44am

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION

STEEL FRAME AND TYPE C SILT FENCE INSTALLATION

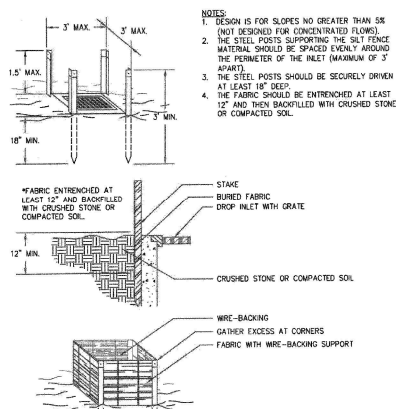
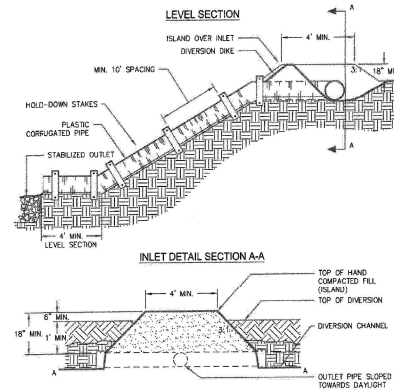


Figure 6-28.1 - Fabric and Supporting Frame for Inlet Protection

GSWDC 2018 Edition

6-100

DOWNDRAIN PIPE AND INLET DETAIL



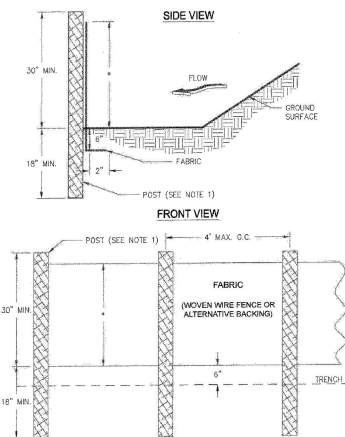
MAKE ALL PIPE CONNECTIONS WATERPROOF AND SECURE SO THAT THE JOINTS WILL NOT SEPARATE IN USE.

Figure 6-18.1

GSWDC 2018 Edition

6-105

SILT FENCE - TYPE C



- NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (") IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

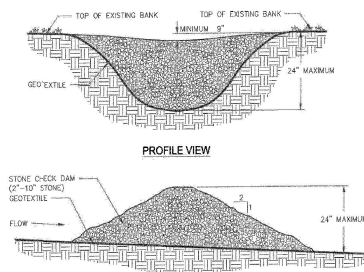
Figure 6-12.2

GSWDC 2018 Edition

6-142

STONE CHECK DAM

CROSS SECTION

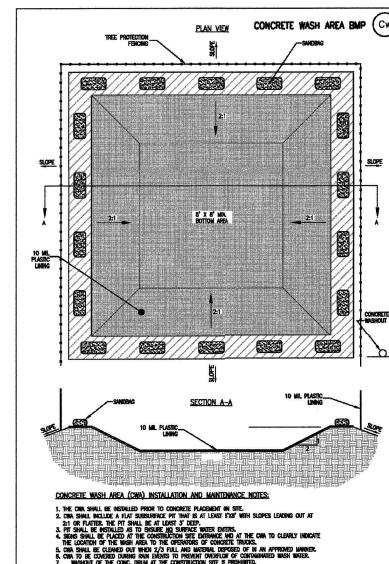


- NOTES:
1. CHECK DAMS ARE TO BE USED ONLY IN SMALL OPEN CHANNELS (THEY ARE NOT TO BE USED IN LIVE STREAMS).
 2. THE DRAINAGE AREA FOR STONE CHECK DAMS SHALL NOT EXCEED TWO ACRES.
 3. THE CENTER OF THE CHECK DAM MUST BE AT LEAST 9 INCHES LOWER THAN THE OUTER SIDES.
 4. THE DAM HEIGHT SHOULD BE A MAXIMUM OF 2 FEET FROM CENTER TO RIM EDGE.
 5. THE SIDE SLOPES OF THE CHECK DAM SHALL NOT EXCEED A 2:1 SLOPE.
 6. GEO-TEXTILE SHALL BE USED TO PREVENT THE MITIGATION OF SUBGRADE SOIL PARTICLES INTO THE STONES (REFER TO ASHRAE 90.2B-96, SECTION 7.3, TABLE 3).

Figure 6-12.2

6-82

GSWDC 2018 Edition



CONCRETE WASH AREA (CWA) INSTALLATION AND MAINTENANCE NOTES:

1. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT IN SITE.
2. THE CWA SHALL BE A 10' X 10' AREA WITH A MINIMUM OF 10' X 10' AREA.
3. THE CWA SHALL BE A 10' X 10' AREA WITH A MINIMUM OF 10' X 10' AREA.
4. THE CWA SHALL BE A 10' X 10' AREA WITH A MINIMUM OF 10' X 10' AREA.
5. THE CWA SHALL BE A 10' X 10' AREA WITH A MINIMUM OF 10' X 10' AREA.
6. THE CWA SHALL BE A 10' X 10' AREA WITH A MINIMUM OF 10' X 10' AREA.
7. THE CWA SHALL BE A 10' X 10' AREA WITH A MINIMUM OF 10' X 10' AREA.

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1.	FOR REVIEW AND APPROVAL	02-20-24	JTM
A.	FOR OWNER REVIEW	02-20-24	JTM
No.	REVISION	DATE	By

Kubota
UDT OIL AND DIESEL
PIPING SYSTEMS
EDGEMONT, KANSAS

Sediment & Erosion
Control Details

Date:	02-16-2023	Approved By:	JTM
Drawn By:	WOH	Checked By:	JTM
Project No:	23032		
Sheet No:			

C1.05

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Table 6-4.1 - Temporary Cover or Companion Cover Crops
PLANT, PLANTING RATE, AND PLANTING DATE FOR TEMPORARY COVER OR COMPANION CROPS¹

Species	Seeds/acre (lb)	Planting Rate (lb/acre)	Planting Date (Month)	Planting Date (Day)	Remarks										
	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
BARLEY Common Barley															
alone	3 lbs (144 lbs)	3.3 lbs	M-L												14,000 seed per pound. Winter hardy. Use on productive soils.
in mixture	12 lbs (544 lbs)	0.8 lb	P												
BERBERIS ANNUAL Berberis annua															
alone	40 lbs	0.8 lb	M-L												100,000 seed per pound. May volunteer for sale and plants. Use in pasture.
in mixture	10 lbs	0.2 lb	P												
LYTHRIS ANNUAL Lythris annua															
alone	4 lbs	0.1 lb	M-L												1,000,000 seed per pound. May test for several years. Use with severe topsoil.
in mixture	2 lbs	0.05 lb	P												
MILLET BROWN TOP Millet brown top															
alone	40 lbs	0.8 lb	M-L												127,000 seed per pound. Quick dense cover. Will provide excellent erosion in mixture if needed at high rate.
in mixture	10 lbs	0.2 lb	P												

Table 6-4.1 - Fertilizer Requirements

TYPE OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT	RATE	N TOP DRESSING RATE
1. Cool season grasses	First	6-12-12	1000 lbs./ac	50-100 lbs./ac 12/1
2. Cool season legumes	First	6-12-12	1000 lbs./ac	50-100 lbs./ac 12/1
3. Warm season grasses	First	6-12-12	1000 lbs./ac	50-100 lbs./ac 12/1
4. Warm season legumes	First	6-12-12	1000 lbs./ac	50-100 lbs./ac 12/1
5. Grasses	First	6-12-12	1000 lbs./ac	50-100 lbs./ac 12/1
6. Legumes	First	6-12-12	1000 lbs./ac	50-100 lbs./ac 12/1
7. Warm season grasses	First	6-12-12	1000 lbs./ac	50-100 lbs./ac 12/1
8. Warm season legumes	First	6-12-12	1000 lbs./ac	50-100 lbs./ac 12/1

1/ Apply in spring following seeding.
2/ Apply in fall applications when high rates are used.
3/ Apply in 3 split applications.
4/ Apply when plants are planted.
5/ Apply to grass species only.
6/ Apply when plants grow to a height of 2 to 4 inches.

Species	Seeds/acre (lb)	Planting Rate (lb/acre)	Planting Dates by Production Area												Remarks
			Seed rate reduced 50% on soils above 1000 feet elevation												
	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
MILLET PEARL Millet pearl															
alone	50 lbs	1.1 lbs	M-L												80,000 seed per pound. Quick dense cover. May require 5 to 10 inches of recommended for mixtures.
			P												
DAISY Daisy															
alone	4 lbs (128 lbs)	2.8 lbs	M-L												13,000 seed per pound. Use on productive soils. Use as winter hardy or for hay.
in mixture	12 lbs (544 lbs)	0.7 lb	P												
ITB ITB															
alone	3 lbs (144 lbs)	3.3 lbs	M-L												14,000 seed per pound. Quick cover. Drought tolerant and winter hardy.
in mixture	12 lbs (544 lbs)	0.8 lb	P												
HYDRANGEA Hydrangea															
alone	40 lbs	0.8 lb	M-L												100,000 seed per pound. Dense cover. Very common and is good to be used in mixtures.
			P												
SUNFLOWER Sunflower															
alone	50 lbs	1.1 lbs	M-L												80,000 seed per pound. Good on droughty soils. Not recommended for mixtures.
			P												

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Table 6-4.2 - Permanent Cover Crops
PLANT, PLANTING RATE, AND PLANTING DATE FOR PERMANENT COVER¹

PLANT PLANNING NOTE: PLANTING DATE, PLANTING RATE, PLANTING DATE,													
---	--	--	--	--	--	--	--	--	--	--	--	--	--

641

Table 6-4.3 - Permanent Cover Crops
PLANT, PLANTING RATE, AND PLANTING DATE FOR PERMANENT COVER¹

PLANT PLANTING RATE AND PLANTING DATE FOR PLANTING COVER															
Species	Seeds/acre (lb)	Planting Rate (lb/acre)	Planting Date (Month)	Planting Date (Day)	Remarks										
BERBERIS ANNUAL Berberis annua	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	40 lbs	0.8 lb	M-L												100,000 seed per pound. Low growing, slow to establish. Plant with a companion crop. Will tolerate no tillage and no mowing. Use with severe topsoil or on productive soils.
in mixture	12 lbs	0.2 lb	P												
DAISY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	4 lbs (128 lbs)	2.8 lbs	M-L												13,000 seed per pound. Use on productive soils. Use as winter hardy or for hay.
in mixture	12 lbs (544 lbs)	0.8 lb	P												
ITB ITB	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	3 lbs (144 lbs)	3.3 lbs	M-L												14,000 seed per pound. Quick cover. Drought tolerant and winter hardy.
in mixture	12 lbs (544 lbs)	0.8 lb	P												
HYDRANGEA Hydrangea	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	40 lbs	0.8 lb	M-L												100,000 seed per pound. Dense cover. Very common and is good to be used in mixtures.
in mixture	12 lbs	0.2 lb	P												
SUNFLOWER Sunflower	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lbs	M-L												80,000 seed per pound. Good on droughty soils. Not recommended for mixtures.
in mixture	12 lbs	0.2 lb	P												

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Table 6-4.4 - Permanent Cover Crops
PLANT, PLANTING RATE, AND PLANTING DATE FOR PERMANENT COVER¹

Species	Seeds/acre (lb)	Planting Rate (lb/acre)	Planting Date (Month)	Planting Date (Day)	Remarks										
		Pure Live Seed (PLS) Rate Per Acre Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
BERBERIS ANNUAL Berberis annua			M-L												100,000 seed per pound. Height of growth is 12" to 18". Adaptability to various soils, tolerating shade. Use in mixtures, spreading type growth. New growth has a reddish color. Use in mixtures with annual ryegrass, common bermudagrass, bahia, tall fescue or winter annuals. Do not mix with Sorghum bicolor. Slow to develop solid stands. Inoculate seed with N-fixing bacteria.
alone	60 lbs	1.4 lb	G												
in mixture	18 lbs	1.7 lb	M-L P												
BERBERIS PERENNIAL Berberis pinnatifida			M-L												
alone	3" x 3"		G												
DAISY Daisy			M-L												
alone	4 lbs	0.1 lb	M-L												1,000,000 seed per pound. Quick cover. Drought tolerant. Growth and yield with Sorghum bicolor.
in mixture	12 lbs	0.1 lb	P												

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Table 6-4.5 - Permanent Cover Crops
PLANT, PLANTING RATE, AND PLANTING DATE FOR PERMANENT COVER¹

Species	Seeds/acre (lb)	Planting Rate (lb/acre)	Planting Date (Month)	Planting Date (Day)	Remarks										
BERBERIS ANNUAL Berberis annua	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
Gold PLS includes optimum loads, either two include percentages for marginal soils.															
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
For very wet sites. May drop charnells. Clo sapling from local sources. Use along tree belts and ditches.															
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
Daisy will on coastal sand dunes, some areas, and planted into. Prohibit early for seedling mix with dunes seedlings except on sand dunes.															
BERBERIS ANNUAL Berberis annua	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	20 lbs	0.5 lb	P												
with other perennials	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
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alone	50 lbs	0.7 lb	P												
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DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
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DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
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alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	0.7 lb	P												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	50 lbs	1.1 lb	M-L												
DAISEY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A					

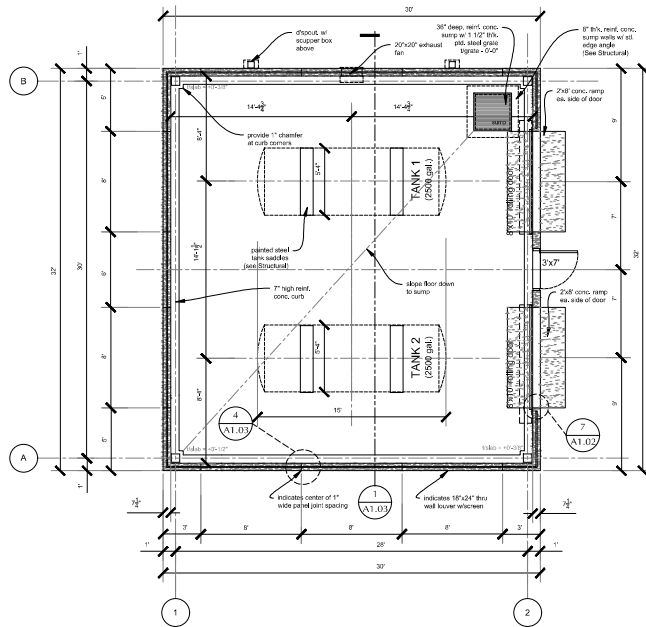
641

Table 6-4.6 - Permanent Cover Crops
PLANT, PLANTING RATE, AND PLANTING DATE FOR PERMANENT COVER¹

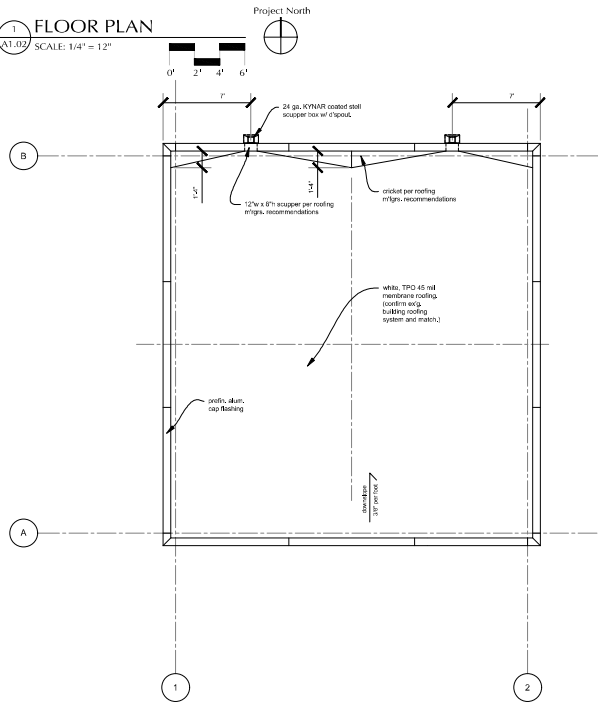
Species	Seeds/acre (lb)	Planting Rate (lb/acre)	Planting Date (Month)	Planting Date (Day)	Remarks										
		Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	40 lbs	0.8 lb	M-L												100,000 seed per pound. Low growing, slow to establish. Plant with a companion crop. Will tolerate no tillage and no mowing. Use with severe topsoil or on productive soils.
in mixture	12 lbs	0.2 lb	P												
DAISY Daisy	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	4 lbs (128 lbs)	2.8 lbs	M-L												13,000 seed per pound. Use on productive soils. Use as winter hardy or for hay.
in mixture	12 lbs (544 lbs)	0.8 lb	P												
ITB ITB	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	3 lbs (144 lbs)	3.3 lbs	M-L												14,000 seed per pound. Quick cover. Drought tolerant and winter hardy.
in mixture	12 lbs (544 lbs)	0.8 lb	P												
HYDRANGEA Hydrangea	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	40 lbs	0.8 lb	M-L												100,000 seed per pound. Dense cover. Very common and is good to be used in mixtures.
in mixture	12 lbs	0.2 lb	P												
LEGUMES Legumes	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	40 lbs	0.8 lb	M-L												100,000 seed per pound. Quick cover. Drought tolerant and winter hardy.
in mixture	12 lbs	0.2 lb	P												
HYDRANGEA Hydrangea	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	40 lbs	0.8 lb	M-L												100,000 seed per pound. Dense cover. Very common and is good to be used in mixtures.
in mixture	12 lbs	0.2 lb	P												
LEGUMES Legumes	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	40 lbs	0.8 lb	M-L												100,000 seed per pound. Quick cover. Drought tolerant and winter hardy.
in mixture	12 lbs	0.2 lb	P												
HYDRANGEA Hydrangea	Rate Per Acre	Pure Live Seed (PLS) Per 1000 ac	J	F	M	A	M	J	J	A	S	O	N	D	
alone	40 lbs	0.8 lb	M-L												100,000 seed per pound. Dense cover. Very common and is good to be used in mixtures.
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alone	40 lbs	0.8 lb	M-L												100,000 seed per pound. Quick cover. Drought tolerant and winter hardy.
in mixture	12 lbs	0.2 lb	P												



Work of this Project has been designed in conformance with the following Codes:



1 FLOOR PLAN
A1.02 SCALE: 1/4" = 12"

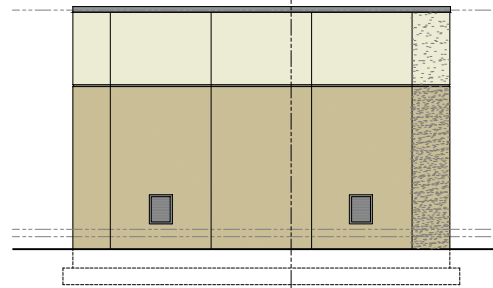


2 ROOF PLAN
A1.02 SCALE: 1/4" = 12"

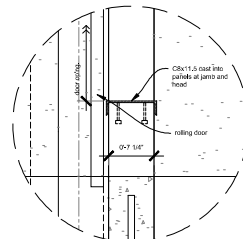


3 EAST ELEVATION
A1.02 SCALE: 1/4" = 12"

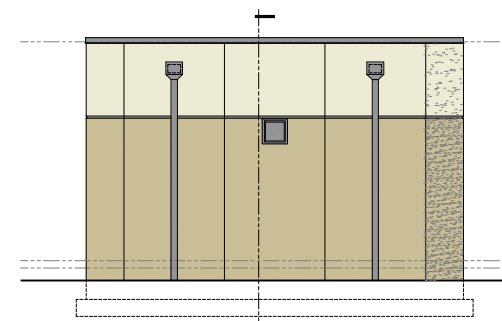
Provide cement based acrylic coating on all tilt up panels. Color shall match existing materials as follows:
B - Sherwin-Williams "Stone Lion" (SW 7507)
A - Sherwin-Williams "Sand Bar" (SW 7547)
Color match existing coating materials on existing building.



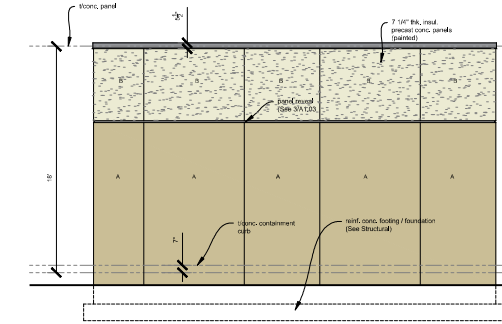
4 SOUTH ELEVATION
A1.02 SCALE: 1/4" = 12"



7 ROLLING DOOR JAMB
A1.02 SCALE: 1 1/2" = 12"



5 NORTH ELEVATION
A1.02 SCALE: 1/4" = 12"



6 WEST ELEVATION
A1.02 SCALE: 1/4" = 12"

NOTICE
THIS DRAWING IS THE PROPERTY OF H2L CONSULTING ENGINEERS, AND IS FURNISHED WITH THE UNDERSTANDING THAT IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION OF H2L. FURTHERMORE, THE DRAWING IS NOT TO BE CORRECTED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION OF H2L.



1	REVIEW AND APPROVAL	03/25/24	JM
No.	REVISION	DATE	By

Kubota
UDT OIL & DIESEL
PIPING SYSTEMS
EDGEMONT, KANSAS

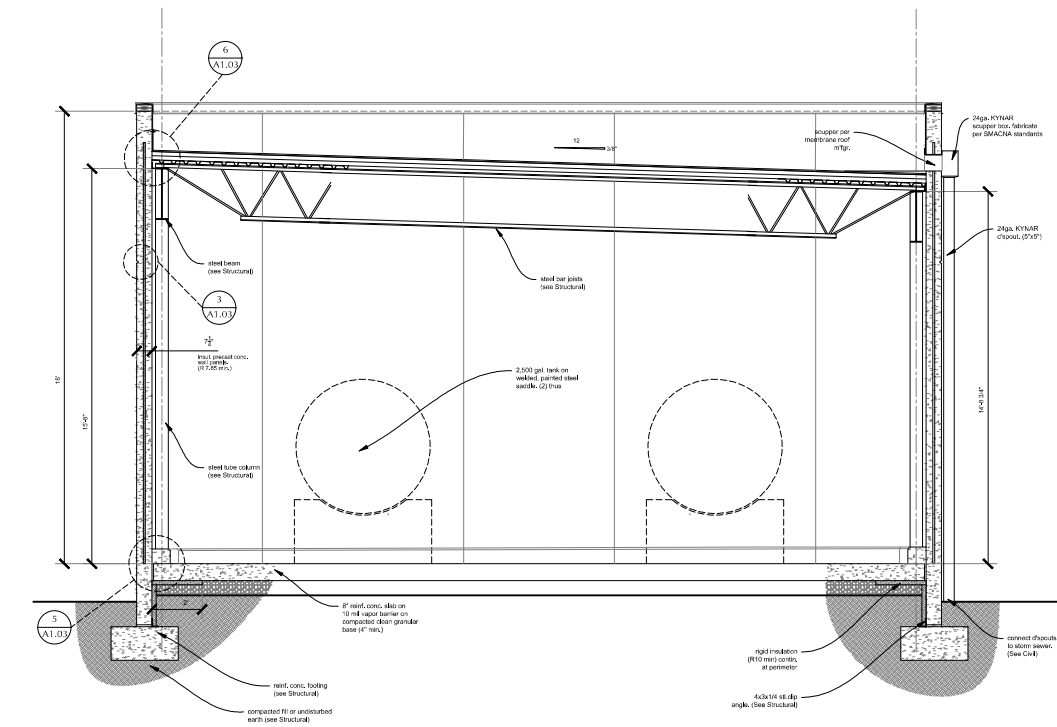
FLOOR PLAN
ELEVATIONS

Date: 03/25/24 Approved By: JTM
Drawn By: JWM Checked By: XX
Project No: 23032
Sheet No:

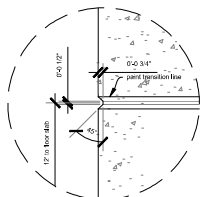
A1.02

CONTINUED ON SHEET A1.03

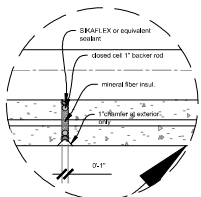
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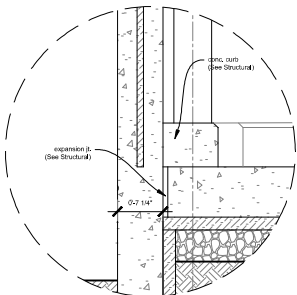
1 BUILDING SECTION
SCALE: 1/2" = 12"
0' 1' 2' 3'



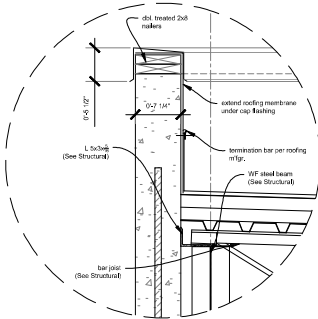
2 REVEAL DETAIL
SCALE: 1 1/2" = 12"
0' 4' 8' 12"



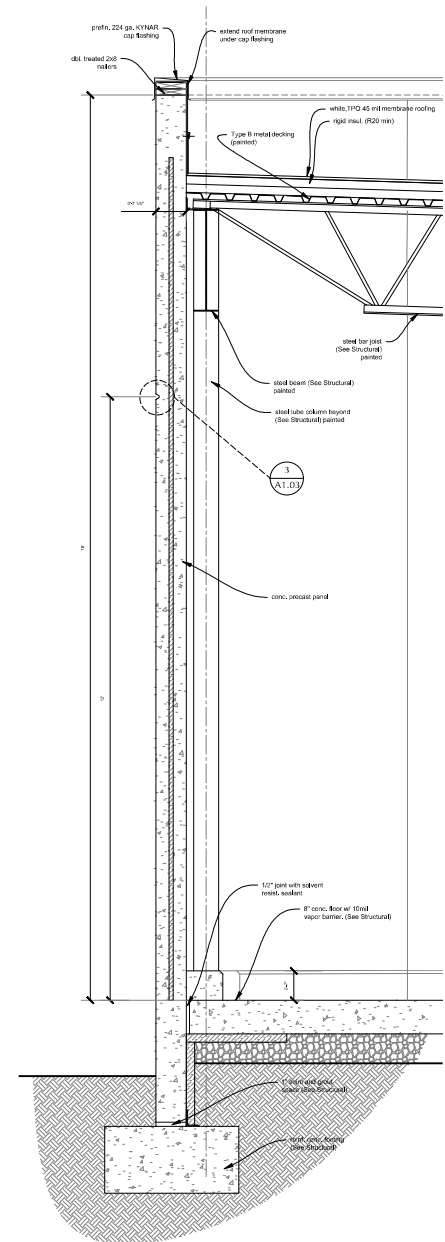
3 PANEL JOINT DETAIL
SCALE: 1 1/2" = 12"
0' 4' 8' 12"



4 PANEL BASE DETAIL
SCALE: 1 1/2" = 12"
0' 4' 8' 12"



5 PANEL TOP DETAIL
SCALE: 1 1/2" = 12"
0' 4' 8' 12"



2 WALL SECTION
SCALE: 1" = 12"
0' 6' 12' 18'

5x3x1/8 steel clip, length, spacing, and fastener method shall be designed by a licensed professional employed by the panel fabricator.

Steel angle shall be primed and ready for finished paint.

1	REVIEW AND APPROVAL	03/25/24	JM
No.	REVISION	DATE	BY

Kubota
UDT OIL & DIESEL
PIPING SYSTEMS
EDGEMONT, KANSAS

SECTIONS
BUILDING/WALL

Date: 03/25/24 Approved By: JTM
Drawn By: JM Checked By: XX
Project No: 23032
Sheet No:

A1.03

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