EDGERTON PLANNING COMMISSION MEETING AGENDA EDGERTON CITY HALL - 404 EAST NELSON STREET June 10, 2025 7:00 P.M.

The City of Edgerton encourages public participation in local governance issues. To facilitate an efficient and effective meeting, persons wishing to address the Planning Commission must sign-up before the meeting begins. During public hearings, comments must be limited to three (3) minutes per speaker. The maximum time limit for all speakers during each public hearing will be one (1) hour.

The chair may modify these provisions, as necessary. Speakers should state their name and address and then make comments that pertain to the public hearing item.

The chair may limit any unnecessary, off-topic, or redundant comments or presentations. Speakers should address their comments to Planning Commission members only and should not speak to fellow audience members. Commission members will not engage in a dialogue or debate with speakers. Speakers and audience members should conduct themselves in a civil and respectful manner. Disruptive conduct may result in removal from the meeting.

Ca	II to Order					
1.	Roll Call	Draskovich	Mathos	Little	Mueller	Soemer
2.	Welcome					
3	Pledge of A	llegiance				

<u>Consent Agenda</u> (Consent Agenda items will be acted upon by one motion unless a Planning Commissioner requests an item be removed for discussion and separate action.)

- 4. Minutes from the May 13, 2025 Planning Commission Meeting.
- 5. Extension Request for FSP2024-0004 Kubota NADC UDT Oil & Diesel Piping Systems

Regular Agenda

6. **Declaration.** At this time, Planning Commission members may declare any conflict or communication they have that might influence their ability to impartially consider the agenda items.

Business Requiring Action

New Business

7. **ELECTION OF PLANNING COMMISSION OFFICERS.** Per the Bylaws of the Planning Commission outlined in the Unified Development Code, an annual meeting is to be held during June for the purpose of electing a Chair, Vice Chair, and Secretary of the Planning Commission.

8. Future Meeting Reminders

- July 8, 2025 at 7:00 PM Regular Session
- August 12, 2025 at 7:00 PM Regular Session
 September 9, 2025 at 7:00 PM Regular Session

9. Announcements

10. Adjourn

PLANNING COMMISSION May 13, 2025 Minutes

A regular session of the Edgerton Planning Commission (the Commission) was held in the Edgerton City Hall, 404 E. Nelson Street, Edgerton, Kansas on May 13, 2025. The meeting was convened when Chair Tina Mathos called the meeting to order at 7:00PM.

1. ROLL CALL

Jeremy Little	present
Tina Mathos	present
Adam Draskovich	absent
Ray Soemer	present
Jordyn Mueller	absent

With a quorum present, the meeting commenced.

Staff in attendance: Zachary Moore, Development Services Director

- 2. **WELCOME** Chair Mathos welcomed all in attendance to the meeting.
- 3. **PLEDGE OF ALLEGIANCE** All present participated in the Pledge of Allegiance.

CONSENT AGENDA

4. Minutes from the April 8, 2025 Planning Commission Meeting.

Commissioner Little moved to approve the Consent Agenda. The motion was seconded by Commissioner Soemer. The Consent Agenda was approved, 3-0.

Regular Agenda

5. **Declaration.** There were no declarations made.

6. **FUTURE MEETING REMINDERS**

Chair Mathos stated that the next regular sessions are scheduled for June 10, 2025 at 7:00 PM; July 8, 2025 at 7:00 PM; and August 12, 2025 at 7:00 PM.

7. ANNOUNCEMENTS

Mr. Moore stated that it was Public Service Recognition Week and thanked the Commissioners for their service to the City.

Commissioner Little mentioned that he might not be in attendance for the August Planning Commission meeting.

8. ADJOURN

Commissioner Soemer moved to adjourn the meeting. Commissioner Little seconded the motion. The meeting was adjourned at $7:04\ PM$, 3-0.

Submitted by Zachary Moore, Development Services Director





404 East Nelson Edgerton, KS 66021 P: 913.893.6231 EDGERTONKS.ORG

MEMORANDUM

Date: June 10, 2025

To: City of Edgerton Planning Commission

From: Chris Clinton, Planning and Zoning Coordinator

Re: Request for an Extension of Final Site Plan FSP2024-0004 Kubota NADC UDT Oil & Diesel

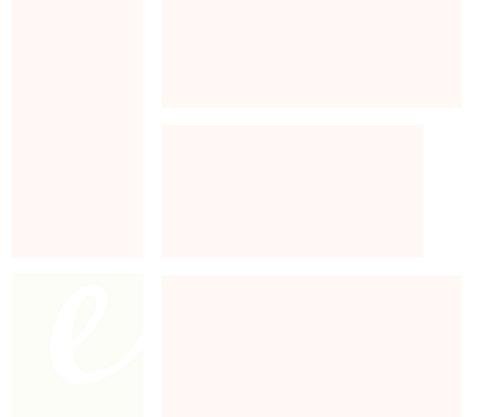
Piping Systems

On June 11, 2024 the Edgerton Planning Commission approved Final Site Plan FSP2024-0004 for Kubota NADC UDT Oil & Diesel Piping Systems. Section 10.4 of the Unified Development Code (UDC) states that the approval period for a Site Plan is one (1) year from the date of approval by the Planning Commission. If a building permit is not issued within one (1) year of Planning Commission approval, the Site Plan becomes null and void.

An extension of up to one (1) year may be requested by the applicant. The extension must be granted by the Planning Commission, or the Site Plan will become null and void.

Ms. Rita Jones, Kubota, has submitted a letter requesting a one (1) year extension to Final Site Plan FSP2024-0004. The Final Site Plan proposes the development of storage tanks for diesel and oil to be piped into the northern warehouse. The tanks are shown in an accessory building to screen them from view. There are no proposed changes to the approved Site Plan included with this extension request.

City staff has not received any communication regarding the approval of Final Site Plan FSP2024-0004 and is supportive of the extension.



For Earth, For Life

May 30, 2025

City of Edgerton Planning & Zoning 404 E. Nelson Edgerton, Ks 66021

To Whom It May Concern:

Kubota Tractor Corporation is requesting a one year extension to Final Site Plan #FSP2024-0004 "Kubota NADC UDT Oil and Diesel Piping System." The original expiration date is June 11, 2025. We are requesting a one year extension to June 11, 2026 due to budgetary constraints. An updated schedule will be provided once established.

Thank you,

/s/ Mark Bright Wholegoods Director Kubota Tractor Corporation 31750 W. 207th Street Edgerton, KS 66021



KUBOTA NADC UDT OIL & DIESEL PIPING SYSTEMS

Application FSP2024-0004 31700 W. 207th Street

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Revised Final Site Plan located at 31700 W. 207th Street.

Owner and Applicant

Kubota North America Corporation, Property Owner

Existing Zoning and Land Use

The property is currently zoned L-P (Logistics Park) District. The property is currently developed with two (2) warehouses.

Parcel Size

206.21± acres

Staff Report Prepared by

Chris Clinton



BACKGROUND

1. Proposal

This Revised Final Site Plan request is being made in preparation for the construction of a 960 square foot building on the northwest corner of the northern building. This building is to house two (2) 2,500-gallon tanks. One of the tanks will house oil and the other will be filled with diesel fuel. The oil and diesel fuel will then be piped underground into the northern warehouse to be used with the products. The site is currently developed with two (2) warehouses, the southern one (1) being approximately 1,011,000 square feet, and the northern one (1) being approximately 1,008,000 square feet, used for light manufacturing and distribution which are permitted uses in the L-P District. The proposed tanks are allowed as accessory uses, but the Unified Development Code (UDC) requires the tanks to either be below ground or fully enclosed in a building, and UDC Section 5.2.H.4 requires the tanks to be shown on a Final Site Plan. Site Plans are also required for all new structures per Section 10.1.B of the UDC and must be considered following a public hearing by the Planning Commission.

2. Subject Site History

The 206.21-acre subject property was annexed on March 15, 2018 (Ordinance 1077) and was rezoned to the L-P (Logistics Park) District on April 26, 2018 (Ordinance 1079). The subject property was created when the Governing Body approved the Final Plat for this property on April 26, 2018 (FP2018-03).

The Planning Commission approved the Final Site Plan for the subject property (FS2018-08) on November 13, 2018 for the development of the two (2) warehouses that are currently being occupied. On July 14, 2020, the Planning Commission approved FS2020-05, which allowed a fuel tank to be installed above-ground near the southwest corner of the northern building on the development. The request for that tank was submitted prior to the requirement of all fuel tanks be enclosed or underground. If this application is approved by the Planning Commission, the above-ground fuel tank will be removed upon installation of the new fuel tank.

FINAL SITE PLAN REVIEW

1. Zoning and Development Requirements

A. Accessory Fuel Tanks

Section 5.2.H.4 requires all exterior fuel tanks to be buried underground. All of the fuel tanks have to meet the International Building Code, Internation Fire Code, and all Kansas Department of Health and Environment requirements. The applicant has listed the incorrect code suites in the provided Final Site Plan and that must be corrected prior to the Zoning Administrator certifying the document. The applicant has proposed the fuel and oil tanks be in a separate building. This meets Section 5.2.H.2 of the UDC, which states that all operations must be conducted within a fully enclosed building or underground. Piping coming from the new building will be underground as well. The piping would need to come above ground prior to entering the northern warehouse and the applicant has provided a detail that shows the piping will extend only two (2) feet and six (6) inches above ground. The proposed location does appear to be screened from view from any public right-of-way and neighboring property.

B. Architectural Design Standards

The applicant is proposing a 960 square foot building to house two (2) 2,500-gallon tanks. The building is proposed to be constructed on concrete tilt-up panels. The east façade includes two (2) rolling doors that are eight (8) feet by ten (10) feet. The applicant has included a ramp at the bottom of these doors with a concrete drive to allow for easier refilling. The façades of the proposed building are to be painted with two (2) of the same colors that are on the warehouses. The proposal meets or exceeds the requirements of the UDC regarding the design of the building.

C. Setbacks

Table 1 below outlines the required and provided setbacks for the proposed structure.

Table 1

Setback	Required	Proposed
Front	50 feet	Approximately 1,820 feet
Side	50 feet	Approximately 510 feet
Rear	50 feet	Approximately 700 feet

The proposed setbacks exceed the minimum required setbacks of the UDC.

D. Height

The maximum height allowed of a building in the L-P District is 110 feet. The proposed structure is just over 19 feet above grade, complying with the UDC requirement.

E. FAR

The Floor Area Ratio (FAR) with the proposed structure is 0.24:1. The maximum FAR allowed by the UDC is 3:1. This proposal meets the required FAR.

F. Building Coverage

The UDC allows for 50% of the subject parcel to be covered by buildings. The subject parcel is approximately 8,322,206 square feet, which would allow 4,161,103 square feet of building. The proposed building with the inclusion of the currently developed warehouses would total approximately 2,020,306 square feet, meeting the UDC requirement.

G. Building Separation

The UDC requires a minimum of 20 feet of separation between the structures. The proposed space between the proposed structure and the northern warehouse is 145 feet. While this meets the UDC requirements, the location must also be approved by the Fire Department. If the Planning Commission approves this application, a building permit will be required for the construction of the structure and installation of the tanks. The building permit plans will be reviewed for compliance with the currently adopted Fire Code.

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project and the project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
Application	Application for FSP2024-0004	03/06/2024
1	C1.00 Cover Sheet	02/23/2024
2	C1.01 General Notes	03/25/2024
3	C1.02 Site Plan	04/22/2024
4	C1.03 Site Grading Plan	03/25/2024
5	C1.04 Site Details	04/25/2024
6	C1.05 Sediment & Erosion Control Details	03/25/2024
7	C1.06 Grassing Specifications	03/25/2024
8	M1.03 Piping Site Plan	04/22/2024
9	A1.01 Life Safety Plan Code Summary Specifications	03/25/2024
10	A1.02 Floor Plan Elevations	03/25/2024
11	A1.03 Sections Building/Wall	03/25/2024

STAFF RECOMMENDATION

Staff recommends approval of Final Site Plan **Application FSP2024-0004** *Kubota NADC UDT Oil & Diesel Piping Systems*, subject to the following stipulations:

- 1. The following comments must be addressed prior to certification by the Zoning Administrator:
 - a. The Code Summary on Sheet A1.01 must be updated to reflect the 2018 code suite having been adopted and used to design the project.
- 2. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads, and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

Note: For application FSP2024-0004 the Planning Commission is the approving authority.

EDGERTON [®] global routes. local roots.	Site Plan Ap	plication
□ PRELIMINARY SITE PLAN FINAL SITE PLAN □		
PROJECT NAME: KUBOTA NBOC - UDT OIL + DIE	isel pipe sustien	15
LOCATION OR ADDRESS OF SUBJECT PROPERTY: 31750 W. 207 th	STREET, 1806BLT.	J KS 66021
LEGAL DESCRIPTION: 81/2 X 11 11CMMAND - 6N CO	.01 TITLE SHARE	τ
CURRENT ZONING ON SUBJECT PROPERTY: NOUSTING	CURRENT LAND USE:	uttur
TOTAL AREA: 206.2 ACRES NUMBER OF LOTS:	AVG. LOT S	ZE: N& Sq. Ft.
DEVELOPER NAME(S): SULL US	PHONE: 110 - 532	-00% x 1304
COMPANY: KUBOTA JORTIJ BIMERICA		
MAILING ADDRESS: 2115 Pares Po. Grantsvill		
PROPERTY OWNER NAME(S): AVY SULLVAN (FCP.)		
PROPERTY OWNER NAME(S): AND SULLAVAL (1997)	PHONE: (10 2 30)	Lia Allerhade
COMPANY: KUDOTO NORTH AMERICAN CORP.	_ EMAIL: _ andy .541	WEN & KUMPT
MAILING ADDRESS: 10 IVERNESS DRIVE E. ENG Street SUITE 25° City	WEWOOD CO	80112
ENGINEER NAME(S): U.G. VEWIS PE	PHONE: 364- 23	7-6644
COMPANY: HOW CONSULTING ENGNERRS	_email: _ S lewis 🙆	HZL. Com
MAILING ADDRESS: 116 S. PLESS MITTEURS OR. GARA	aniue sc	29607
Street City	State	Zip
SIGNATURE OF OWNER OR AGENT:	***	
If not signed ov owner, authorization o	f agent must accompany this applicat	
NOTE: Two (2) 34"x42" paper copies plus an electronic copy of the site plan mus Plan requirements may be found in Article 10 of the Edgerton Unified Developm	t accompany this application for ent Code (UDC).	staff review. All Site
Applicant is to provide the legal description electronically as a Word document t	o the City of Edgerton.	•
FOR OFFICE USE ON	LY	
Application No.: Application Fee Paid: \$	Date Paid:Re	ceipt #:
Code: SITEPLAN or PUBLISH Publication Fee Paid: \$	Date Paid:	
Received By:		



Site Plan Application

SITE PLAN INSTRUCTIONS

SUBMITTAL DEADLINE: The applicant shall submit an application at least forty-nine (49) calendar days prior to the public hearing.

NOTICE REQUIREMENTS: A public hearing is required for Site Plan applications at either the Preliminary or Final Site Plan stage, depending upon which is submitted first. If a public hearing is held for a Preliminary Site Plan, a public hearing does not need to be held for the Final Site Plan. The City shall publish notice of the public hearing at least twenty (20) days in advance of the hearing in the official City newspaper. One copy of the proposed Site Plan shall be made available for public inspection at least twenty (20) days prior of the public hearing.

DESIGN STANDARDS: Applicants should abide by the district zoning regulations and design standards set forth in the Edgerton UDC as noted in the appropriate Articles for the proposed development. These regulations and design standards include, but are not limited to, building placement, architectural design standards, parking and loading, access management, photometrics, landscaping, signage and diesel emissions.

PLANNING COMMISSION REVIEW: The Edgerton Planning Commission meets in the Edgerton City Hall on the second Tuesday of every month. The Planning Commission shall review the site plan to determine conformity with the design guidelines and other requirements included within the Edgerton UDC.

APPROVAL LIMITATIONS: The Site Plan approval expires after one year from the date of approval and becomes null and void unless the applicant has been issued a building permit for the project or has requested an extension of time from the Planning Commission.

CHECKLIST

The following items shall be included on the site plan, and the scale shall be a professionally a	acceptable standard suitable to
the area of the proposed project:	

- A scale vicinity map showing the relationship of the site to surrounding neighborhoods, zoning of surrounding properties, roads and other physical features.
- A project title, zoning designation and applicant name. A street, lot or tract address of the project.
- An index of content pages. Co. ol
- The data table as outlined in Section 10.1, Subsection G of the UDC.
- The name of the architect, engineer, surveyor and landscape architect, all licensed in the State of Kansas, who prepared the Site Plan.
- Engineer's seal with original signature. U.G. Lowis . PE
- A landscape plan sealed by a landscape architect licensed to practice in the state of Kansas which is in conformance with applicable zoning district requirements. All landscape features shall be shown in relation to sidewalks, paths, lawns, parking areas and drives. The submitted landscape plan drawn to scale, shall show the requirements as shown in Section 10.1, Subsection G.
 - Existing and proposed topography including contours at two (2) foot intervals unless the property is too flat and then spot elevations shall be provided.
- ☐ Exterior lot lines with any survey pins.
 - Location of buildings, proposed and existing if existing buildings will remain.
 - ☐ Parking areas, paths, sidewalks with sizes and surface material specifications.





Site Plan Application

Exterior lighting specifications including a preliminary photometric plan. A final photometric plan will be required at the time the applicant applies for a Building Permit. No BXTILLOR LIGHTING.
Site entrance and connections to streets.
The location of existing and proposed easements.
Connection point for utilities and the location and size of all utility lines including but not limited to sewer lines and manholes; water lines and fire hydrants; telephone, cable, fiber, and electrical systems; and storm drainage systems including inlets, catch basins, lines and other appurtenances, existing and proposed.
Vehicular and pedestrian circulation within the site, entrances and exits, loading and unloading areas, and adjacent curb cuts. •
Scale drawings of all proposed signage including location, height, size, area, materials and design to be used on the premises with construction drawings required when applying for a sign permit in accordance with Article 12, Sign Regulations, of the UDC.
Features to facilitate handicapped access.
Profile and detail for roads the location and width of sidewalks and the location of trails.
Storm Drainage Systems and Facilities shall be provided in connection with the proposed development of land in accordance with the Kansas City Metropolitan chapter of the American Public Works Association Construction and Material Specifications Section 5600 Storm Drainage Systems and Facilities. Said Site Plan shall show, by use of directional arrows, the proposed flow of storm drainage from the site. A summary table shall be provided on the Site Plan in the format outlined in Section 10.1, Subsection G of the UDC.
A Storm Water Pollution Prevention Plan (SWPPP) shall also be provided and shall meet the known requirements of the National and Kansas General Permit. A signed and dated copy of the NOI shall be provided to the City prior to any disturbance of the soil on the construction site.
Scale drawing of building floor plans with dimensions and square foot calculations. \$\&\ldots\$1.02
Scale drawings in full color with dimensions of all building facades or elevations including the labeling of exterior materials and color.
Roof pitch and materials. & 1.07
The location of any HVAC systems (roof or ground), utility boxes and any other above ground facilities. Include line of sight drawings which indicate view from the street, right of way, and/or adjacent properties. Ground-based mechanical equipment shall be located away from property lines adjacent to public streets and residential property. Include type of screening that will be used around equipment.
Areas or facilities used for trash, trash compacting, recycling containers, service and loading are to be located out of public view from streets, adjacent to residential properties, and other highly visible areas such as parking lots, access drives, and similar areas. Refer to the regulations in Section 10.1, Subsection G of the UDC.
Layout and design of all property designed required parking and loading areas in accordance with Article 16, Parking and Loading Regulations, of the UDC.





Site Plan Application

POSSIBLE ADDITIONAL REQUIREMENTS

Depending upon circumstances the Zoning Administrator may require additional information related to business operations and their impact on adjacent properties including, but not limited to the requirement of additional information for hazardous material or other environmental impacts.

The Zoning Administrator may also require a detailed traffic impact study prepared by a Traffic Engineer, licensed in the State of Kansas, for large uses, mixed use and multi-tenant developments, or for developments in heavy traffic or congested areas to include:

- The projected number of motor vehicle trips to enter and leave the site, estimated for daily and peak hour traffic levels:
- The projected traffic flow pattern including vehicular traffic movements at all major intersections likely to be affected by the proposed use of the site;
- The impact of the proposed traffic upon existing, public and private ways in relation to existing and projected daily and peak hour road capacities;
- A recommendation of whether additional improvements would be needed such as turning lanes or traffic signals to accommodate the projected traffic;
- Any other information as determined by the City Engineer.

Outdoor Storage Requirements. Include adequate details on Site Plan to confirm individual District requirements are met.

- Permanent Outdoor Storage If applicable and allowed within the zoning designation, permanent outdoor storage
 areas, attached to the main structure and enclosed with screening or fencing, may be allowed if the enclosure
 meets aesthetic guidelines. Permanent outdoor storage areas must be indicated on the Site Plan.
- Seasonal Outdoor Storage If applicable and allowed within the zoning designation, placement and dimensions of Seasonal Outdoor Storage area must be shown on the Site Plan. Administrative approval for a Seasonal Outdoor Storage Permit is granted by the Zoning Administrator upon the submission of a permit application which includes, but is not limited to, parking implications, time parameters (hours of operation and duration of display), signage, pedestrian and vehicular traffic flow, lighting requirements, security, maintenance of merchandise, and fencing.
- Temporary Sales Area Temporary Sales Areas may be allowed within certain zoning designations. If the applicant wishes to request a Temporary Sales Permit, the Temporary Sales Area must be indicated on the Site Plan.

NOTE

Plans may change pending city review.

All that part of the Southeast and Southwest Quarters of Section 10, Township 15 South, Range 22 East of the Sixth Principal Meridian, together with all that part of Lost 1 thu 4, inclusive, ROCKWALL ESTATES, a platted subdivision, all in Johnson County, Kansas, more particularly described as follows:

thence South 88"09'59" West, coincident with the South line of said Southeast Quarter, a distance of 1,768.61 feet to the Point of Beginning, subject to all that part in existing road right-of-way, containing 8,982,382 square feet, or 206.207 acres, more or less

UTILITIES

ELECTRIC Evergy (Miss Phone: 888.471.5275 SANITARY 404 Fact Nelson P.O. Box 255 Phone: 913.893.6231

GAS Kansas Gas Service 11401 West 89th Stree Overland Park, Kansar Phone: 913,599,8981

TELEPHONE Century Link Phone: 800.788.3500

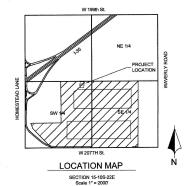
WATER Johnson Rural Water District 7

CABLE 534 West Main P.O. Box 7 Phone: 800.788.3500

Gardner, Kansas Phone: 913.856.7173

KUBOTA NADC UDT OIL & DIESEL PIPING SYSTEMS

31750 W. 207TH STREET **EDGERTON, JOHNSON COUNTY, KANSAS 66021**



INDEX OF SHEETS

Title Sheet C1.00 C1.01 General Notes Site Plan C1.02 Site Grading Plan C1.03 Site Details C1.04 C1.05 Sediment & Erosion Control Details

C1.06 **Grassing Specifications**

PROJECT BENCHMARK

Johnson County Vertical Control Benchmark BM 1021. Elev.=998.68 NAVD 88

LEGEND

	Existing Section Line	-	Proposed Right-of-Way
	Existing Right-of-Way Line		Proposed Property Line
	Existing Lot Line	UL	Proposed Lot Line
	Existing Easement Line	U/E	Proposed Easement
-	Existing Curb & Gutter	-	Proposed Curb & Gutter
	Existing Sidewalk		Proposed Sidewalk
	Existing Storm Sewer		Proposed Storm Sewer
	Existing Storm Structure	-	Proposed Storm Structure
w/L	Existing Waterline	А	Proposed Fire Hydrant
GAS	Existing Gas Main	WATER	Proposed Waterline
SAN	Existing Sanitary Sewer		Proposed Sanitary Sewer
•	Existing Sanitary Manhole	•	Proposed Sanitary Manhole
	Existing Contour Major		Proposed Contour Major
	Existing Contour Minor		Proposed Contour Minor

Future Curb & Gutter

Received and placed on record this _____ of ___ 2024

Zoning Adminstrator

Approved by the Edgerton City Planning Commission this day of _____, 2024.

Chair of the Planning Commission

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, conditions required during Site Plan approval and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant Signature:

PIPING SYSTEMS Date: <u>5/20/2024</u>

Organization: H2L Consulting Englneers



REVIEW DRAWING NOT FOR CONSTRUCTION

OWNER REVIEW DATE B Kubota UDT OIL AND DIESEL

COVER SHEET

03-20-2024 Approved By: WDH 23032

MA\~2023000\23032 IBC Replacement & Spill Contairment - Kubota Kansas\dwgs\23032 - C1.01 - General Notes.dwg

GENERAL NOTES

- All construction shall conform to the City of Edgerton's minimum design standards.
- Spot Grades shown herein shall govern over finished grades.
- All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD)
- 4. The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Missouri, at the contractor's expense.
- 5. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition. See site land disturbance plans for erosion control measures.
- All work shall be confined within easements and/or construction limits as shown on the plans.
- All National Pollution Discharge Elimination System(NPDES) standards shall be met. See site land disturbance plans for more information.
- Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.
- Refer to the site land disturbance plans for existing utility locations and removal.
- Contractor to place erosion control matting on all slopes 3:1 or greater for stabilization.
- All storm structure dimension callouts are to inside of wall.

LAYOUT & PAVING NOTES

- Contractor shall keep a full set of KC-APWA
 Standard Details onsite at all times.
- The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work.
- Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Adjust all utilities prior to installation of pavement.
- Concrete walks and pads shall have a broom finish. All concrete shall be 4,000 p.s.l. unless otherwise noted. Cubr armps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
- All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expected.
- Dimensions are to the face of curb, or edge of concrete, unless otherwise noted.
- Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
- For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.
- Asphalt base course to be APWA Type 1 and surface course to be APWA Type 3. The maximum amount of recyclable asphalt material shall be 30%.
- 10. Manhole/Storm Structure top elevations designated as "Field Venify" are located outside the street right-of-way or in areas of undetermined grading. Contractors ordering precast manholes/structures shall be responsible for adjustments required in the field at no additional cost to the owner. The Contractor shall field verify the top elevations prior to ordering precast manholes/structures.

PAVEMENT MARKING AND SIGNAGE NOTES

- Parking stall marking stripes shall be four inch (4") wide white stripes on asphalt and yellow on concrete pavement. Handicap stall marking shall be furnished at locations shown on plans.
- 2. Traffic control and pavement markings shall be painted with a white Shervin Williams S-W traffic marking series b-29y2 or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70° and the ambient air temperature shall not be less than 60°f and rising. Two coats shall be applied.

UTILITY NOTES:

- Contractor will be required to provide notice to utility companies a minimum of twenty-four (24) hours prior to any excavation as follows: Kansas One Call: (316) 687-2479
- 2. Exist. utilities and their locations, as shown on the plans, represent the best information attainable for design. Location information has been obtained from the various utility companies and is taken either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed constructions.
- The Contractor is to verify utility locations prior to construction of this project.
- Utility service and installation shall be coordinated with the respective utility owner, see Title Sheet for utility services and installation contacts.



NOTICE
THIS DRAWNO IS THE PROPERTY OF HS. CONSULTING
ENGINEERS. AND IS FURNISHED WITH THE
CONDITION THAT IT IS NOT TO BE CHANGED WITH
MITTER MUTHORIZATION OF HSL. FURNISHERMORE
THES DRAWNING IS NOT TO BE COPIED, REPRODUCES
OF USED BY OTHERS EXCEPT AS REQUISED FOR THE

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REVIEW	
DRAWING NOT FOR	

CONSTRUCTION

FOR REVIEW AND APPROVAL	63-25-24	JTM
OWNER REVIEW	02-23-24	JTM
REVISION	DATE	Ву

UDT OIL AND DIESEL PIPING SYSTEMS

GENERAL NOTES

 Date:
 03-20-2024
 Approved By: WDH

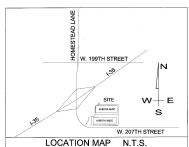
 Drawn By:
 LC
 Checked By: WDH

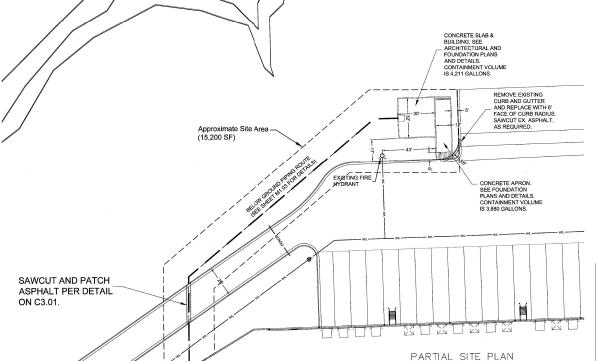
 Project No:
 23032

C1.01

0.430 CENSO 30483







SCALE: 1" = 20'

SITE DATA

OWNER - KUBOTA NORTH AMERICA CORPORATION 10 IVERNESS DRIVE E, SUITE 250 ENGLEWOOD, CO 80112

TAX PROPERTY ID - BP55830000 0001

LOT AREA - 206.21 ACRES (Total Kubota Complex)

NEW BUILDING AREA - 960 SF

ZONING - L-P, Logistics Park

PROPERTY SURFACE SUMMARY (PROJECT SITE)				
Summary of Existing Conditions	Summary after Project Completion			
Total Building: 0 SF	Total Building: 960 SF			
Total Pavement: 3,378 SF	Total Pavement: 4,408 SF			
Total Impervious: 3,378 SF	Total Impervious: 5,368 SF			
Total Pervious: 11,462 SF	Total Pervious: 9,832 SF			
Total Property Area: 15,200 SF	Total Property Area: 15,200 SF			



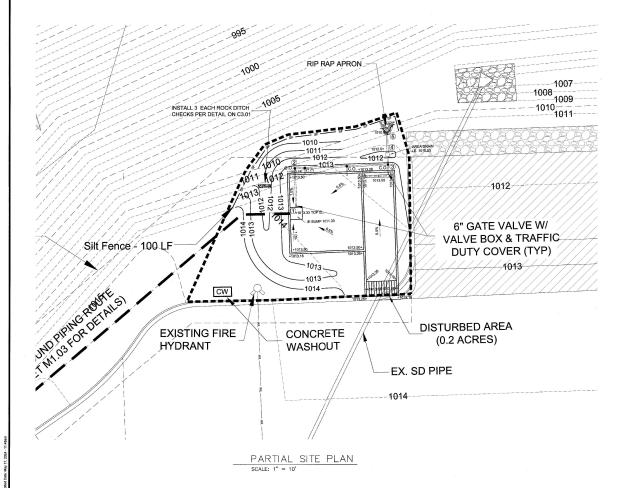
DRAWING NOT FOR CONSTRUCTION

REVIEW

FOR OWNER REVIEW 02-23-24 WE Kubota UDT OIL AND DIESEL PIPING SYSTEMS EDGERTON, KANSAS

Site Plan

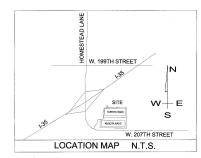
e: 02-16-2024 Approved By: JTM WDH 23032 C1.02

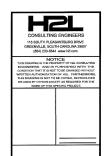


Storm Drain Schedule								
Structure	Type	Top Elev.	Invert Elev.	From	To	Length	Size (in)	Slope (%)
1	SP	1013.33	1011.33	1	2	16	6	1.00
2	co	1013.16	1011.17	2	3	37	6	1.00
3	co	1013.00	1010.80	3	4	4	6	6.67
4	AD	1011.50	1010.53	4	5	8	8	6.67
5	PE	1011.00	1010.00					

Notes:

- 1. All new pipe shall be SCH. 40 PVC.
- 2. Structures are defined as follows:
 - a. C0 Clean Out
 - b. SP Sump
 - c. AD Stormwater Area Drain
 - d. PE Pipe End





REVIEW
DRAWING
NOT FOR
CONSTRUCTION

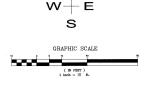




Site Grading Plan

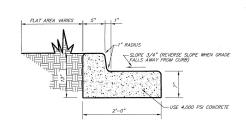
Date: 02-	16-2023	Approved By:	JTM
Drawn By:	WDH	Checked By:	JTM
Project No:		23032	

C1.03

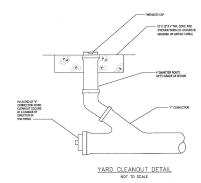


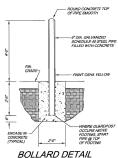
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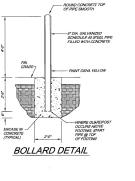
30483 30483 5-127

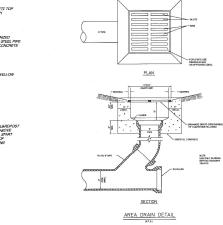


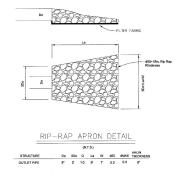
24" CONCRETE CURB & GUTTER DETAIL

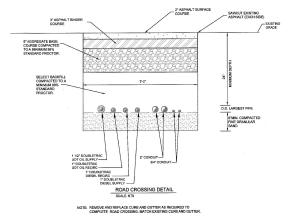












REVIEW DRAWING NOT FOR CONSTRUCTION

APPLICANT REVISIONS	04-25-24	JTM
FOR REVIEW AND APPROVAL	00-25-24	JTM
FOR OWNER REVIEW	03-21-24	WOH
FOR OWNER REVIEW	02-23-24	MCH
REVISION	DATE	Ву
	FOR REVIEW AND APPROVAL FOR OWNER REVIEW FOR OWNER REVIEW	FOR OWNER REVIEW 03-21-24 FOR OWNER REVIEW 03-23-24

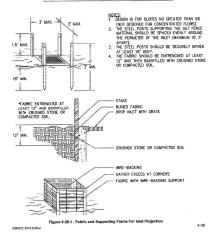
Kubota UDT OIL AND DIESEL PIPING SYSTEMS EDGERTON, KANSAS

Site Details

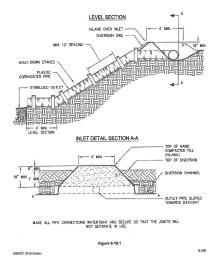
Date: 02-	16-2023	Approved By:	JTM
Drawn By:	WDH	Checked By:	JTM
Project No:		23032	
Sheet No:			

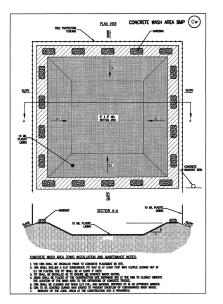
FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION

STEEL FRAME AND TYPE C SILT FENCE INSTALLATION

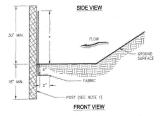


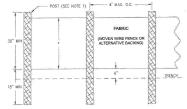
DOWNDRAIN PIPE AND INLET DETAIL





SILT FENCE - TYPE C





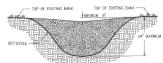
NOISS:

1. JUSE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDMENTATION, AND POLLUTION COURTED, PLAN.

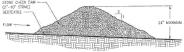
2. HIGHST (5) IS TO BE SHOWN ON THE EROSION, SEDMENTATION, AND POLLUTION CONTROL PLAN.

Figure 8-27.2

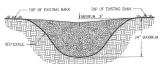
CROSS SECTION



PROFILE VIEW



STONE CHECK DAM





NOTES: 1. CHECK DAMS ARE TO BE USED <u>DNLY</u> IN SMALL OPEN CHANNELS (<u>THEY ARE NOT TO</u>



REVIEW DRAWING NOT FOR CONSTRUCTION

1	FOR REVIEW AND APPROVAL	03-25-24	JTM
A	FOR OWNER REVIEW	02-23-24	WDH
No.	REVISION	DATE	Ву

Kubota UDT OIL AND DIESEL PIPING SYSTEMS EDGERTON, KANSAS

Sediment & Erosion Control Details

WDH Checked By: JTM

Specials	Groudcar		Rusonios Alba			181										Senicks
				89	No Ele	N is	SCON CTM	e ope Isolok	e our	richt Fron	ns, di pirel	diss.	Erec S	indi	rade	
	Rate Per Acre!	Pure Live Seed (PLS) Per 1000 agil		J	F	м	۸	м	J	J	A	8	0	N	D	
SARIEY Hooward steague				1888										25516	2000	
alone	3 bu. (144 lbs)		M-L								-	H	-	-		14,000 seed per pound. Winter hardy. Use
In mixture	1/2 bu. (24bs)	0.8 lb	P								-	1		1	-	on productive soile.
PHINK NAMES OF TAXABLE	SUPERIOR S	estabello con	C	ber	200	200	553	es.	m			100	863	810	BES	
LESPEDEZA ANNUAL Leggi Arra attalà																
alone	40 lbs	0.9 15	ML		-		-	1	1	1				1	1	200,000 seed per pound. May volunteer for sey-
in mixture	10 lbs	0.2 b	P			H		1							١.	oral years. Use inoculant EL.
		- Microsophus	C	-	-		L		_	_	_	-	_	L	1	Commence of the Commence of th
E MODERASS WEEPING									羅						闘	
alone	4 fize	0.1 lb	M-L	ŀ		-	H	۰	†-					1		1,500,000 seed per pound. May lest for several
in midure	2 los	0.05 lb	P	1	1	-	-	t	+			1	1			years. Mix with Serioss Isspectize.
MULET RECONSTOR	AND RESIDENCE		C HISBURIE	1	100	-	1680	400	-	SESE	tos	ь	100	200	200	
Pareson from the state				騆	鼺	腦	臨	颛		脳	籂	輟	翻	翻	聯	
alone	40 bs	0.9 lb	M-L					H	+	1	1	1		1	1	137,000 seed par pound. Quick dense gover.
in mixture	10 lbs	0.2 lb	C							F						Will provide excessive competion in mixtures if seeded at high rate.
			_	١.	L.	L	L	1	١	L	1	L	L.	Ŀ.	L	1

Special	Eroaden	st Rates	Resource: Area					Dat								Remarke
				305	id dis	N in	dicet	1000	heun e bud	des man	NE. OK STADE	Chief Ship	FWE L	inde	ale	
	Rate Per Acre*	Plate Live Seed (PLS) Per 1000 sqf		J	p	м	A	м	,	J	A	s	0	N	٥	
MILLET, PEARL fluorestate govern																
alone	50 lbs	1.1 lbs	P C				-	F								18,000 seed per pound. Culck dense cover. May reach 5 feet in height. Not recommended for relicures.
CATS Aesta aster																
atone in mixture	4 bu. (128 lbs) 1 bu. (32 lbs)	2.9 lbs 0.7 lb	M-L P C						-							13,000 seed per pound. Use on productive solls. Not as a winter hardy as rye or barley.
RYE Succession controls	3 bu (168 bs	398s	MI		10000	HING.	1000			1	1	1				
in mixture	1/2 bu. (28 lbs		P	-				-	-	The same of the sa	-	-			-	18,000 seed per pound, Quick cover. Drought blerant and winter hardy.
BYECHASS ANNUAL LOSS BY	40 Ite	0815	MIN MIN		1000		1			1000				1882		
			P	-	-	1	3				-	-	F	F		227,003 seed per pound. Dense cover, Very com- patitive and is not to be used in mixtures.
EUDANGRASS Sughan Audionsa	60 bs		Mal							1						
			P	-			-	-	+		-	-				55,000 seed per pound. Good on droughly situs. http://www.meeded.for.mich.ms.

Species	Broadcast Ra	les	Resource Area	脛									AX			Remark
	Rate Per Acrel	Pare Live Seed (PLS) Per 1000 ant		30 J	i	ľ	Pecco	M cet	but	man	l l	clate	O O			
RITICALE -Ridosessio			G				ń				(A)	1000	M		THE C	
n mixture	3 bu. (144 lbs) 1/2 bu. (24 lbs)		C										T	0.00		Use on lower part of Southern Cossiel Plain and in Allamic Cossiel Flatwoods only.
MEAT door westrory	3 bu (180 lbs)	4.1 its	M-L	翻							1000	1000			1000	
n mixture	1/2 bu. (30 lbs)		P C										-			15,000 seed per pound. Whiter hardy.

	Table 6-5.1. Fortilizer Requirements											
TYPE OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N.P.K.	RATE	TOP DRESSING BATE								
		6.12.12	1500 No. Art.	90-100 by (sc. 1/2)								
1. Cool sesson	First Second	6-12-12 8-12-12	1000 (BA/A)									
grasses	Maintenance	10,10,10	400 (pe/80.	30								
	1			0.50 lbs/sc 1/								
2. Cool season	First	6-12-12	1500 lbs:/ac.									
process and	Second	0-10-10	1000 fbs./ac.									
logumen	Maintenar	0-10-10	400 lbs/lac.	-								
3. Ground covers	Fret	10,10,10	1300 (bs/sc. 3/	_								
Y Groting roses	Second	10,10,10	1300 lbs./ac. 3/									
	Maintenence	10-10-10	1100 fps/sc.	_								
4. Pine seedings	First	20-10-6	one 21-gram petet per seeding placed in the closing hole	-								
5. Shrub Lespedoza	First	0.40-40	700 (bs./ac.	_								
p. ortus oseponies	Maircanasco	0-10-10	700 lbs./bs. 4/	-								
6. Temporary cover crops seeded alone	First	10-10-15	500 lbs /ec.	30 (bsLfac: 5/								
7. When season	First	6-12-12	1500 lbs./ac.	50-100 lbs/sc. 2/5								
masses	Second	6-12-12	800 Resilec	50-100 lbs /sc. 2/								
	Maintenance	10-10-10	400 lbs.lsc.	30 lbs./ac.								
8. Warm season	First	6-12-12	1500 bs /sc.	60 lbs.lac./II/								
grasses and	Second	0-10-10	1000 bs./ec.									
lacumen	Mairreontce	0-10-10	400 lbs./ac.									

Noon II	Broade tel Pates	Mejauroo 4no			Nur		No.	e 55		904	500	tre			Remedia
			50	wa	***	**	r cpri	mure but	den.	, de	de la	ines.	indic	de	
	Pure Live Seed (PLS) Rate Per Acref Per 1000 apt		,	F				,			П		N	D	
BERMUDA SPRIGE Chromat destylat			嗣									ii.		腿	
Countal, Common, Midland, or Tri 44	40 cu ft C.R.cu ft or sod plugs 3"x3"	ML							-					1	A cubic fact contains approximately sprigs. A bushel contains 1.25 cubic approximately 800 springs.
Contrat, Common, of Tift 44		c	E	E			=		=		-		H		Gerne as above.
TR 78		c	-	H	-	H		-		Н	Ŀ	-	Ŀ	-	Southern Coastal Plain only
CENTRADA Controllor controllo														双线组	
Manual Company of the	Block soci only	P	Е		-			П			Г			E	
			-												Drought tolerant. Full sun or partial Effective adjacent to concrete and a (entrated flow sease. Intigation is ne until fully established. Do not plant, postures. Winterhardy as far as no Pithers and Atlanta.
CROWN/ETECH Corottal colo						H	100	題			808	1000			
with winter annuals or cool		M4.	-								and the same of the same of				500,000 seed per pound. Dense gr Drought tolerant and fire redistant, cose, pink and white blossoms spri fait. Mix with 50 pounds of Tall fise locards of now. Incomission see with

State(8)	Projection P		Resource Alma		9	not a	» B	wres	by	Bos	0.0		re:		HIS SHE	Blomera
		1		Sed	ld fine	to ded		opties					lees	inde	160	
		Pure Live last (PLS) or 1000 agit		J	F	м	A	м.	,	,	A .	В	0	N	D	
Landra DEZA Ambro vigilis Landra vigilis DE											1					
or Appalore Largenteca correcte (Dustanti G. Dom)												STATE OF STREET				
scarlied	60 bs	1416	M-L P C								-	-				500,000 seed per pound. Height of growth in 18 to 24 inches. Advantageous in urban an- ses. Spreading-type growth. New growth in bronze coloration. Mix with weeping loveg- tess, common bermude, bable tell feecus
unscarified	75 lbs	1.7 b	M-L P C		F		-	-	-	+	+	-	-	-		or winter annuals. Do not mix with Sericea (espedeza, Slow to develop solid stands, (noculate seed with EL inpoulant
LES PELICZA, SHRUB Codynatics become Codynatics fauntoria																
	4,00,000,000		M-L P	E	E			T	1	1	1					
DIVERSALS MEEPING SAMPOSTS CONTAIN	3 13		c								100	1000	1000		1000	Provide wildlife food and cover.
alone with other perennials	4 lbs	0.1 lb	M-L P	Г												1,500,000 esed per pound. Quick cover. Drought tolerant. Grows well with Seriosa lappedeza on roadbanks.

Table 6-5.2- Permanent Cove																
PLANT, PLANTING RATE, A	ND PLANTING D		RESCUEDE Areas	925		R'	9	Cate	e t	y Re		2	Age			Bushits 1
				50	ki Jin	es ho	Acete entid	ops leike	bot.	deta	a, et	ifed Side	ines s	holic	ate	
	Rate Per Acres	Pure Live Seed (PLS) Per 1000 agil		J	p	м	A	м	,	J	A	s	0	N	D	
MAIDENCARE Parksin homborica																
sorigs	2' x 3' specing	ALL														For very wet sites. May clog channels. Dig sprigs from local sources. Use along river banks and sitorelines.
PANECIPASS ATLANTIC COMBAN Panecip ordulate var Atlantiches																
4940.454	20 lbs	0.5 lb	P			685	160		Pess	200	825	61	100	-	1	Grows well on coastal sand dunes, borrow areas, and graval pits. Provides winter cover for wildlife. Mix with Seriosa lespedeza except on gand dunes.
PERD CAMARY GRASSI PASING A TRANSPORT	200 E.S											120		觀		
alone	50 lbs	1.1 lb	M-L					1		1	-	-	+	1	l	
with other parterials SUNFLOVIER: AZTEC MAX NO FIAN Reparting movement	30 tos	9.7 tb	P			51124	HERM		1888 N			STATE OF			134801	Grows similar to Tail fescue
1 Reduce seeding rates b	10 lbs	021b	M-L P C											-		227,000 seed per pound. Mix with Weeping ovegrass or other low-greoing greases or legumes.
1 Reduce seeding rates of			-													

60 bs 1.1b ML 277 PP 200 bs Short Sh



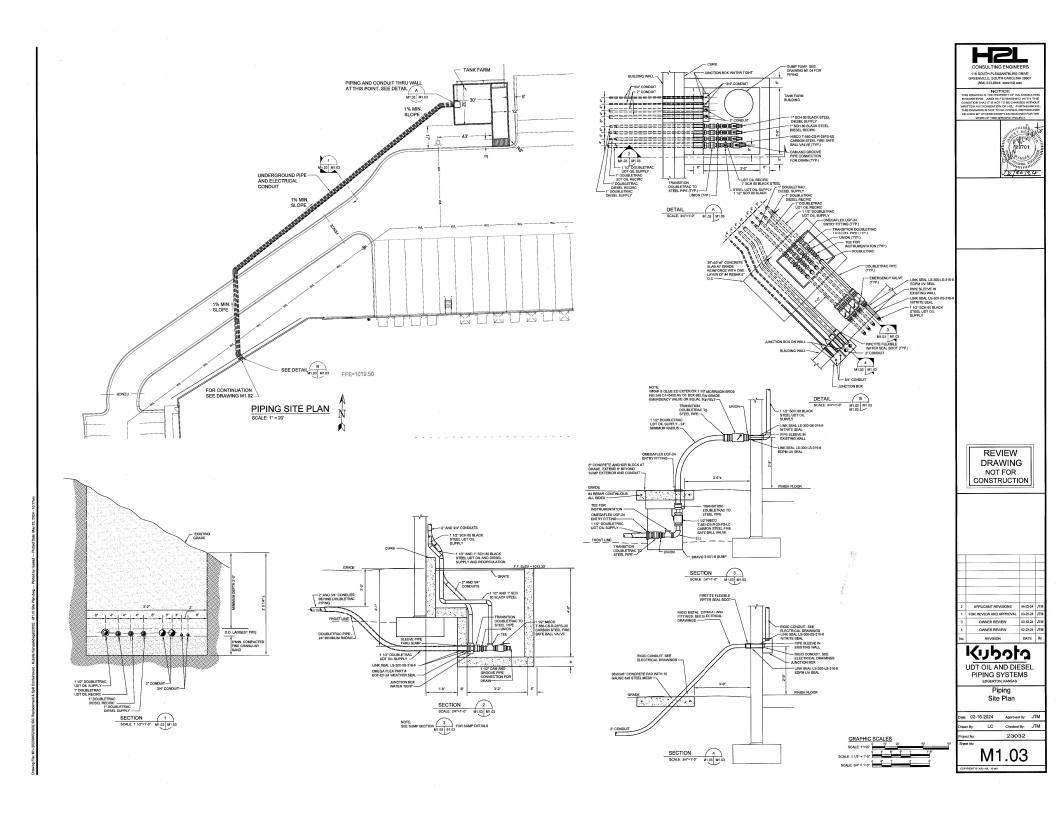
REVIEW DRAWING NOT FOR CONSTRUCTION

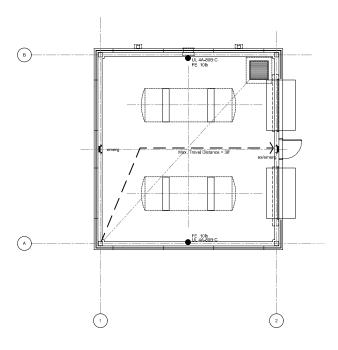
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FOR REVIEW AND APPROVAL	03-25-24	JTM
FOR OWNER REVIEW	02-23-24	WOH
REVISION	DATE	Ву

Kubota UDT OIL AND DIESEL PIPING SYSTEMS EDGERTON, KANSAS

Grassing Specifications

mm By: WDH Checked By: JTM 23032







CODE SUMMARY

Work of this Project has been designed in conformance with the following Codes:

2006 International Building Code

2006 International Fire Code

2006 International Mechanical Code

2006 International Plumbing Code 2006 International Fuel Gas Code

2006 International Energy Code 2005 National Electrical Code ICC/ANSI A117.1-2017

NFPA 101 Life Safety Code

LISE / OCCUPANCY CLASSIFICATION

This Project - H3

SPECIAL REQUIREMENTS Section 415

HEIGHT / AREA LIMITS

Height Allowable = 55' This Building = 18'

Allowable Number of Stories = 2 This Project = 1 story

Allowable Area = 14,000 sq.ft. This Project = 1,024 sq.ft.

CONSTRUCTION TYPE

Table 601 - Protection of Building Elements This Project - Type II-B Construction

FIRE RATED CONSTRUCTION

N/A

INTERIOR FINISHES

This Project - Table 803.13

FIRE PROTECTION SYSTEMS

This Project - Section 903.3.1.1

NFPA 13 throughout - SYSTEM DESIGN BY OTHERS

This Project - Section 906 FIRE EXTINGUISHERS
See Lifesafety Plan for location of UL 4A-80B:C 10lb.extinguishers

This Project - Section 907 ALARM AND DETECTION SYSTEMS See Section 907.5 Integrate with Owner's existing system

MEANS OF EGRESS

This Project - Table 1004.5

This Project = 38'

1,024 sq.ft / 500 sq.ft. per Occupant = 3 total occupants

This Project - Section 1005 Egress Sizing 3 x . 2 = 0.6 inches required - 34" provide This Project - Section 1006 Number of Exits

This Project - One exit provided This Project - Maximum Travel Distance

H3 w/ sprinkler system = 250°

This Project - Section 1104 Accessible Route Provided (See Sheet C1)

GENERAL NOTES:

Unless noted otherwise, all work shall conform to the minimum standards of the Codes as listed in the Code Summary. The common provisions included on Sheet A.001 shall apply to all work shown or specified herein.

2. All work shall comply with ADA Accessibility Guidelines and Chapter 11 of the Code.

3. All permits, licenses and utility connections shall be paid by the Owner and coordinated by the Contractor

Discrepancies between existing conditions and the Documents shall be brought to the attention of the Architect/Engineer. Clarifications will be issued in written or drawing formatting.

Unless noted otherwise, dimensions indicated on the Drawings are from face to face or from structural centerlines to structural centerlines.

6. All materials shall be installed in strict accordance with the manufacturer's specifications or recomme

7. The Contractor shall submit shop drawings, product data sheets, or physical samples where specified. All submittals not bearing the Contractor's "Approved for Use on This Project" seal, or similar recognition, shall be returned. The Contractor is responsible for confirming the means, methods, techniques, and safety precautions for all submittals.

8. The Contractor shall guarantee all work as outlined in the Owner - Contractor Agreement.

9. Any Contractor requested changes to Project cost or schedule shall not take effect until reviewed and approved in writing by the Owner

10. Any concealed wood blocking shall be fire retardant and treated for resistance to moisture damage.

11. The Contractor shall coordinate the keying of all locks on this Project with the Owner's existing keying system. 12. All doors identified as EXIT shall freely open in the direction of exit travel without any special key or knowledge.

13. All surfaces designated to receive finishes shall be properly prepared to receive each finish. Beginning of finish application indicates the Contractor's acceptance of the substrate.

14. All wall penetrations shall be sealed (both sides) with backer rod properly sized for the opening and sealant. 15. Confirm final location and type of all fire extinguishers with the Owner's Building Department and/or Fire Marshall.

16. Coordinate type and location of building signage with the Owner's Building Department.

SPECIFICATIONS

DIVISION 6 - WOODS and PLASTICS

ROUGH CARPENTRY

LUMBER: S4S with 19% maximum moisture content

Materials for blocking and naliers shall be rated as stud or No.3, or better. Plywood shall be Exposure 1 CD with thickness as indicated on Drawings.

PRESERVATIVE TREATED LUMBER - APWA C2 lumber or APWA C9 plywood

Provide treated lumber at locations as follows: Roofing and flashing applications, in contact with concrete or masonry, and for any framing located less than 18" above floor

FIRE RETARDANT LUMBER: APWA C20 lumber or APWA C27 plywood

Provide fire retardant lumber at locations as follows: Telephone and equipment backer boards

MISCELLANEOUS PRODUCTS

Fasteners exposed to weather, ground or damp conditions shall be galvanized Fasteners expused to weather, ground or damp conductors shall be greaterers used in treated jumber materials shall be stainless steel.

Fasteners size shall be as indicated in the Code for each application

INSTALLATION

Install rough carpentry materials level, plumb, and true to lines. Cut and fit for each application Prior to installation, visually inspect all lumber for defects. Discard materials that would limit strength or proper installation.

Coordinate and install all concealed blocking with all other trades and divisions of work

DIVISION 7 - THERMAL and MOISTURE PROTECTION

BUILDING INSULATION

SUBMITTALS: Product Data Sheets for each type of insulation SURFACE BURNING: Less than 25 Flame Spread - Less than 50 Smoke Develop Index at exposed areas.

INSULATION MATERIALS: Type II Class A mineral fiber made from glass stag or rock woo INSULATION MATERIALS: Tilt-Up Concrete Panels - 1" rigid, Polvisocyanurate Board, ASTM 1289 INSTALLATION

Fill tilt-up panel joints tightly with mineral fiber, loose insulation. Allow space for backer and sealant on both sides. Install rigid insulation boards in the interior of concrete, tilt-up panels as indicated on the Drawings.

THERMOPLASTIC POLYOLEFIN (TPO) ROOFING

SUBMITTALS: Product Data Sheets for ALL materials including shop drawings for tapered insulation. EXTERIOR FIRE TEST: ASTM E108 - Class B WARRANTES: Manufacturer's standard written warranty (with no dollar limit) signed by the manufacturer to repair leaks due to defects in materials and/or workmanship for a period of fifteen (15) years from the data of Substantial

ROOFING MATERIALS:

TPO sheets - ASTM 6872, Type II, Scrim or fabric internally reinforced, 45 mils thick minimum of 8' wide, white in color, with minimum solar reflectance of 78.

AUXILARY MATERIALS:

Vertical Sheet Flashing - 60mils, color to match TPO panels.

Bonding Adhesive - As recommended by the TPO manufacturer

Sealers, cones, vent flashing, formed corners termination reglets, fasteners, and other components as required by the manufacturer for a complete, warranted, weather tight installation.

ROOF INSULATION:

INVALIDIT.

Phyliocoparurate rigid board insulation: ASTM C1289, Type II. Provide R values as indicated on Drawings.

Furnish noding insulation board materials that are acceptable to the TPO membrane supplier.

Furnish contins, bigers and other special shapes as indicated on the drawings or required by the TPO manufacturer.

Fainciate larger at 38° per foot to match for dispose.

INSTALLATION

All insulation and roofing materials shall be installed only by tradespersons trained in the installation of the manufacturer's specific provided materials.

Mechanically attach each layer of insulation to metal decking. Stagger insulation board layer joints in both directions Mechanically attach the TPO membrane in strict accordance with the manufacture's specifications to provide a fully warranted, weather tight installation.

Thermally bond TPO sheets as specified by the roofing system manufacturer

Fabricate thru wall scupper as specimed by the rooming system maintenders. Fabricate thru wall scupper openings in accordance with the manufacturer's preferred system. Install thru the roof penetration components in accordance with the manufacturer's specification:

SHEETMETAL and FLASHINGS

SUBMITTALS: Product Data Color Samples, Shop Drawings indicating dimensions, joint details, connection details, and confirmation of conformance with ANSI-ESPR1.

FABRICATION STANDARDS: All work shall comply with SMACNA's "Architectural Sheetmetal Manual" COORDINATION: Coordinate all work of this Section with the work of other Divisions to provide a leakproof and

SPECIFICATIONS

(Continued from below)

SHEETMETAL and FLASHINGS (Continued)

SHEETMETAL MATERIALS: Two-coat, fluoropolymer coating system complying with AAMA 2604. Material gauge shall be as indicated or appropriate for each application.

ACCESSORIES

Butyl Sealant: ASTM C 1311 solvent release type for joints with limited movement

Asphalt Mastic: SSPC Paint 12, solvent free, asbestos free. Roofing Cement: ASTM D 4586 Type 1 Asphalt based, asbestos free.

Slip Sheet: Resin-sized paper (3lb / square)

INSTALLATION

All sheetmetal materials shall be fabricated and installed only by tradespersons trained in the installation of the specific provided materials

All work shall comply with SMACNA's "Architectural Sheetmetal Manual". Allow for thermal and non-thermal expansion and when possible, provide concealed fasteners.

Separate all non-compatible or corrosive surfaces with asphalt mastic or other permanent physical separation

DIVISION 8 - DOORS and WINDOWS

STEEL DOORS AND FRAMES

SUBMITTALS: Product Data and Hardware Schedule including door size, frame sizes, and mounting details

STEEL DOORS: Level 3, Extra-Heavy duty performance, 1 3/4" thick, insulated, and prepared for specified hardware. Reinforce all locations of surface applied hardware.

Provide tempered, safety plass in doors as indicated on drawings

Provide doors factory primed for exterior exposure and ready for finished painting. Door construction shall be in accordance with NAHMMA spedifications

STEEL FRAMES:

ANSI A250.8 with concealed fasteners; 16 ga; A60 galvanized. Fabricate frame to accept all specified hardware. Provide frames factory primed for exterior exposure and ready for finished painting.

Frame construction shall be in accordance with NAHMMA spedification:

INSTALLATION

Frames shall comply with SDI 105: Doors shall comply with SDI 122 and ANSI/DHI A 115.1G

HARDWARE:

SUBMITTALS: Product Data and Hardware Schedule including door size, frame sizes, and mounting details.

ACCEPTABLE MANUFACTURERS:

Hinges: Hager or equivalent - Stainless Steel with non-removable pins - 3 per door Locksets: Confirm Owner's existing lockset manufacturer and match existing. Coordinate keying with Owner's existing

Closer: LCN or equivalent. Interior, top jamb mounted with hold-open. High frequency operation rated.

Hardware Finishes: Match Owner's existing, exterior door hardware finish.

Weatherstripping: Aluminum, securely surface applied with rubber bulb

ROLLING DOORS SUBMITTALS: Product Data and door size frame configuration, and installation details

ACCEPTABLE MANUFACTURERS:

Threshold: Aluminum, low height.

Cornell (or equivalent) "THERMISER" ESD 20, insulated roll up door, manual operation, face mounted

MATERIALS: 24ga/24ga ASTM A 653 galv, steel slat curtain, Grade 40. Galvanex exterior and interior coating selected from manufacturer's standard color offerings. Closed cell foam insulation (7/8") throughout curtain. 24ga. galv. steel hood with standard Galvanex coating selection from standard color offerings. Guides shall be hot dipped galvanized

INSTALLATION: Install roll up door in accordance with the manufacturer's specifications

END OF DIVISION 8

DIVISION 9 - FINISHES

SUBMITTALS: Product Data Sheets, (3) applied color samples for Owner approval prior to final application PRODUCTS: Exterior surface only - concrete tilt up panels. (1) Sherwin-Williams (SW) "Loxon" color matched primer. (2) SW "Ultracrete", medium texture over entire building. Two separate color selections as indicated on Drawings.

PRODUCTS: Interior/Exterior ferrous surfaces only, (1) SW rust inhibitive primer. (2) Two coats SW Pro Industrial water based alkyd urethane.

INSTALLATION: Provide coats as required to obtain full and complete coverage with no areas of visible, substrate show through. Apply all products using the coverage rate and processes approve by the material manufacturer.

END OF DIVISION 9

DIVISION 10 - SPECIALTIES

FIRE EXTINGUISHERS

SUBMITTALS: Product Data Sheets, mounting instructions, maintenance instructions

PRODUCTS: Reference Drawings for location of all fire extinguishers END OF DIVISION 10



NOTICE ORK OF THIS SPECIFIC PROJECT



REVISION DATE

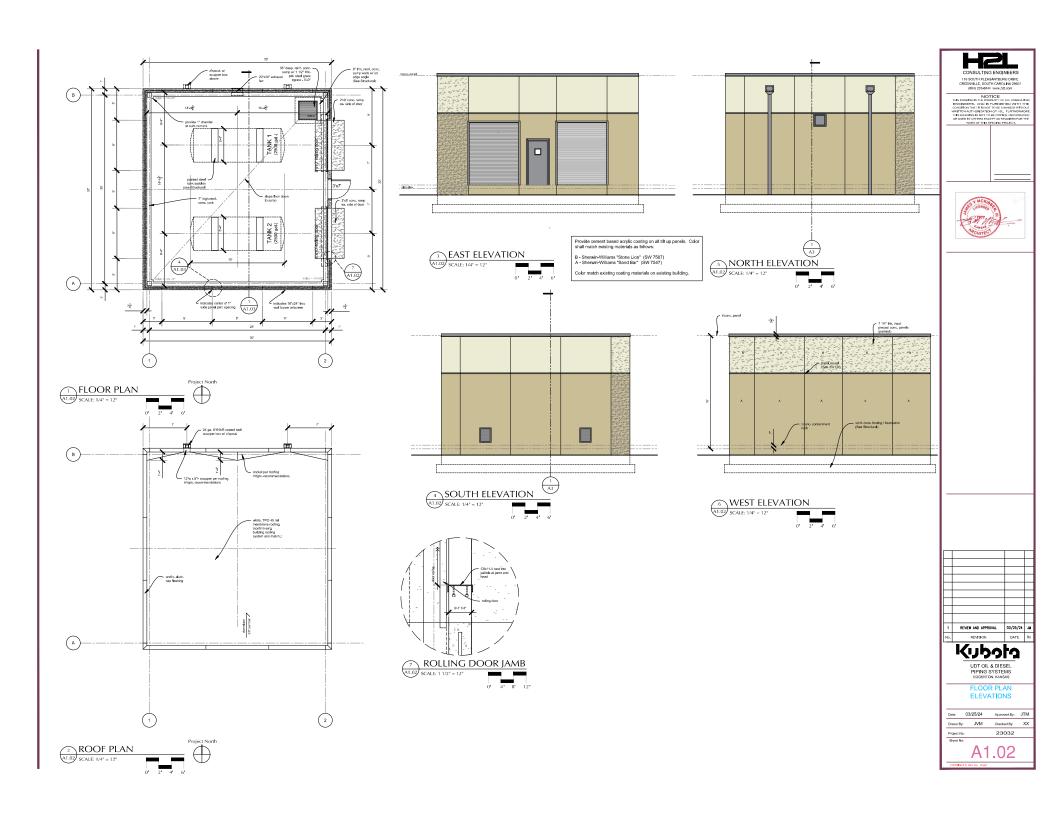
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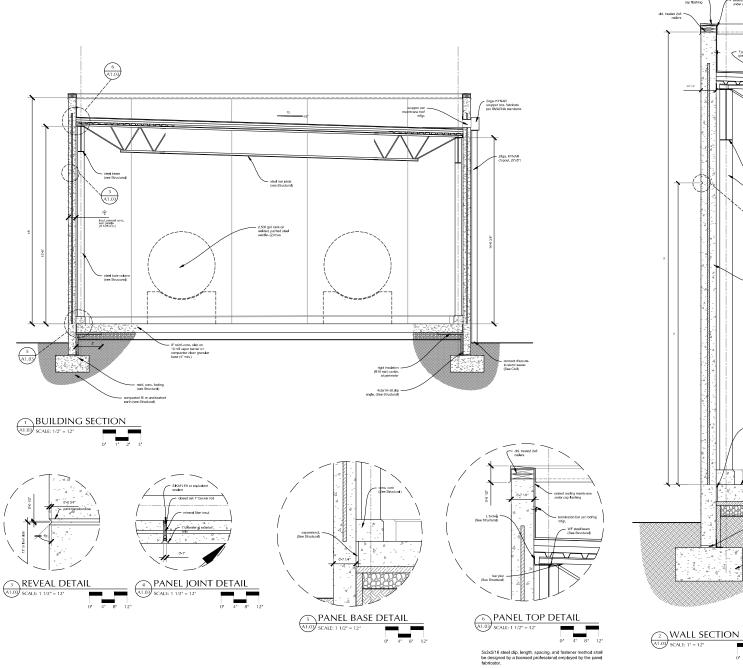
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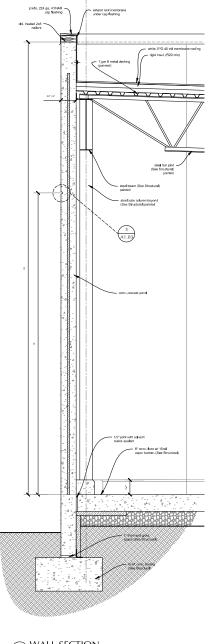
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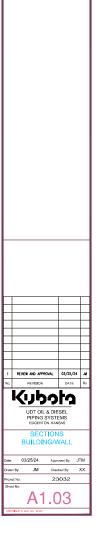
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Steel angle shall be primed and ready for finished paint.





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