

**EDGERTON PLANNING COMMISSION
SPECIAL SESSION MEETING AGENDA
EDGERTON CITY HALL - 404 EAST NELSON STREET
November 18, 2025
7:00 P.M.**

The City of Edgerton encourages public participation in local governance issues. To facilitate an efficient and effective meeting, persons wishing to address the Planning Commission must sign-up before the meeting begins. During public hearings, comments must be limited to three (3) minutes per speaker. The maximum time limit for all speakers during each public hearing will be one (1) hour.

The chair may modify these provisions, as necessary. Speakers should state their name and address and then make comments that pertain to the public hearing item.

The chair may limit any unnecessary, off-topic, or redundant comments or presentations. Speakers should address their comments to Planning Commission members only and should not speak to fellow audience members. Commission members will not engage in a dialogue or debate with speakers. Speakers and audience members should conduct themselves in a civil and respectful manner. Disruptive conduct may result in removal from the meeting.

Call to Order

1. **Roll Call** _____ Draskovich _____ Mathos _____ Little _____ Mueller _____ Soemer
2. **Welcome**
3. **Pledge of Allegiance**

Consent Agenda (*Consent Agenda items will be acted upon by one motion unless a Planning Commissioner requests an item be removed for discussion and separate action.*)

4. Minutes from the October 14, 2025 Planning Commission Meeting.
5. Final Plat FP2025-0001 Replat of Lot 26A and Tract E-1 of Dwyer Farms Phase 1.

Regular Agenda

6. **Declaration.** At this time, Planning Commission members may declare any conflict or communication they have that might influence their ability to impartially consider the agenda items.

Business Requiring Action

New Business

7. **FSP2025-0002: REVISED FINAL SITE PLAN FOR INLAND PORT XXXII LOCATED AT 31450 W. 196th STREET**
 - a. Presentation from Patrick Cassity, representative for Revised Final Site Plan Application FSP2025-0002

- b. Presentation from City Staff for Revised Final Site Plan Application FSP2025-0002
- c. Public Hearing for Revised Final Site Plan Application FSP2025-0002
- d. Discussion of Revised Final Site Plan Application FSP2025-0002
- e. Consideration of Revised Final Site Plan Application FSP2025-0002

8. UDCA2025-0002: AMENDMENTS TO ARTICLE 6, PLANNED UNIT DEVELOPMENT DISTRICT, OF THE CITY OF EDGERTON UNIFIED DEVELOPMENT CODE – STAFF REQUESTS THIS ITEM BE CONTINUED TO THE DECEMBER 9, 2025 MEETING

- a. Discussion of Unified Development Code Amendment Application UDCA2025-0002
- b. Consideration of Continuing Unified Development Code Amendment Application UDCA2025-0002

9. Future Meeting Reminders

- December 9, 2025 at 7:00 PM – Regular Session
- January 13, 2026 at 7:00 PM – Regular Session
- February 10, 2026 at 7:00 PM – Regular Session

10. Announcements

11. Adjourn

**PLANNING COMMISSION
October 14, 2025 Minutes**

A regular session of the Edgerton Planning Commission (the Commission) was held in the Edgerton City Hall, 404 E. Nelson Street, Edgerton, Kansas on October 14, 2025. The meeting was convened when Chair Tina Mathos called the meeting to order at 7:00 PM.

1. ROLL CALL

Jeremy Little	present
Tina Mathos	present
Adam Draskovich	absent
Ray Soemer	present
Jordyn Mueller	present

With a quorum present, the meeting commenced.

Staff in attendance: Zachary Moore, Development Services Director
Kara Banks, Assistant to the City Administrator

2. **WELCOME** Chair Mathos welcomed all in attendance to the meeting.
3. **PLEDGE OF ALLEGIANCE** All present participated in the Pledge of Allegiance.

CONSENT AGENDA

4. Minutes from the August 12, 2025 Planning Commission Meeting.

Commissioner Mueller moved to approve the Consent Agenda. The motion was seconded by Commissioner Soemer. The Consent Agenda was approved, 4-0.

Regular Agenda

5. **Declaration.** There were no declarations made.
6. **WALK-ON:** Mr. Moore introduced an item to be added to the agenda, application **TCU2025-0003 for Temporary Restroom Facilities** at Inland Port IX at 30450 W. 183rd Street.

Mr. Moore presented the application before the Commission. He stated Lennox moved into just over three quarters of the building leaving about 240,000 square feet available for lease. The property owner has identified a possible tenant for that remaining space that is wanting to move into the space around November 1, 2025. In order to occupy the space, restroom facilities must be provided. A building permit has been submitted to construct permanent restroom facilities and a small office. The tenant is wanting access to the space prior to the construction of the permanent facilities being complete, so the property owner has applied for a Temporary Construction Use (TCU) for temporary restroom facilities. Mr. Moore explained that temporary restroom facilities have been allowed previously in Logistics Park

Kansas City. The property owner estimates construction to take roughly six (6) weeks. Therefore, City staff is recommending a deadline of upon issuance of a Certificate of Occupancy, the temporary restroom facilities will need to be removed within seven (7) days, or January 14, 2026, whichever occurs first. This will allow for a renewal of the TCU if construction is not completed in the anticipated timeline. City staff also added the stipulations that the temporary restroom facilities must be compliant with the Americans with Disability Act (ADA) with the location complying with all City adopted Codes; and all waste must be disposed of in accordance with all applicable regulations. City staff does recommend approval with the aforementioned stipulations.

Commissioner Little moved to approve application TCU2025-0003 for temporary restroom facilities at Inland Port IX with the stipulations outlined by City staff. Commissioner Mueller seconded the motion. Application TCU2025-0003 was approved with the stipulations, 4-0.

7. FUTURE MEETING REMINDERS

Chair Mathos stated that the next regular sessions are scheduled for November 12, 2025 at 7:00 PM; December 9, 2025 at 7:00 PM; and January 13, 2026 at 7:00 PM.

8. ANNOUNCEMENTS

Mr. Moore announced that a new staff member would be attending the next Planning Commission, as a new Customer Service Representative will be joining the City on October 30, 2025 and will take minutes of the meetings.

Mr. Moore also highlighted that October is National Community Planning Month and that the City has been and will continue to post videos to the City's Facebook page highlighting community planning fun facts. Mr. Moore thanked the Commissioners for their service to the City.

9. ADJOURN

Commissioner Mueller moved to adjourn the meeting. Commissioner Soemer seconded the motion. The meeting was adjourned at 7:13 PM, 4-0.

Submitted by Chris Clinton, Planning and Zoning Coordinator

REPLAT OF LOT 26A AND TRACT E OF DWYER FARMS PHASE 1

Application FP2025-0001
20889 Starside Street

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Replat of Lot 26 and Tract E of Dwyer Farms located at 20889 Starside Street.

Owner and Applicant

Justin Cox,
Agent, Kansas
LD, LLC

Existing Zoning and Land Use

The property was rezoned to City of Edgerton PUD (Planned Unit Development) District on April 14, 2022 (Ord. 2113). The property is currently vacant.

Parcel Size

0.22± acres

Staff Report Prepared by

Chris Clinton



BACKGROUND

1. Proposal

This Replat request is being made to ensure that a subdivision monument sign is fully within a common Tract. Tract E is dedicated as a Subdivision Sign and is just over 112 square feet. This proposal will increase Tract E to 243 square feet. As a result, Lot 26 will decrease from 9,487.81 square feet to 9,357 square feet and will be developed with a single-family residence. With this replat, Tract E will contain the entire existing monument sign at the northwest corner of W. 8th Street and W. 209th Street. Tract E will be owned maintained by the homeowner's association (HOA).

2. Subject Site History

The subject property was annexed on April 14, 2022 and later rezoned to the PUD (Planned Unit Development) District on August 11, 2022 under the terms and conditions of Ordinance 2113. A Conceptual Plan for the Dwyer Farms subdivision (PUD2022-01) was approved by the Governing Body on August 11, 2022 as well, under the terms and conditions of Ordinance 2114. The subject property is part of Phase 1 of the subdivision development. The Final PUD Plan/Plat for Phase 1 (PUD2023-01) was recommended for approval by the Planning Commission on June 13, 2023 and later approved by the Governing Body on June 22, 2023. On March 12, 2024, the Planning Commission approved minor changes to the previously approved development to include the signs. Figure 1 below is a photo of the sign that is currently located on the property line between Lot 26 and Tract E.



Figure 1

FINAL PLAT REVIEW

City staff has reviewed the Final Plat submittal for compliance with the requirements in Sections 13.3.G and 13.8 of the Unified Development Code (UDC). This replat proposes abandoning the existing lot line between Lot 26 and Tract E and moving the line northwest. Relocating the lot line will result in an increase of 130.82 square feet of Tract E. The replat will also rename the lot and tract to Lot 26A and Tract E. The City Engineer has recommended that utility companies review the plat for any additional easements that might be needed. The plat must meet the Johnson County Subdivision Plat requirements as well. The replat is compliant with the UDC and other City requirements.

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project and the project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
1	Final Plat	October 2025

STAFF RECOMMENDATION

City Staff recommends approval of Final Site Plan **Application FP2025-0001** *Replat of Lot26A and Tract E of Dwyer Farms Phase 1*, subject to the following stipulations:

1. The applicant must meet all requirements of Recording a Final Plat as defined in Section 13.5 of the Edgerton UDC, and all requirements of Financial Assurances as defined in Section 13.7 of the Edgerton UDC.
2. The Final Plat must comply with the Johnson County Subdivision Plat requirements prior to recording.

Note: For application FP2025-0001 the Planning Commission and the Governing Body must review and approve. The Final Plat will be presented to the Governing Body on December 11, 2025.

A Replat of Lot 26A and Tract E-1 of Dwyer Farms Phase 1 Johnson County, Kansas

DESCRIPTION:

Lot 26 and Tract E-1, Dwyer Farms, Phase I, a subdivision in the City of Edgerton, Johnson County, Kansas, according to the recorded plat thereof, more particularly described by Matthew L. Brenizer, PS-1316, September 8, 2025 as follows:

Beginning at a 1/2" reinforcing steel bar with a 1" plastic cap stamped "SMH CLS 66", hereinafter referred to as a 1/2" RSBC, found at the Northeast corner of said Lot 26, which is also the Southeast corner of Lot 25, said Dwyer Farms Phase I, thence S 01°52'21" E along the Easterly line of said Lot 26 and the Westerly right-of-way line of Edgerton Road, 57.96 feet to a 1/2" RSBC set at the Northeast corner of said Tract E, which is also a corner of said Lot 26; thence continuing along a prolongation of the previously described course, along said Westerly right-of-way line of Edgerton Road and the Easterly line of said Tract E, 22.04 feet to a 1/2" RSBC found at the Southeast corner of said Tract E and on the Northerly right-of-way line of 209th Street; thence S 88°12'30" W along the Southerly line of said Tract E and said Northerly right-of-way line of 209th Street, 22.07 feet to a 1/2" RSBC set at the Southwest corner of said Tract E, which is also a corner of said Lot 26; thence continuing along a prolongation of the previously described course, along said Southerly line of said Lot 26 and said Northerly right-of-way line of 209th Street, 97.93 feet to a 1/2" RSBC found at the Southwest corner of said Lot 26 and on the Easterly right-of-way line of Starside Street, thence N 01°52'21" W along the Easterly line of said Lot 26 and said Easterly right-of-way line of Starside Street, 80.00 feet to a 1/2" RSBC found at the Northwest corner of said Lot 26, which is also the Southwest corner of said Lot 25, thence N 88°12'30" E along the Northerly line of said Lot 26, which is also the Southerly line of said Lot 25, 120.00 feet to the point of beginning, containing 0.22 acres, subject to easements and rights-of-way of record.

OWNER'S CERTIFICATE

STATE OF KANSAS }
COUNTY OF JOHNSON } SS

The undersigned proprietors to the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as "A Replat of Lot 26A and Tract E-1 of Dwyer Farms Phase 1".

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer pipes, poles, wires, drainage facilities, irrigation systems, ditches and cables, and similar facilities, upon, over and under those areas outlined hereon and designated on this plat as "Utility Easement" is hereby granted to the City of Edgerton, Kansas with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for said purposes. Utility easements shall be clear of obstructions that impair the strength or interfere with the use and/or maintenance of public utilities located with the easement.

The undersigned proprietors of the above described land hereby consent and agree that a license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance of an entry feature type sign on Tract E-1 is hereby granted.

The undersigned proprietors of the above described land hereby consent and agree that the Board of County Commissioners of Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public uses and thoroughfares, or parts thereof, for public use from the lien and effect of any special assessments, and that the amount of the unpaid special assessments on such land dedicated shall become and remain a lien on the remainder of this land fronting and abutting on such dedicated public ways or thoroughfares.

The undersigned proprietors of said property shown on this plat do hereby dedicate for public use and public ways and thoroughfares, all parcels, and parts of land indicated on said plat as streets, terraces, places, roads, drives, lanes, avenues, and alleys not heretofore dedicated. Where prior easement rights have been granted to any person, utility, or corporation on said parts of the land so dedicated, and any pipes and wires, conduits, ditches, or cables heretofore installed proposed improvements as now set forth, the undersigned proprietors hereby assent and agree to indemnify the City of Edgerton from any expense incurred to the relocation of any such existing utility installations within said prior easement.

Given under my hand at _____, Kansas this _____ day of _____, 2025.
Kansas LD, LLC.

Scott A. Peters, Resident Agent

NOTARY CERTIFICATE

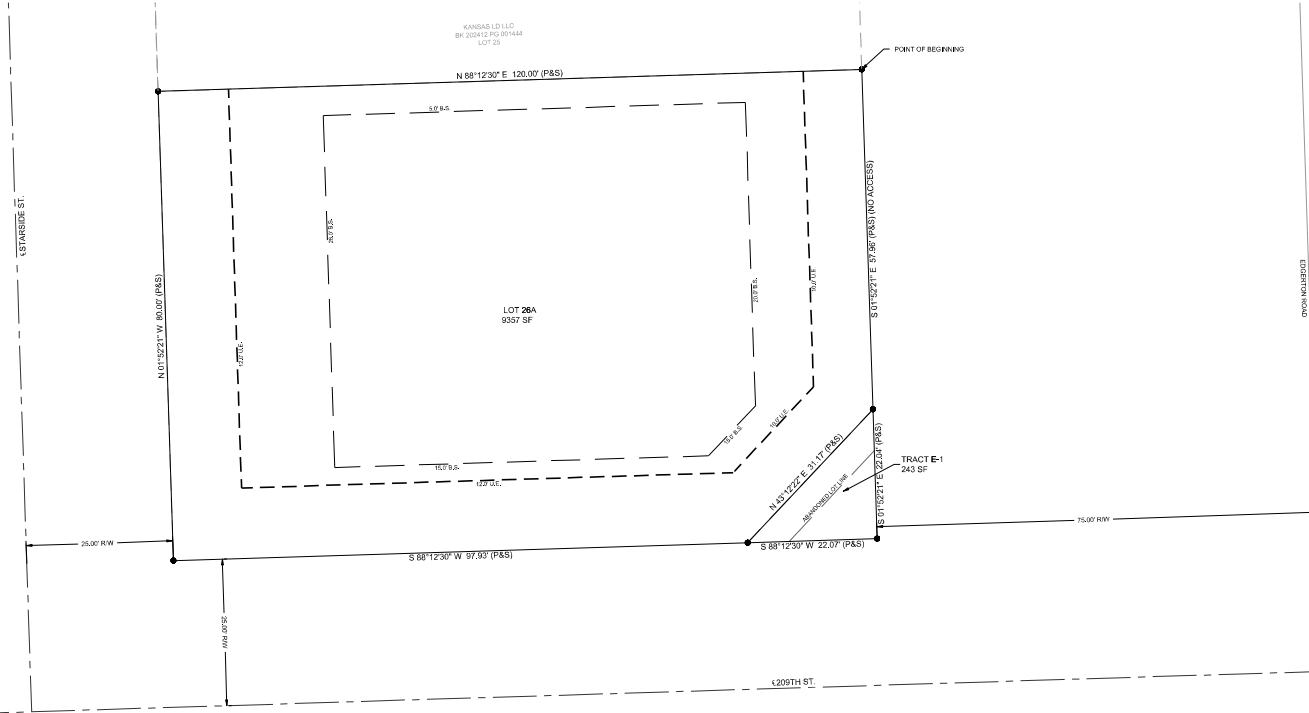
STATE OF KANSAS }
COUNTY OF JOHNSON } SS

BE IT REMEMBERED, that on this _____ day of _____, 2025, before me, the undersigned, a notary public in and for the County and State aforesaid, came _____, this _____ day of _____, 2025.
Scott A. Peters, Resident Agent of Kansas LD, LLC.

who is personally known to me to be the same person who executed the within instrument of writing, and such person duly acknowledged the execution of the same for himself and the use and purposes herein set forth.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Notarial Seal on the day and year last above written.

Notary Public
My Commission Expires: _____



CERTIFICATE OF THE ZONING ADMINISTRATOR

STATE OF KANSAS }
COUNTY OF JOHNSON } SS

APPROVED BY, the Zoning Administrator of the City of Edgerton, Johnson County, Kansas, this _____ day of _____, 2025.

Zachary Moore, Zoning Administrator

CERTIFICATE OF THE REGISTER OF DEEDS

STATE OF KANSAS }
COUNTY OF JOHNSON } SS

This instrument was filed for record on the _____ day of _____, A.D. 2025, at _____ o'clock _____ M., and duly recorded in Book _____ on Page _____.

Amy Meeker-Berg, Register of Deeds

SURVEYOR'S CERTIFICATE

STATE OF KANSAS }
COUNTY OF JOHNSON } SS

I, the undersigned, do hereby certify that I am a Professional Surveyor in the State of Kansas, with experience and proficiency in land surveying; and that the heretofore described property was surveyed and subdivided by me, or under my supervision, that all subdivision regulations have been complied with in the preparation of this plat, and that all the monuments shown herein actually exist and their positions are correctly shown to the best of my knowledge and belief.

Given under my hand and seal at Mission, Kansas this _____ day of _____, A.D., 2025.

Fieldwork for this project was completed on 1-13-2023.

SMH Consultants

Matthew Lee Brenizer, P.S.



CERTIFICATE OF THE GOVERNING BODY

STATE OF KANSAS }
COUNTY OF JOHNSON } SS

APPROVED BY, the Governing Body of the City of Edgerton, Johnson County, Kansas, this _____ day of _____, 2025.

DonaM Roberts, Mayor
Dusti Callahan, City Clerk

CERTIFICATE OF THE PLANNING COMMISSION

STATE OF KANSAS }
COUNTY OF JOHNSON } SS

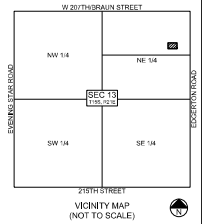
APPROVED BY, the Planning Commission of the City of Edgerton, Johnson County, Kansas, this _____ day of _____, 2025.

Tina Mathos, Chairman
Jordyn Mueller, Secretary

Reviewed in accordance with KSA 58-2005 on this _____ day of _____, 2025.

Approved: _____

License Number: _____ Date: _____



LEGEND

- 1/2" x 24" Rebar w/CL586 Cap Found or Set
- (S) Surveyed Dimension
- (P) Planned Dimension

LOT AREA	
LOT 26A	6,337 SF
TRACT E-1	243 SF

Notes:
No assessments, restrictions, reservations, methods, or other matter of record, if any, affecting the title of this property are shown, except as stated, as per agreement with the landowner.
There are no fees of possession that affect this survey.
No gaps or overruns exist.
Parent tract is recorded in Book 20210, Page 3068, Register of Deeds Office, Johnson County, Kansas.
No existing buildings are shown, as per agreement with the owners.
No building setback requirements shall be determined by the zoning ordinance unless otherwise noted.
Zoning: "R-30"
All easements shown on this plat are serviced by PUBLIC Water and/or Sewer.
Lot Area:
Building Setbacks:
Front Yard = 25.0 feet
Rear Yard = 20.0 feet
Side Yard = 5.0 feet
Corner Lot Front Yard = 28.0 feet
Corner Lot Side Yard Facing ROW = 15.0 feet
Boundary closure error of 1/774116 for Lot 26A and 1/155564 for Tract E-1.
Bearings are based on NAD-83 Kansas State Plane datum, North Zone.
Floodplain Note:
Flood Plain: Flood Zone "X", an area determined to be outside the 0.2% annual chance floodplain (FEMA FIRM (Flood Insurance Rate Map) Community Flood Number 2009-02032D, effective date, August 3, 2009).

Utility Notes:
Any utility conduits that locate facilities in any easement shall have the right to locate, remove, replace, cut and bear away any trees, limbs, vines and branches on the utility easement or on any locate area and prune and clear away any tree limbs, vines, and brush on lands adjacent to the utility easement where, in the utility company's judgment, such may interfere with or endanger the construction, operation, or maintenance of its facilities, together with the right of ingress and egress from the utility easement and contiguous lands subject to the plat for the purpose of surveying, erecting, constructing, maintaining, inspecting, rebuilding, replacing, and with or endangering the construction, operation or maintenance of said facilities.



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Drawn By: FCS Project 2412-0467 TDS #88

OCTOBER 2025

REVISED FINAL SITE PLAN FOR INLAND PORT XXXII

Application FSP2025-0002
31450 W. 196th Street

QUICK FACTS

PROJECT SUMMARY AND REQUESTED APPROVALS

The Applicant is requesting approval of a Revised Final Site Plan for 31450 W. 196th Street.

Owner and Applicant

Edgerton Land Holding Company, LLC, property owner, represented by Kevin White, Agent.

Zoning and Land Use

L-P (Logistics Park) and is currently developed with a warehouse.

Parcel Size

38.70± acres

Staff Report Prepared by

Chris Clinton



1. Proposal

This Revised Final Site Plan request is being made in preparation for the move-in of a tenant that will occupy approximately 463,435 square feet of the existing warehouse for storage space. The material that will be loaded in and out of the tenant space will be required to be brought in on lowboy trailers, which have a wider turning radius than a standard truck. Therefore, the applicant is proposing an alteration of the existing parking area to an open truck court where trucks can maneuver on the northeast corner of the property. The median dividing the drive lane and parking lot and landscaping areas to define drive aisles will be removed. Along with the changes to the parking area, two additional overhead doors are proposed to be added to the northeast corner of the building where trucks can enter and leave the building.

2. Subject Site History

The subject property was annexed into the City on March 27, 2014 (Ordinance No. 969). The subject property was later rezoned to *L-P, Logistics Park* District on December 11, 2017 under the terms of Ordinance No. 986. The Planning Commission later approved Preliminary Plat PP-10-08-14 on November 4, 2014 and Preliminary Site Plan PS-10-08-14 on March 10, 2015. Final Plat FP2016-01 was approved by the Governing Body on April 14, 2016 and showed three (3) lots and one (1) tract. Each lot would later be developed with a warehouse. Final Site Plan FS2016-02 was approved for Inland Port XXXII on March 8, 2016. The site was developed under the requirements set forth by Final Site Plan FS2016-02.

3. Zoning and Development Requirements

A. Parking and Traffic

The proposed improvements alter the amount of parking available on the subject property. Final Site Plan FS2016-02 was approved with a total of 421 vehicular parking spaces with nine (9) Americans with Disability Act (ADA) compliant stalls. The site was developed 337 vehicular spaces. This proposal will reduce the number of vehicular parking spaces to 222 with eight (8) being ADA compliant. Article 5 of the Unified Development Code (UDC) allows a parking study to be submitted showing the number of provided stalls will be adequate for the development. The provided parking memorandum states that the maximum number of employees for this tenant will be 15. The proposed number of stalls vastly outnumbers the maximum workforce of the tenant. The number of provided ADA compliant stalls meets the requirements as well.

There is a private drive north of the parking lot that currently exists on site. This application proposes to remove about half of that drive. The drive is instrumental in keeping vehicular and truck traffic separate as well as allowing emergency access complete around the building. The applicant has shown where the drive will remain existing to allow access to the west and south areas of the building. Where the proposed maneuvering pad is, the applicant has proposed double yellow striping and "Do Not Enter" signs facing both the parking lot and maneuvering pad. In discussions with Johnson County Fire District No. 1, this solution is acceptable if the signs are installed on removable posts. Inspections will be done during construction to ensure emergency access is possible.

B. Landscaping

If approved, this proposal would remove parking islands that include landscaping. In total, 18 trees would be removed. The applicant is proposing to replace all 18 trees and all of

the shrubs that will be removed. The trees will be relocated throughout the northern side of the building. City staff is supportive of the relocation of the landscaping.

C. Architecture

The applicant is proposing two (2) new overhead doors on the north façade of the building. These new doors are to be 22 feet by 22 feet to accommodate lowboy trailers and the loads. For reference, the drive-in doors on the east and west façades are 16 feet in height by 14 feet wide and the dock doors are 9.5 feet in height by 7.25 feet wide. The dock doors do have paddings on the sides and leveling units under them to make it easier to load and unload the trailers. There are no proposed changes to the drive-in doors or the dock doors on the east or west façades. The new doors will require removal of windows on the northeast corner of the building. There are no changes to any articulation proposed. While having overhead doors on the short sides of a warehouse is uncommon, it does meet the requirements of the UDC.

NOTICE OF CITY CODES AND PERMITS

The Applicant is subject to all applicable City codes – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable local, State, and Federal laws.

Various permits may be required in order to complete this project. Please contact the Building Codes Division of the Community Development Department for more information about City permits. The project may also be subject to obtaining permits and/or approvals from other local, County, State, or Federal agencies.

DOCUMENTS INCLUDED IN PACKET

Sheet #	Title	Date on Document
C01	Title Sheet	11.03.2025
C02	General Notes	11.03.2025
C03	Existing Conditions	11.03.2025
C04	Demo Plan	11.03.2025
C05	Overall General Layout	11.03.2025
C06	General Layout	11.03.2025
C07	Dimension Plan	11.03.2025
C08	Grading Plan	11.03.2025
C09	Grading Details	11.03.2025
C10	Drainage Map	11.03.2025
C11	Turn Exhibit	11.03.2025
C12	Erosion Control Plan I	11.03.2025
C13	Erosion Control Plan II	11.03.2025
C14	Erosion Control Plan III	11.03.2025
L01	Landscape Plan	11.03.2025
L02	Landscape Details	11.03.2025
L03	Plant Specifications	11.03.2025
T1.1.1	Cover Sheet	10.02.2025
A1.1.1	Architectural Site Plan	09.19.2025

A2.1.1	Overall Plan	10.02.2025
A2.1.2	Enlarged Plans	09.19.2025
A5.1.1	Exterior Elevations	09.19.2025
A5.1.2	Exterior Elevations	09.19.2025
A5.1.3	Exterior Elevations	10.22.2025
A7.1.0	Details	09.19.2025
LS1.1.1	Life Safety Plan	09.19.2025
Memo	Parking County Memo	11.03.2025

STAFF RECOMMENDATION

City Staff recommends approval of Revised Final Site Plan **Application FSP2025-0002** *Revised Final Site Plan for Inland Port XXXII*, subject to the following stipulations:

1. Applicant/Owner Obligation. The site plan, a scale map of proposed buildings, structures, parking areas, easements, roads, and other city requirements (landscaping/berm plan, lighting plan) used in physical development, when approved by the Planning Commission shall create an enforceable obligation to build and develop in accordance with all specifications and notations contained in the site plan instrument. The applicant prior to the issuance of any development permit shall sign all site plans. A final site plan filed for record shall indicate that the applicant shall perform all obligations and requirements contained therein.

Note: For Application FSP2025-0002, the Planning Commission is the final authority for approval.

FLOODPLAIN NOTE

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL NUMBER 134 OF 161, COMMUNITY-PANEL NUMBER 20091C0134G, EFFECTIVE DATE: AUGUST 03, 2009, THE SUBJECT PROPERTY LIES WITHIN ZONE X OTHER AREAS - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ZONING

PROPERTY IS CURRENTLY ZONED L-P.

UTILITIES

THE INFORMATION CONCERNING LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WHICH ARE NOT VISIBLE FROM THE SURFACE, HAS BEEN TAKEN FROM THE RECORDS AND FIELD LOCATIONS OF THE VARIOUS UTILITY COMPANIES AND HAS NOT BEEN FIELD VERIFIED BY THIS COMPANY. THESE LOCATIONS ARE NOT TO BE CONSTRUED AS ACCURATE OR EXACT.

LEGAL

ALL OF LOT 02, LOGISTICS PARK KANSAS CITY PHASE IV SECOND PLAT, A SUBDIVISION IN EDGERTON, JOHNSON COUNTY, KANSAS.

SITE DATA TABLE

Lot 2 Acreage:	38.70 Acres
Building Area:	764,785 SF
North Tenant Area:	463,435 SF
South Tenant Area:	301,350 SF
Proposed Building Use:	Industrial
Number of Employees:	50
Total Number of Auto Stalls before site improvements:	337 Stalls
Total Number of Auto Stalls after site improvements:	222 Stalls
Total Number ADA Stalls:	8 Stalls (Included in Total)
Required Number ADA Stalls:	7 Stalls
Tenant Shifts:	N/A-Total employees less than total parking count

Faith Technologies Ti-Inland Port XXXII

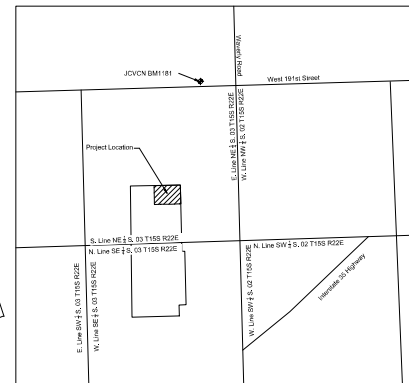
31450 W. 196th St.

CITY OF EDGERTON

JOHNSON COUNTY, KANSAS

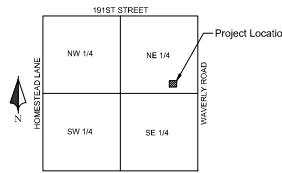
Section 03, Township 15, Range 22

Final Development Plan



LOCATION MAP

SECTION 3-15-22
Scale 1" = 1000'



LOCATION MAP

SECTION 3-15-22
Scale 1" = 2000'

Sheet List Table

Sheet Number	Sheet Title
C01	Title Sheet
C02	General Notes
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C08	Grading Plan
C09	Grading Details
C10	Drainage Map
C11	Turn Exhibit
C12	Erosion Control Plan I
C13	Erosion Control Plan II
C14	Erosion Control Plan III
L01	Landscape Plan
L02	Landscape Details
L03	Plant Specifications

LEGEND

---	Existing Section Line	---	Proposed Right-of-Way
---	Existing Right-of-Way Line	---	Proposed Property Line
---	Existing Lot Line	---	Proposed Lot Line
---	Existing Easement Line	---	Proposed Easement
---	Existing Curb & Gutter	---	Proposed Curb & Gutter
---	Existing Sidewalk	---	Proposed Sidewalk
---	Existing Storm Sewer	---	Proposed Storm Sewer
---	Existing Storm Structure	---	Proposed Storm Structure
W/A	Existing Waterline	A	Proposed Fire Hydrant
GA	Existing Gas Main	WA	Proposed Waterline
---	Existing Sanitary Sewer	---	Proposed Sanitary Sewer
---	Existing Sanitary Manhole	---	Proposed Sanitary Manhole
---	Existing Contour Major	---	Proposed Contour Major
---	Existing Contour Minor	---	Proposed Contour Minor
-----	Future Curb & Gutter		

CERTIFICATE:

Received and placed on record this _____ day of _____, 20__ by _____

Zachary Moore, Zoning Administrator

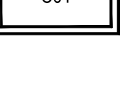
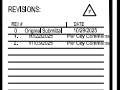
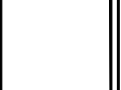
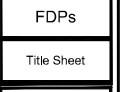
Approved by the Edgerton City Planning Commission this _____ day of _____, 20__ by _____

Tina Mathos, Chair of the Planning Commission

Permission for parking to encroach within setback lines is ___ is not ___ granted according to my marked notations: _____ (Zoning Admin.) _____ date

I certify that I have reviewed this SITE PLAN and will comply with all specifications, changes, and amendments herein, and that this instrument creates a legally enforceable obligation to build and develop in accordance with all final agreements.

Applicant Signature _____ Date _____
 Matt Gordon, PE, Project Manager
 ARCO National Construction



SHEET NUMBER
C01

PROJECT: 25-0173
 Faith Technologies Ti-Inland Port XXXII
 31450 W 196th STREET
 EDGERTON, KS 66021

GENERAL NOTES:

1. All work in public easements and right-of-way and all erosion control work must comply with City of Ottawa, Kansas - Subdivision Requirements. If any general notes conflict with the City of Edgerton, Kansas - Subdivision Requirements, requirements adopted by the Johnson County, Kansas Planning and Building Department shall override.
1. The contractor shall remove existing trees and shrubs within the right-of-way adjacent to future thoroughfare improvements.
2. Any existing and/or temporary storm sewer pipes and box culverts to be abandoned in place shall be grouted using a slurry grout mixture having a 28-day compressive strength of 100-150 psi. The slurry grout mixture of fly ash, cement, fine aggregate, forming agents and water shall be approved by the City and shall possess adequate flow characteristics to fill all voids.
3. The contractor shall be responsible for all damages to existing utilities, pavement, fences, structures, and other features not designated for removal. The contractor shall repair all damages at his expense.
4. By use of these conditions, the contractor hereby agrees that he will be solely responsible for the safety of the construction workers and the public. The contractor shall hold the engineer and owner harmless for any and all injuries, claims, losses, or damages related to the project.
5. All building and life safety issues shall comply with the 2012 International Fire Code and local amendments as adopted by Edgerton, Kansas.
6. Contractor shall be responsible for obtaining all permits including land disturbance, right-of-way, hauling, etc., with Public Works prior to construction.
7. Contractor shall restore all disturbed right-of-way upon project completion.
8. Dimensions and coordinates are provided to indicate the design intent of the engineer. Contractor shall immediately notify the engineer of any inconsistencies or discrepancies found during construction. Contractor shall verify all dimensions and coordinates prior to the commencement of construction.
9. All construction shall conform to local design and construction manuals applicable to private developments. Contractor shall notify Engineer if they discover a conflict with these plans a local design and construction manuals. Contractor shall not commence any work in the plans that is conflicting with local design and construction manuals without authorization from the Engineer. Where discrepancies between these plans and local design and construction manuals exist the local design and construction manuals shall govern.
10. Contractor shall be responsible for securing all bonds, insurance, and permits required by the contract documents, all governing agencies having jurisdiction over the work proposed by these documents, the owner, and the developer. The cost for all bonds and insurance shall be included in the contractor's bid for the work.
11. Contractor shall verify and accept all topography, survey monuments, control points, and bench marks shown herein. Contractor shall notify the Engineer if any discrepancies are found prior to any construction activities.
12. Contractor shall be responsible for removing and disposing of all waste from the proposed project site. Waste includes all demolition debris, unusable fill materials, trash, or otherwise useless or defective materials that conflict with the proposed improvements. Waste shall be disposed of in accordance with all applicable jurisdictional authority requirements.
13. Contractor shall perform a final clean-up of all work in these documents prior to acceptance by the owner or developer. The site shall be clean and orderly to the satisfaction of the owner or developer.
14. Building information, including but not limited to building dimensions, door locations, dock locations, ramp locations, downslope locations, and utility conditions, as shown for reference only. Contractor shall refer to architectural, MEP, and other building specific plans for such information. Contractor shall verify that there are no discrepancies between those plans and these plans prior to construction.
15. There may be other permits under construction, or scheduled to soon begin construction, in the immediate vicinity of this project. Contractor shall coordinate their proposed construction activities with those of the other contractors.
16. All quantities listed in these plans are provided for reference only. If the contractor uses quantities in these plans, the contractor accepts them as their own and agrees to hold the civil engineer, owner, and developer harmless for any errors or omissions in the quantities.
17. Prior to ordering precast structures, shop drawings shall be submitted to the engineer for review.
18. Contractor shall protect all trees to remain. Contractor shall not corral equipment or store materials under the drip-lines of trees to remain.
19. If livestock or other domesticated animals are present on site, contractor shall coordinate with the owner and developer to provide temporary fencing to protect the animals.
20. Contractor is responsible for performing all work in compliance with OSHA regulations.

DEMOLITION NOTES:

1. Contractor is responsible for providing adequate protection for any existing utilities that are to remain.
2. For any utilities removed, Contractor shall provide temporary service to the satisfaction of the owner or developer.
3. For any utilities removed, Contractor shall leave a good connection point and mark the termination point with a 4" metal stake painted with the utility's corresponding APWA unified color code for marking of underground utilities.
4. Contractor is responsible for preserving any irrigation systems not indicated to be removed in the demolition plans.
5. Contractor shall provide continuous access for the surrounding properties at all times.
6. Any excavation conducted as part of demolition shall be backfilled with suitable material in accordance with the geotechnical engineer's report.
7. Any fences removed to facilitate construction shall be replaced at the existing location or the proposed location as directed by the engineer. All replaced fence shall be of the same material and of equal or greater condition than prior to construction.

SITE / UTILITY NOTES:

1. The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor shall be responsible for locating all utilities, whether public or private, prior to commencing excavation. Contractor shall notify the engineer of any discrepancy between located utilities and utilities shown on the plans. The owner, developer, civil engineer, and government entities shall not be held responsible for accuracy or completeness of any such information. Contractor shall have full responsibility for checking all such information, locating all underground facilities, coordinating with the facility owners, and any damage thereto resulting from the work. This shall be considered a subsidiary item of the work, the cost of which shall be included in the contractor's bid for the work. The construction of storm sewers on this project shall conform to the requirements of the City of Edgerton, Kansas - Subdivision Requirements.
2. The contractor shall field verify the exact location and elevation of the existing storm sewer locations and the existing elevations at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans the contractor shall design the engineer. No pipes shall be laid until direction is received from the design engineer.
3. It will be the contractor's responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Top of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
4. Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of the curb inlets and manholes. The contractor shall adjust the location of the pipes to go to the face of the boxes. This note shall supersede any conflicting information in standard details.
5. The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pipe, valves and all other incidences required for a complete operating fire protection and domestic water system. If not furnished or installed by the City of Edgerton Water Department, Coordinate with the City Engineer. All costs associated with the complete water system for the building shall be the responsibility of the contractor. All work shall conform to the requirements of Johnson County, Kansas, and the City of Edgerton.
7. The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the building to the public line. The contractor shall refer to the architectural plans for specific locations and elevations of the service lines of the building construction. All work shall conform to the requirements of the City of Edgerton and Johnson County County Wastewater.
8. The contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structure. This will include all conduits, concrete pads and all other incidents required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact in-let locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
9. All fill material to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.

PAVEMENT MARKING AND SIGNAGE NOTES:

1. Parking stall marking stripes shall be four inch (4") wide white stripes on asphalt and yellow on concrete. Handicap stall marking shall be furnished at locations shown on plans.
2. Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform Traffic Control Devices."
3. Traffic control and pavement markings shall be painted with a white Sherwin Williams TM2 123 HOLTLINE Fast Dry or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

FIRE PROTECTION NOTES:

1. The words "NO PARKING FIRE LANE" shall be painted in 4 inch white letters every 50 feet on the border of the fire lane or on the face of curb where available.
2. The face of the curb shall be painted red where the curb is the boundary of the fire lane.
3. All fire protection work must be permitted and approved by the applicable fire marshal having jurisdiction.
4. Contractor shall pressure test all fire protection lines to the satisfaction of the owner and the city's fire marshal.
5. All fire hydrants shall be located in accordance with currently published city design standards.

EARTHWORK NOTES:

1. CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted. Proposed contours and elevations shown represent approximate finish grade.
2. CLEARING AND GRUBBING: Prior to the start of grading and earthwork, the area to be graded shall be stripped of all vegetation, organic matter, and topsoil to a minimum depth of four inches (4") or as otherwise directed by the Geotechnical Engineer. Stripping materials shall not be incorporated into structural fills. Topsoil materials shall not be used in building and pavement areas.
3. TOPSOIL: Prior to the start of grading, the contractor shall strip all topsoil from areas to be graded and stockpile at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping.
4. SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proof rolled and approved under the direction of the Geotechnical Engineer or his representative.
5. PROOF ROLLING: Prior to the placement of new fill material, the existing subgrade shall be proof rolled and approved under the direction of the Geotechnical Engineer. Unsuitable areas identified by the proof rolling areas shall be undercut and replaced with controlled structural fill or treated with fly ash per the Geotechnical report.
6. EARTHWORK:
 - A. GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report.
 - B. SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
 - C. FILL: All fill shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil, and debris. All fill required for project shall be provided by the Contractor. Material shall be pre-approved by the Engineer prior to placement.
 - D. EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose fill measurement), unless otherwise approved by the Geotechnical Engineer.
 - E. COMPACTION REQUIREMENTS: Earth fill material shall be placed and compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall be within a range of -2% to 3% above the optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
7. TESTING AND INSPECTION: Testing and inspection services required to make tests required by the specifications and to observe the placement of fills and other work performed on this project shall be provided by a commercial testing laboratory (Geotechnical Engineer) selected by the owner. The cost of testing will be the owner's responsibility.
8. SEEDING: All areas disturbed by earthwork operations in the right-of-way shall be seeded. The recommendations and guidelines outlined in the Geotech report shall govern when in conflict with these plans notes.

GRADING NOTES:

1. All construction shall conform to the City's minimum design standards.
2. Spot Grades shown herein shall govern over finished grades.
3. The contractor shall provide evidence that his insurance meets the requirements of the Project.
4. All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD).
5. The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Kansas, at the contractor's expense.
6. The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, streetlight and traffic signal junction boxes, traffic signal loop lead-ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
7. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
8. The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
9. All public street sidewalk ramps constructed will be required to comply with the Americans with Disabilities Act (ADA).
10. Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
11. All work shall be confined within easements and/or construction limits as shown on the plans.
12. Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
13. All National Pollution Discharge Elimination System (NPDES) standards shall be met.
14. Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.

TRAFFIC CONTROL NOTES:

1. Contractor is responsible for providing traffic control as required by the local governing agency.
2. Contractor shall prepare, furnish, maintain, all traffic control devices throughout construction. Contractor shall remove traffic control devices upon completion.
3. Contractor is responsible for providing a traffic control and sequencing plan and obtaining a traffic control permit if required by the local governing agency.
4. Contractor shall coordinate with adjacent property owners and authorities having jurisdiction for road or driveway closures.

FLOODPLAIN NOTES:

1. Contractor shall not perform work in any flood zone without obtaining permits from authorities having jurisdiction. Contractor shall hold the owner, developer, local government and engineer harmless against such violation.
2. Contractor shall not disturb the floodway.

WETLANDS NOTES:

- Any development, excavation, construction or filling in a U.S. Corps of Engineers designated wetland is subject to local, state and federal approvals. Contractor shall comply with all permit requirements and/or restrictions and any violation will be subject to federal penalty. Contractor shall hold the owner, developer, local government and engineer harmless against such violation.

ADA ACCESSIBLE ROUTE NOTES:

1. All Accessible route construction shall conform to the latest version of the ADA Standards for Accessible Design published by the Department of Justice. The Proposed Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way published by the United States Access Board will govern over the ADA Standards for Accessible Design details.
2. Other than ramps and ramps runs, walking surfaces must have running slopes not steeper than 1:20.
3. The cross slope of walking surfaces shall not be steeper than 2%.
4. The minimum width for a linear segment of accessible route shall be 36 inches.
5. Where the accessible route makes a 180 degree turn around an element which is less than 48 inches wide, the minimum clear width shall be a minimum approaching the turn, 48 inches minimum at the turn and 42 inches leaving the turn.
6. An accessible route with a clear width less than 60 inches shall provide passing spaces at intervals of 200 feet maximum. Passing spaces shall be 80 inch by 60 inch minimum.
7. Ramp runs shall have a running slope not steeper than 1:12.
8. Ramp runs with a rise greater than 6 inches shall have handrails.
9. Ramp landings with a maximum slope of 1:50 shall be provided before and after ramp runs.
10. The maximum rise of a ramp run shall be 30 inches.
11. The maximum counter slope between the pavement and the curb at a curb ramp shall be 1:20.
12. Curb ramp landings with a maximum slope of 1:50 shall be provided at the top of curb ramps with a clear width of 60 inches.
13. Detectable warning surfaces complying with the latest ADA Standards shall be provided at pedestrian street crossings and refuge islands.
14. ADA Accessible stalls and passenger loading zones shall be provided adjacent to any ADA Accessible stall and have a 25% maximum slope in all directions.
15. Contractor to field verify existing site conditions and contact the engineer if field conditions do not match plan prior to construction.

LAYOUT & PAVING NOTES:

1. Contractor shall keep a full set of KC-APWA Standard Details onsite at all times.
2. The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work.
3. Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Provide positive drainage to prevent ponding. Adjust all utilities prior to installation of pavement.
4. Concrete walks and pads shall have a sloped finish. All concrete shall be 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalks, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
5. All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
6. Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
7. Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
8. For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.
9. Asphalt base course to be APWA Type 1 and surface course to be APWA Type 3.
10. Manhole/Storm Structure top elevations designated as "Field Verify" are located outside the street right-of-way or in areas of undetermined grading. Contractors ordering precast manhole/structures shall be responsible for adjustments required in the field at no additional cost to the owner. The Contractor shall field verify the top elevations prior to ordering precast manhole/structures.
11. All expansion joints shall conform to the standards and specification of the local jurisdiction. If local standards are not available they shall conform to State DOT Standards.
12. All pavement sections in the plans are at the recommendation of the geotechnical engineer. The owner, developer, and contractor shall hold the civil engineer harmless for any pavement section deficiencies.

EROSION CONTROL NOTES:

1. All work in public easements and right-of-way and all erosion control work must comply with the latest edition of the Technical Provisions & Standard Drawings for Roads and Sewers, of Edgerton, Kansas. If any of the general notes conflict with the Technical Provisions & Standard Drawings for Roads and Sewers of Edgerton, Kansas. The Cities standards shall override.
2. The contractor shall provide all materials, tools, equipment, and labor as necessary to install and maintain adequate erosion control. Keep the streets clean of mud and debris, and prevent soil from leaving the project site. The contractor's erosion control measures shall conform to Edgerton's Technical Provisions and Specifications.
3. Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsets sedimentation.
4. The contractor shall be responsible for maintaining erosion control devices and removing sediment until a minimum of 70% of permanent vegetation has become established and established. Erosion control devices shall remain in place until the 70% established vegetation is met, or the duration of the project, whichever is the later date.
5. The contractor shall temporarily seed and mulch all disturbed areas if there has been no construction activity on them for a period of fourteen (14) calendar days.
6. Install "J" Hooks on silt fence every 100 LF.
7. Contractor to install all Phase I erosion control devices prior to construction.
8. Contractor shall replace disturbed area with seed or sod, as indicated on the plans, and shall be installed within 14 days after paving completion and final topsoil grading.
9. Topsoil replacement shall be 6" thick.
10. Silt fence to be installed in accordance with Edgerton, Kansas Standard Details.
11. Refer to APWA 2150 for good housekeeping and silt measures.
12. The Contractor shall inspect and control erosion every 7 days and within 24 hours of a storm of 0.5 inches or more. The Contractor shall repair damage, clean out sediment, and add additional erosion control devices as needed, as soon as practicable, after inspection. The Contractor shall also inspect and assure that all sediment control devices are in working condition prior to any forecasted rainfall.
13. Contractor shall maintain erosion control measures to the satisfaction of the owner, developer, engineer, and authority having jurisdiction.
14. Contractor is responsible for providing any additional erosion control measures required to comply with the SWPPP or authorities having jurisdiction.
15. The owner, developer, engineer, or authority having jurisdiction has the authority to limit the surface area of erosion control devices by the construction operation and to direct the contractor to provide immediate permanent or temporary pollution control measure to prevent contamination of adjacent waters or conveyances.

DISCLAIMER:

The designs represented in these plans are in accordance with established practices of civil engineering and the contractor shall provide intended by the drawings at this time. However, neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.



FDPs

General Notes

FDPs

General Notes

PROJECT: 25-0173
Faith Technologies T-Inland Port XXXII
31465 W 196th STREET
EDGERTON, KS 66521



GMA JOB NO.: GAST3
ARCH. JOB NO.: A303
DRAWN BY: J.A. DESCHERBY: PC
ISSUE DATE: XXXX/XX/XX

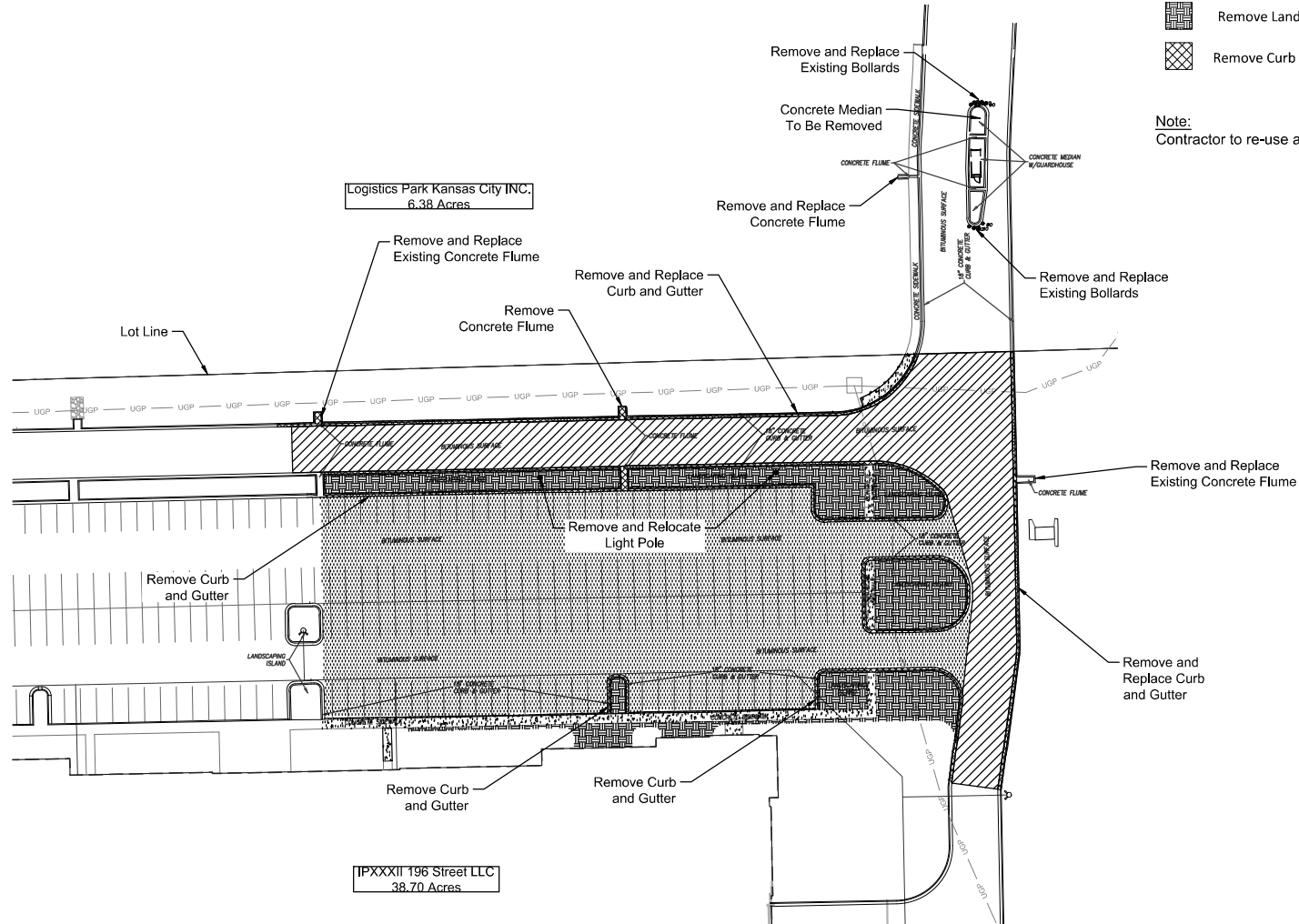
REVISIONS:	
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SHEET NUMBER
C02

DEMO LEGEND

-  Remove 5" Asphalt Pavement / (No Rock)
-  Remove 7" Asphalt Pavement / 6" Rock
-  Remove Concrete Sidewalk
-  Remove Landscape Features
-  Remove Curb and Gutter

Note:
Contractor to re-use all on-site excavated rock material



Logistics Park Kansas City INC.
6.38 Acres

IPXXXII 196 Street LLC
38.70 Acres



GMA
730 CLAYTON ROAD, SUITE 200
RICHMOND HEIGHTS, MO 63117
P: 636.828.9171
WWW.GMARCHITECTS.COM

ARCO
3015 NW CANAL STREET
SUITE 100
RIVERDALE, MO 64150
P: 816.284.0224
WWW.ARCONATIONAL.COM

DLI GROUP
CONCRETE REPAIR/STRUCTURE
CONCRETE
5214 NW CANAL ST., SUITE 100
RIVERDALE, MO 64150
P: 816.630.9899

CONCRETE SPECIALISTS
1988 OSWALD BLVD
COLUMBIAN SPRING, MO 65504
P: 417.232.6846

REINFORCING SPECIALISTS
801 ALPINE DRIVE
COLUMBIAN SPRING, MO 65504
P: 417.232.6846

FDPs
Demo Plan

PROJECT: 25-0173
Faith Technologies T-Inland Port XXXII
31450 W 196th STREET
EDGEMONT, KS 66021



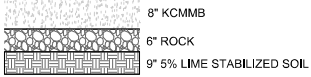
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ARCH JOB NO: K803
DRAWN BY: JA CHECKED BY: PIC
ISSUE DATE: XXXXXXXX

REVISIONS:

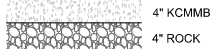
NO.	DATE	DESCRIPTION

SHEET NUMBER
C04

CONCRETE TRUCK AREA



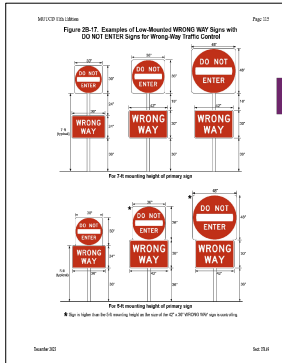
SIDEWALK AREAS



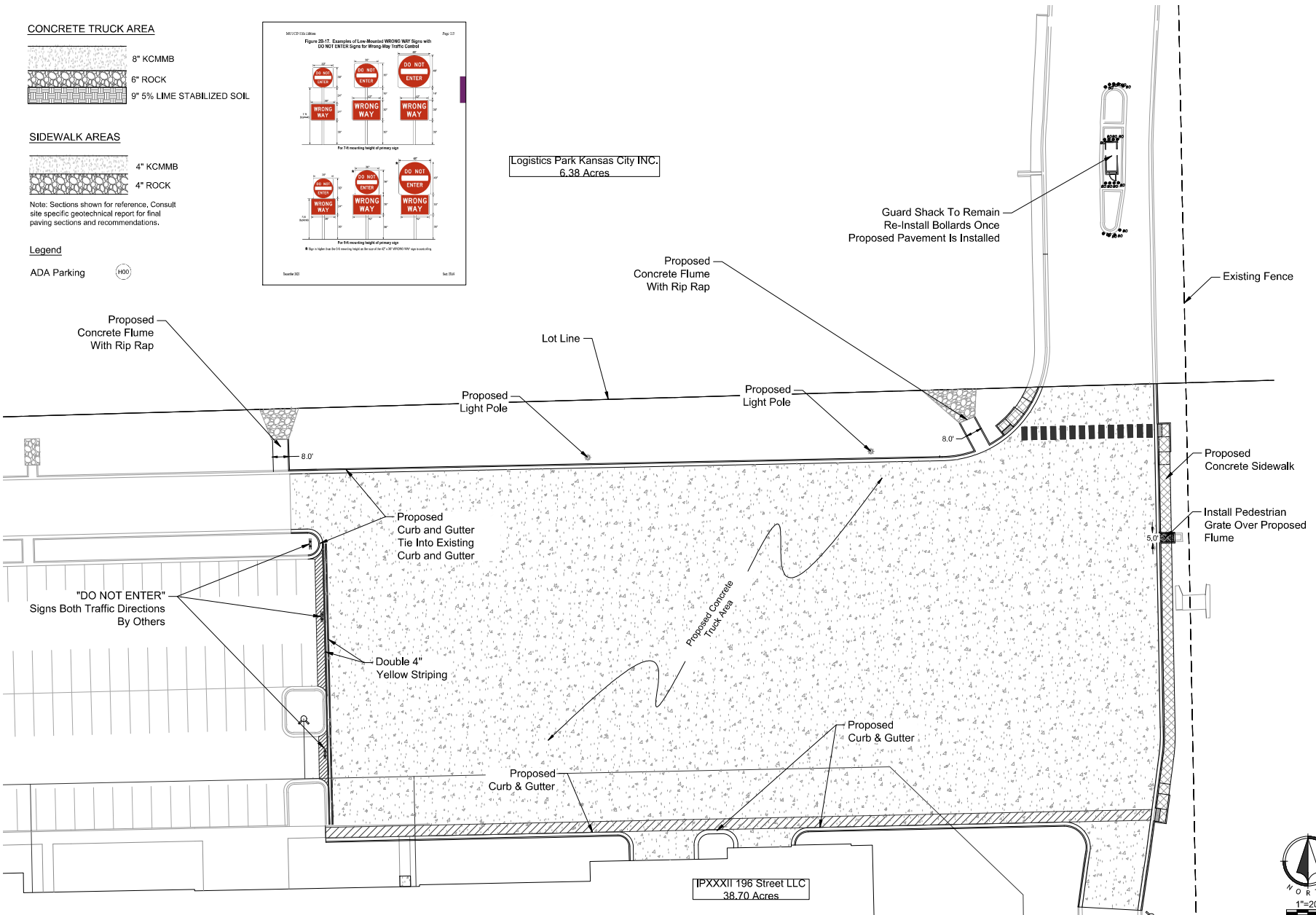
Note: Sections shown for reference. Consult site specific geotechnical report for final paving sections and recommendations.

Legend

ADA Parking



Logistics Park Kansas City INC.
6.38 Acres



IPXXXII 196 Street LLC
38.70 Acres



GMA
330 CLAYTON ROAD, SUITE 300
RICHMOND HEIGHTS, MO 63117
P: 631.622.9171
WWW.GMAARCHITECTS.COM

ARCO
3210 N. CANAL STREET
SUITE 110
PIPERDALE, MO 64150
P: 816.284.0204
WWW.ARCONETWORK.COM

ALLIANCE
CONCRETE REPAIR/STRUCTURE
CONCRETE
5214 N. CANAL ST., BLDG 103
PIPERDALE, MO 64150
P: 816.284.0204

STRUCTURAL ENGINEER
PROFESSIONAL ENGINEER
5214 N. CANAL ST., BLDG 103
PIPERDALE, MO 64150
P: 816.284.0204

ELECTRICAL ENGINEER
PROFESSIONAL ENGINEER
5214 N. CANAL ST., BLDG 103
PIPERDALE, MO 64150
P: 816.284.0204

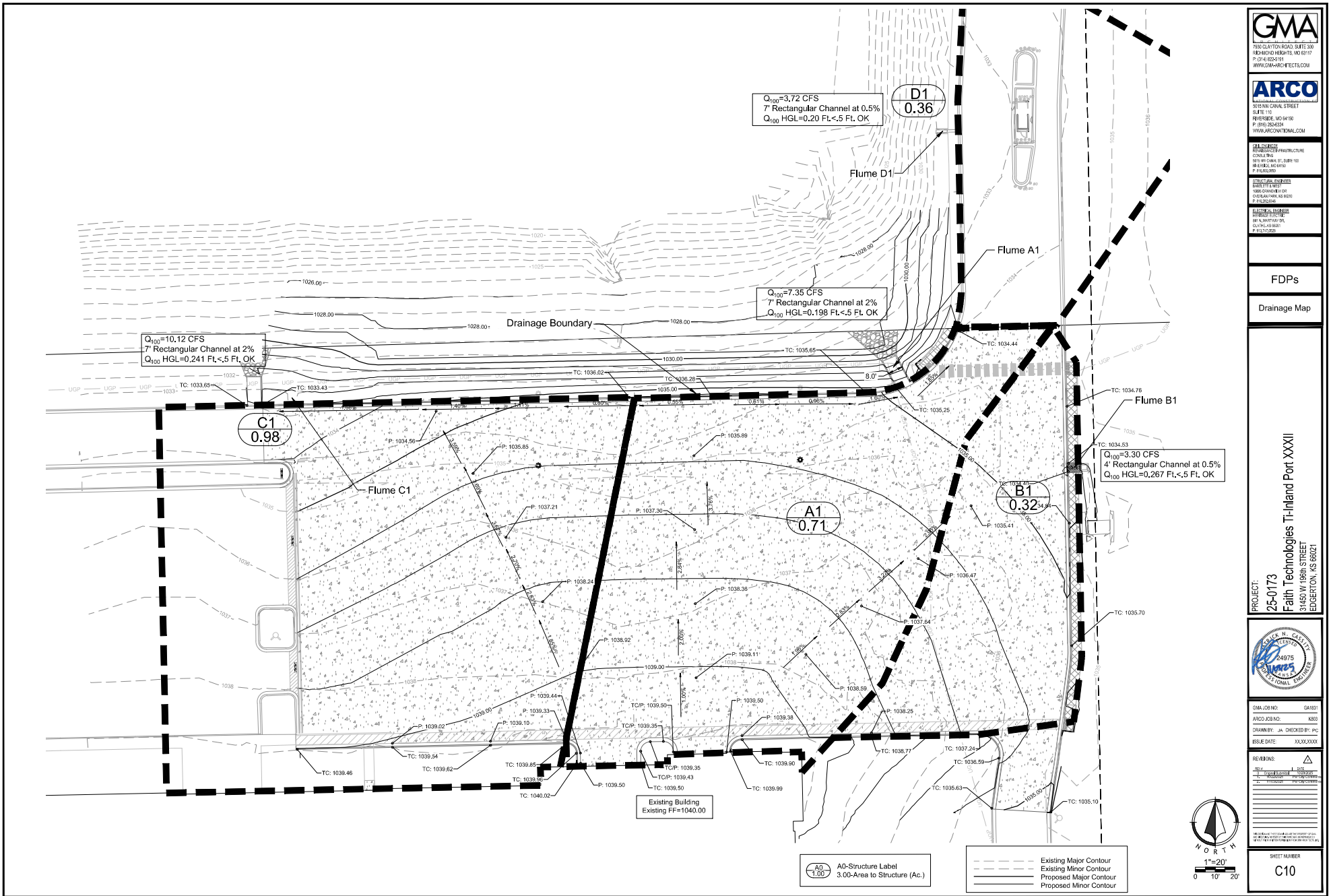
FDPs
General Layout

PROJECT: 25-0173
Faith Technologies II-Inland Port XXXII
31450 W 196th STREET
EDGEMONT, KS 66021

KANSAS PROFESSIONAL ENGINEER
GMA JOB NO: GA1331
ARCO JOB NO: K03
DRAWN BY: JA CHECKED BY: PIC
ISSUE DATE: XXXXXXXX

REVISIONS:
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SHEET NUMBER
C06



GMA
 7300 CLAYTON ROAD, SUITE 300
 ROCKHILL, MISSOURI 63097
 P: 618.628.9171
 WWW.GMA-ARCHITECTS.COM

ARCO
 3015 N. CANAL STREET
 SUITE 110
 FARMERS, MISSOURI 64110
 P: 816.334.0224
 WWW.ARCONETWORK.COM

ALLIANCE
 CONSULTING ENGINEERING
 CONSULTING
 521 N. CANAL ST., SUITE 100
 FARMERS, MO 64110
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STRUCTURAL ENGINEER
 1800 S. GRAND ST. #2
 CHESTNUT HILL, MISSOURI
 P: 816.334.0224

ELECTRICAL ENGINEER
 1800 S. GRAND ST. #2
 CHESTNUT HILL, MISSOURI
 P: 816.334.0224

FDPs

Drainage Map

PROJECT: 25-0173
 Faith Technologies T-inland Port XXXII
 31480 W 196th STREET
 EDGEMONT, KS 66021



GMA JOB NO: GA131
 ARCO JOB NO: K03
 DRAWN BY: JA, CHECKED BY: PIC
 ISSUE DATE: XXXX/XXX/XX

REVISIONS:

NO.	DATE	DESCRIPTION



SHEET NUMBER
C10



FDPs

Erosion Control Plan II

PROJECT: 25-0173
 Faith Technologies T-Inland Port XXXII
 3468 W 196th STREET
 EDGEMONT, KS 66021



GMA JOB NO.: GA1331
 ARCO JOB NO.: K803
 DRAWN BY: JA, CHECKED BY: PC
 ISSUE DATE: XXXXXXXX

REVISIONS:

NO.	DATE	DESCRIPTION

SHEET NUMBER
C13

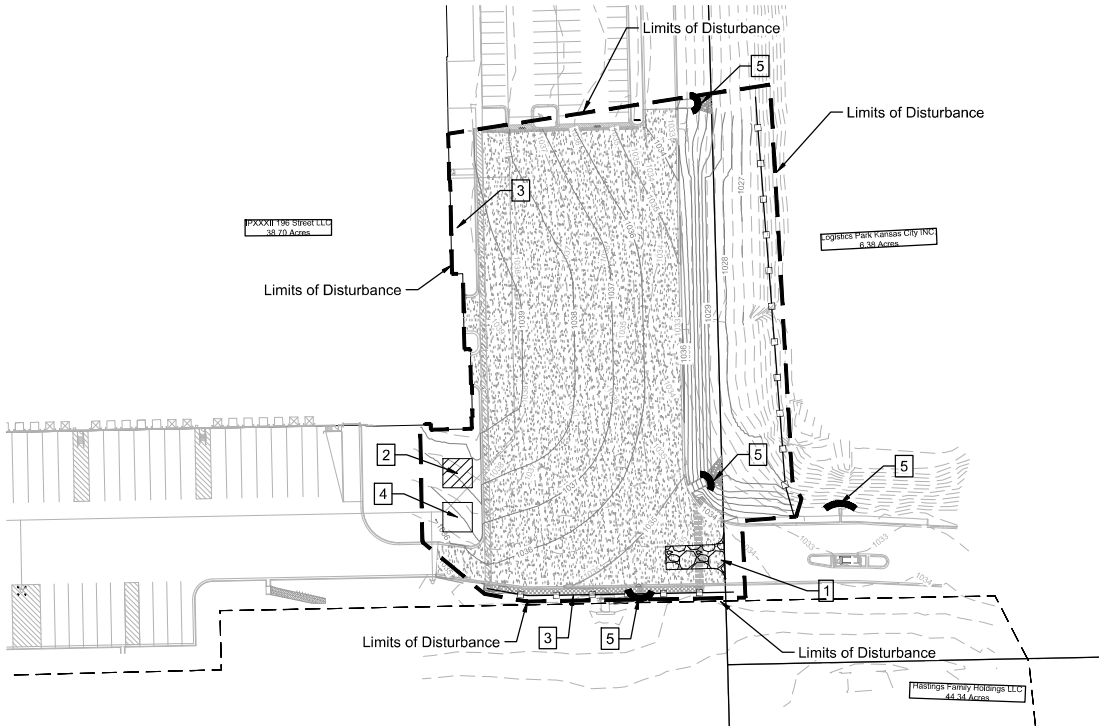
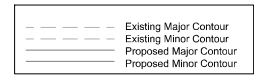
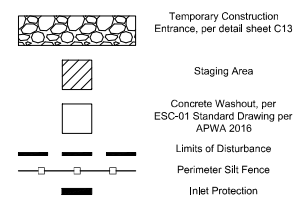
EROSION CONTROL NOTES

- Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsite sedimentation.
- The retention of access controls and sediment controls shall be required for areas where seed has not established 70% cover.
- The contractor shall temporarily seed and mulch all disturbed areas if soil disturbing activities cease and will not resume for more than 14 days. Stabilization activities must also be completed within 14 days.
- Install 'J' Hooks on silt fence every 100 LF.
- Any location that is being accessed by vehicles needs to have a construction entrance.
- Contractor must keep a broom on site in order to clean up mud tracked on to the streets immediately.
- Any contractor parking that is in a disturbed area must be rocked to prevent tracking of mud.

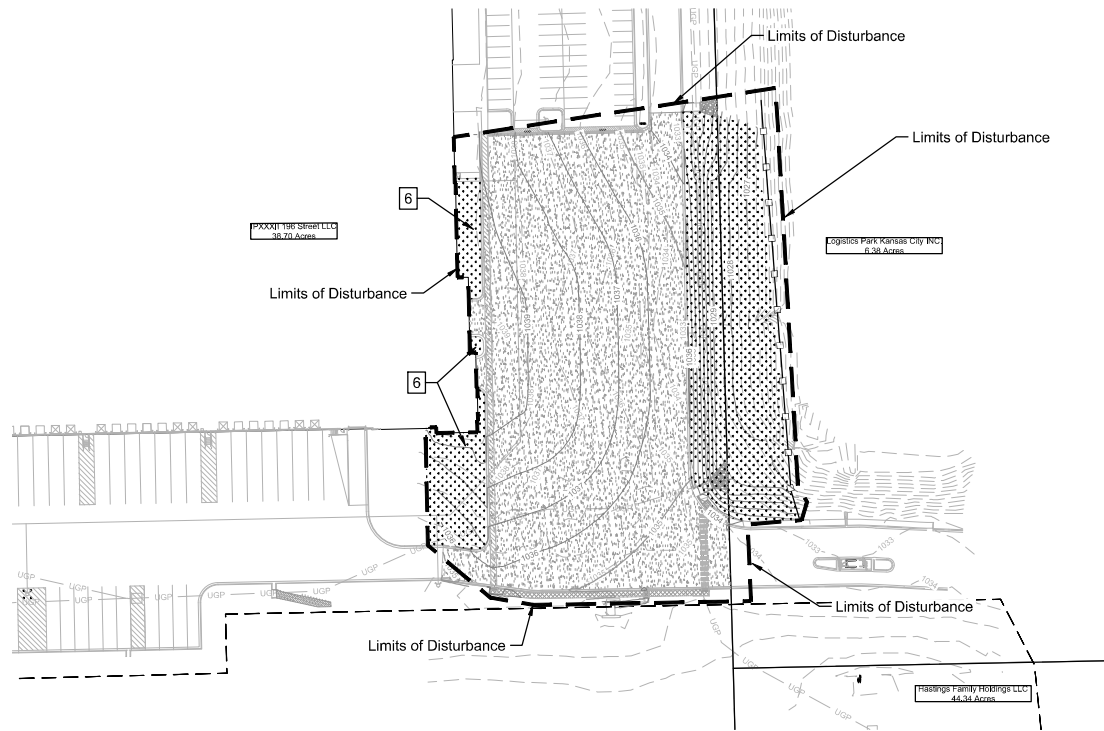
WRITTEN SEQUENCING

- Implement Pre-Clearing Plan:**
 All temporary structural BMPs shown on the pre-clearing plan must be in place before the general clearing operations. Clearing necessary to place temporary structural BMPs is the minimum required for installation. Coordinate clearing necessary to place temporary structural BMPs with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in Place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
- Clear and Stabilize Work Areas:**
 Grade contractor areas and place all-weather surface on contractor areas.
- Clearing and Grubbing:**
 After Phase I BMPs are installed, contractor may clear, grub, and demo required areas as necessary.

EROSION CONTROL LEGEND



PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
Phase I A-Prior to Construction	1	Construction Entrance	II	Install Construction Entrance
	2	Staging Area	II	Install Staging Area
	3	Perimeter Silt Fence	III	Install Silt Fence
	4	Concrete Washout	II	Install Concrete Washout as Shown on Plans Prior to Pouring Any Concrete
Phase II B - During Land Disturbance & Storm Infrastructure Installation	5	Inlet Protection	III	Install Filter Bags to trap sediment and debris during construction
Phase III C-Final Stabilization	6	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%.



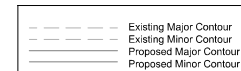
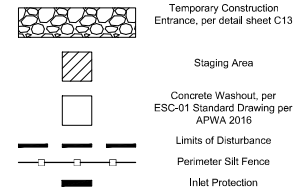
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1. Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsite sedimentation.
2. The retention of access controls and sediment controls shall be required for areas where seed has not established 70% cover.
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4. Install "J" Hooks on silt fence every 100 LF.
5. Any location that is being accessed by vehicles needs to have a construction entrance.
6. Contractor must keep a broom on site in order to clean up mud tracked on to the streets immediately.
7. Any contractor parking that is in a disturbed area must be rocked to prevent tracking of mud.

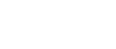
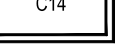
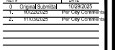
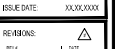
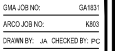
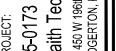
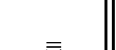
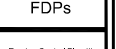
WRITTEN SEQUENCING

1. **Implement Pre-Clearing Plan:**
All temporary structural BMP's shown on the pre-clearing plan must be in place before the general clearing operations. Clearing necessary to place temporary structural BMP's is the minimum required for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in Place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
2. **Clear and Stabilize Work Areas:**
Grade contractor areas and place all-weather surface on contractor areas.
3. **Cleaning and Grubbing:**
After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.

EROSION CONTROL LEGEND



PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES	
Phase I	A-Prior to Construction	1	Construction Entrance	II	Install Construction Entrance
		2	Staging Area	II	Install Staging Area
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PROJECT: 25-0173 Faith Technologies In-land Port XXXII
 3468 W 196th STREET, EDGEMONT, KS 66201
 SHEET NUMBER: C14

PLANT SCHEDULE

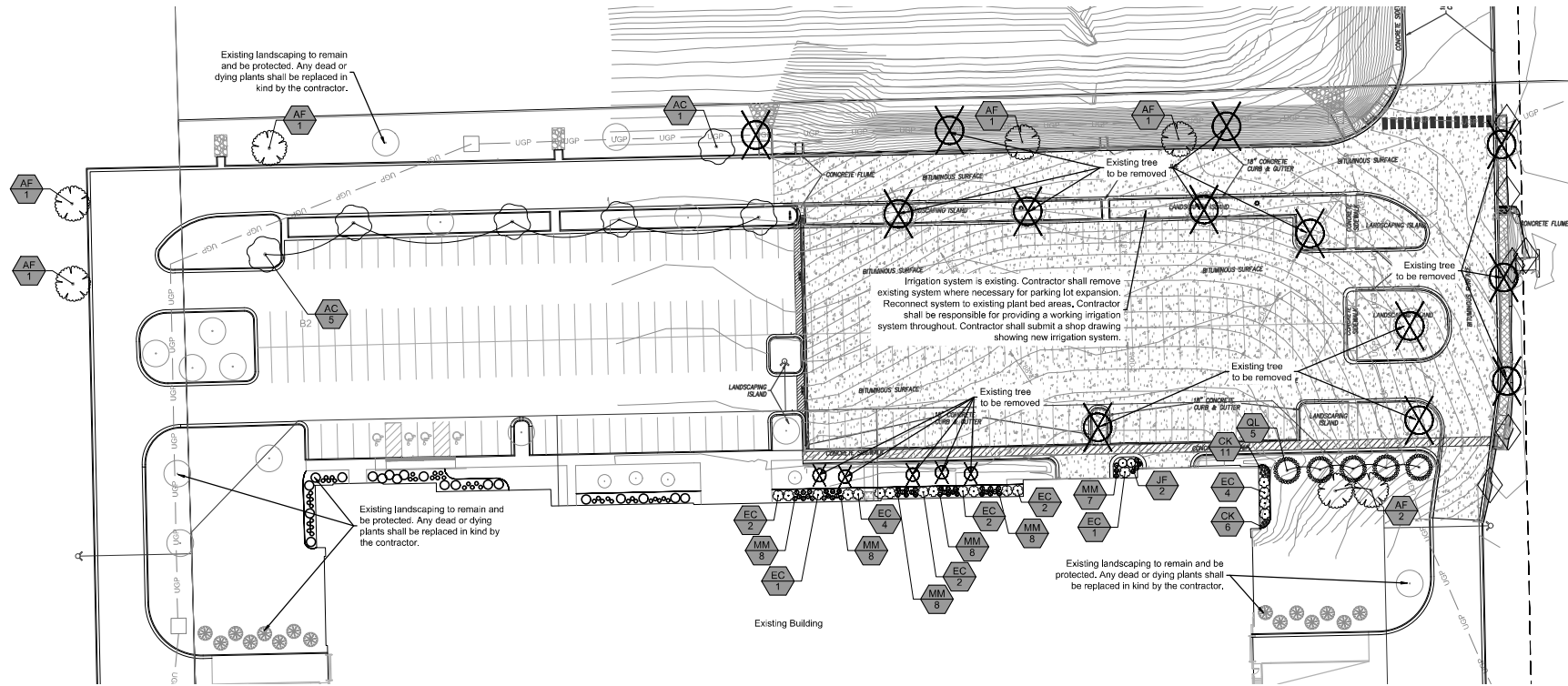
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES					
	AF	Acer rubrum 'Franksred' / Red Sunset® Maple	2.5" Cal.	B&B	7
	AC	Acer x freemanii 'Celtzer' / Celebration® Freeman Maple	2.5" Cal.	B&B	6
	QL	Quercus robur x bicolor 'Long' / Royal Pinco® Oak	1.5" Cal.	B&B	5
SHRUBS					
	CK	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	3 Gal.		17
	EC	Euonymus alatus 'Compactus' / Compact Burning Bush	5 Gal.		18
	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 Gal., 18"-24" Ht. Min.		2
	MM	Miscanthus sinensis 'Morning Light' / Morning Light Eulalia Grass	3 Gal.		47

Note: Quantities shown are for reference only. Contractor shall verify all plant and turf quantities prior to bidding.

LANDSCAPE NOTES

1. LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
3. QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
4. PLANT SYMBOLS ON LANDSCAPE PLAN ARE SHOWN AT FULL MATURE SIZE. ACTUAL PLANT SIZES AT INSTALLATION MAY BE SMALLER AND SHALL BE THE MINIMUM PLANTING SIZE SPECIFIED IN PLANT SCHEDULE.
5. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
6. ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
7. PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
8. SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.

9. ALL TREES SHALL BE STAKED PER DETAIL.
10. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
11. THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
12. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
13. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE.
14. ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.
15. ALL DECORATIVE GRAVEL SHALL BE INSTALLED OVER GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUAL).



NOTE: Maintain and establish all landscape areas by watering, fertilizing, weeding, mowing, trimming, replanting and other operations until acceptable establishment - TYP.
RE: Specifications



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P: (816) 282-8224
WWW.ARCONATIONAL.COM

QUALITY PROJECTS
CONCRETE INFRASTRUCTURE
CONCRETE
5015 NW CANAL, ST. SUITE 100
PARKVILLE, MO 64150
P: (816) 282-9999

QUALITY PROJECTS
ELECTRICAL BUSINESS
ELECTRICAL BUSINESS
1814 NORTHWEST DR.
COLUMBIANA, MO 64408
P: (816) 282-2222

FDPs

Landscape Plan

PROJECT: 25-0173
Faith Technologies In-land Port XXXII
31450 W 196th STREET
EDGEMONT, KS 66021

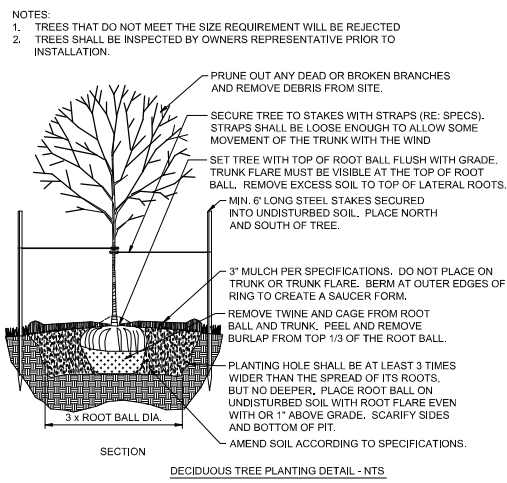
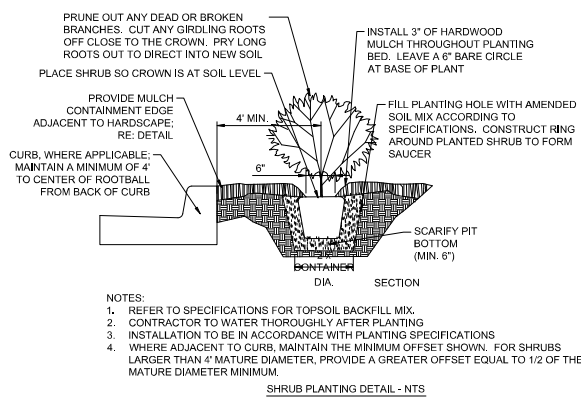
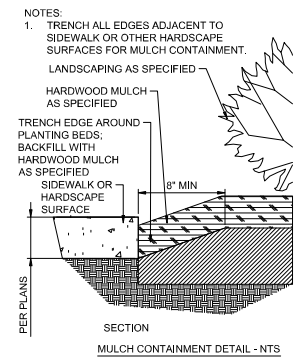
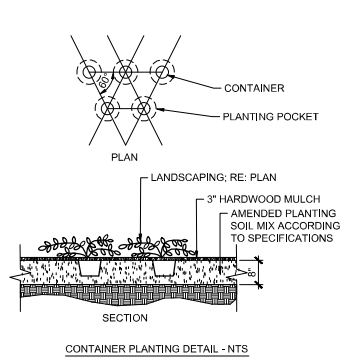
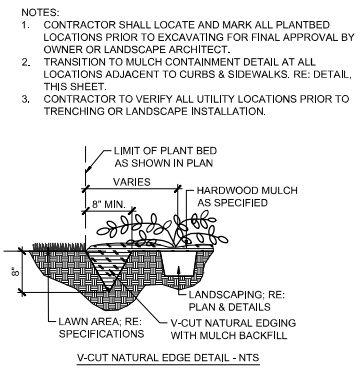
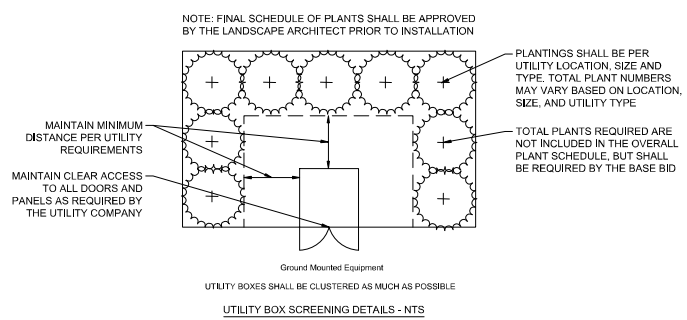
ANGELA M. LEWIS
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965
15 July 2009
KANSAS
LANDSCAPE ARCHITECT

GMA JOB NO: GA131
ARCO JOB NO: K03
DRAWN BY: JA CHECKED BY: PC
ISSUE DATE: XXXXXXXX

REVISIONS:

NO.	DATE	DESCRIPTION

SHEET NUMBER
L01



SECTION 29300 LANDSCAPING - PLANTS

PART 1 - GENERAL

1.01 SUMMARY

A. Section Includes the following:

- 1. Forming trees, shrubs & plants.
- 2. Preparation of planting pits and beds, including excavation, backfilling, and disposal of surplus and unsuitable excavated material.
- 3. Plants (trees, shrubs, groundcovers, vines & perennials), including fertilizing, mulching, trimming, watering, and wrapping.
- 4. Maintenance of plants.

B. Applicable Standards:

- 1. American Nursery Standards Institute (ANSI): a. 2001 - Nursery Stock.

1.02 SUBMITTALS

A. General:

- 1. Upon completion of the installation, deliver to Landscape Architect the following in accordance with the Conditions of the Contract and Division 1 Specification Sections.

- 2. Include, but not limited to the following:

- a. Proctor Certification: Certificate of inspection may be required by governing authorities. For standard products, submit manufacturer's certified analysis. For other materials, submit analysis by a recognized laboratory made in accordance with methods established by Association of Official Agricultural Chemists, wherever applicable.

- b. Manufacturers Literature: Submit three (3) copies of fertilizer manufacturer's literature along with schedule of maintenance program spanning the life of the guarantee and three (3) copies of a recommended post guarantee maintenance program.

- c. Label data substantiating that trees and shrubs comply with specified requirements.

- d. Materials List: Within 15 days after complete contract, and before any materials are delivered to the job site, submit to Landscape Architect an affidavit of all plants including the species ordered and the type of equipment to be used on the project.

- e. As-built Drawings: During course of installation, carefully record in real time on a plan of the planting drawings all changes to the planting system. Provide a copy of the drawings to the Landscape Architect.

- f. Planting Schedule: Proposed planting schedule, indicating dates for each type of landscape planting during annual maintenance program in one of site. Correlate with specified maintenance program to provide maintenance from the start of the maintenance program to the end of the maintenance program.

- g. Maintenance and Inspection: Typewritten inspection recommendations to be established by Owner for maintenance of landscape work for one full year. Submit prior to completion of required maintenance period(s).

- h. Product Data: Submit product data, supplier sources and sample of the following:

- 1. Structural materials and within a specified planting period, all dead plants and all plants not as a vigorous, thriving condition as determined by the Landscape Architect during and at the end of the warranty period. The plants shall be free of dead or dying branches and twigs, and shall be free of a normal density, size, and color.

- 2. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in the Specifications.

- 3. The Subcontractor shall make all necessary repairs to other site and project features due to plant replacements. Such repairs shall be done at no cost to the Owner.

- 4. Maintain and Operations: Replacements shall be plants of the same kind and size specified in the plant schedule. They shall be firm and well planted as specified. The cost shall be borne by the Subcontractor. After Substantial Completion requirements resulting from the removal, loss, or damage due to occupancy of the project site by others, vandalism, or acts as required to the part of others, physical damage to animals, may be approved and paid for by the Owner.

1.04 QUALITY ASSURANCE

A. Installers Qualifications:

- 1. Engage a single firm specializing in landscape work with a minimum of 5 years experience who has completed landscaping work similar in material, design, and extent to that indicated for this project with a record of successful landscape work.

- 2. Installer Field Supervisor: Require installers to maintain an experienced full-time supervisor on the project site during times landscaping is in progress.

B. Source Quality Control:

- 1. General: Ship landscape plants with certificates of inspection required by governing authorities. Comply with regulations applicable to landscape materials.

- 2. Do not make substitutions. If specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material.

- 3. Topsoil: ASTM D963, all ranges 5 to 7". Free of stones, lumps or larger as defined by the American Association of Horticulturists. Provide healthy, vigorous, stock grown in recognized nurseries in accordance with good horticultural practice and free of diseases, insects, galls, larvae, snails, nematodes, injuries, abrasions, and deformations.

- 4. Measurements: Measure trees and shrubs according to ANSI 260.1 with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Measure main body of tree or shrub for height and spread, do not measure branches or roots (fibers).

- 5. Plants shall be free to specify and variety and shall conform to measurements specified in the plant schedule. Larger plants may be used if approved by the Landscape Architect, however, if approved shall not increase the stipulated price.

- 6. Label at least one tree and one shrub of each variety with a securely attached waterproof tag bearing legible designation of botanical and common name.

C. Inspection:

- 1. The Subcontractor shall notify the Landscape Architect of the location of plant materials to be used and allow the Landscape Architect the opportunity to inspect them either at the place of growth or at the site before planting. For compliance with requirements for genus, species, variety, size, and quality. The Owner retains the right to further inspect trees and shrubs for size and condition of root balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Remove rejected trees or shrubs immediately from the project site.

- 2. Landscape Contractor shall provide a minimum of 72 hours prior notice of readiness for landscape material inspection.

D. Preinstallation Conference:

- 1. Subcontractor to conduct conference at Project Site prior to installation.

1.05 OBSERVATIONS

- A. In addition to normal progress observations, schedule, and conduct the following field observations to verify compliance with the specifications, verify the Landscape Architect at least 24 hours prior notice of readiness for observation.

- B. Plant Material: The Landscape Architect shall observe the plant material at site before planting for compliance with requirements for genus, species, variety, size, and quality.

- 1. If the Subcontractor requests, the Landscape Architect may observe plant material at place of growth or storage.

- 2. The Subcontractor shall notify the Landscape Architect 72 hours in advance of when plant material is to be delivered and a record of verified listing of the actual quantities and size of plant materials to be observed at the point of delivery.

- 3. Landscape Architect retains the right to further observe plant material live and conditions of balls and root systems, insects, injuries, and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Remove rejected plants immediately from project site and replace at the Subcontractor's expense with approved materials.

- 4. Landscape Architect retains the right for:

- a. Observation of labels and the condition of all items delivered to the site.

- b. Observation of any repairs or replacements necessary.

- c. Observe the staking for all trees and shrubs prior to planting.

- d. Observation of back preparation prior to planting of trees and shrubs.

- e. Observation of plant material at all end of plant warranty period.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. Provide freshly dug trees and shrubs. Do not prune prior to delivery. Provide adequate protection of root systems and bulbs from drying winds and sun. Do not bend or break trees or shrubs in such a manner as to damage hulls, break branches, or destroy natural shape. Provide protective covering during delivery. Do not drop balled and burlapped stock during delivery.

- B. Package Material: Deliver packaged materials to the site in their original container with all labels showing weight, analysis, and name of manufacturer intact and legible. Use all means necessary to protect all materials from deterioration before and during delivery, and while stock on site. Protect the installed work and materials of all other trades.

- C. Deliver plant material after preparation for planting have been completed, and protect immediately. If planting is delayed more than a hour after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist as follows:

- 1. Freshen bare root stock. Soak roots in water for 2 hours if dried out.

- 2. Set balled stock on ground and cover ball with soil, pen mats, sawdust or other acceptable material.

- 3. Do not remove container-grown stock from containers until planting.

- 4. Periodically water root systems of trees and shrubs stored on site using a fine mist spray. Water as often as necessary to maintain root systems in a moist condition.

- C. Replacements: In the event of damage or rejection, immediately make all repairs and replacements necessary to the approval of the Landscape Architect and/or as additional cost to the Owner.

1.07 CONNECTIONS

- A. Utilities: determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, as required. Maintain grade stakes set by others until removed or mutually agreed upon by parties concerned.

- B. Excavations: When conditions detrimental to plant growth are encountered, such as pebble fill, adverse drainage conditions, or obstructions, notify Landscape Architect before planting.

C. Sequencing and Scheduling:

- 1. All planting shall be completed and backfilled landscape work as rapidly as portions of site become available, working within seasonal limitations for each kind of landscape work required.

- 2. All planting shall be performed during favorable weather conditions. The planting operations shall not be performed during times of extreme drought, when ground is frozen, or during times of other unfavorable climatic conditions unless otherwise approved by the Landscape Architect. The Subcontractor assumes full and complete responsibility for all such plantings and operations.

- 3. Dig, ball and burlap deciduous plants only when dormant between March 15 and after October 15. Such plants may be planted at any time during the same year, subject to the other requirements of the specification.

- 4. Recommended dates for tree and shrub planting shall be March 15 - May 31 and September 15 - October 31 or as approved by the Landscape Architect.

- D. Plant trees and shrubs after final grades are established and prior to placing of walks, unless otherwise acceptable to the Landscape Architect. If planting of trees and shrubs occur after lawn work, protect lawn areas and promptly repair damage to lawn resulting from planting operations.

- E. Complete planting with specified maintenance program to provide maintenance from date of Substantial Completion.

- F. Coordination: All planting work shall be coordinated with all other work included in this contract and with work being done by others.

1.08 PRODUCT WARRANTY

- A. General Warranty: Warranted specifically in this Article shall not deprive the Owner of other rights the Owner may have under other provisions of the Contract Documents and shall be in addition to, and run concurrent with, other warranties made by the Subcontractor under the provisions of the Contract Documents.

- B. Special Warranty: Warrant the following living planting materials for a period of one (1) year after date of Substantial Completion, against defects including dead and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by the Owner, abnormal weather conditions during warranty period, or incidents that are beyond the Subcontractor's control.

- 1. Trees

- 2. Shrubs/Grounds/Invas

- 3. Perennials

- 4. Maintenance: prior to plant warranty observation, the Subcontractor will be responsible for the removal of all staking material on site.

- 5. Replacement Plants: The Subcontractor shall replace each, without cost to the Owner, and as soon as weather conditions permit, with a specimen similar to that specified in the conditions in the locality of the plant and tree of disease, insects, galls, larvae, and defects such as lumps, snail, injuries, abrasions, or deformations.

- 6. Special Warranty: Warrant the following living planting materials for a period of one (1) year after date of Substantial Completion, against defects including dead and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by the Owner, abnormal weather conditions during warranty period, or incidents that are beyond the Subcontractor's control.

- 1. Trees

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- 3. Perennials

- 4. Maintenance: prior to plant warranty observation, the Subcontractor will be responsible for the removal of all staking material on site.

- 5. Replacement Plants: The Subcontractor shall replace each, without cost to the Owner, and as soon as weather conditions permit, with a specimen similar to that specified in the conditions in the locality of the plant and tree of disease, insects, galls, larvae, and defects such as lumps, snail, injuries, abrasions, or deformations.

- 6. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in the Specifications.

- 7. The Subcontractor shall make all necessary repairs to other site and project features due to plant replacements. Such repairs shall be done at no cost to the Owner.

- 8. Maintain and Operations: Replacements shall be plants of the same kind and size specified in the plant schedule. They shall be firm and well planted as specified. The cost shall be borne by the Subcontractor. After Substantial Completion requirements resulting from the removal, loss, or damage due to occupancy of the project site by others, vandalism, or acts as required to the part of others, physical damage to animals, may be approved and paid for by the Owner.

PART 2 - PRODUCTS

2.01 GENERAL

- A. Provide every-species trees and shrubs, grown in a recognized nursery in accordance with good horticultural practice, with healthy root systems developed by transplanting or rooting. Provide only healthy, vigorous stock grown under climatic conditions similar to those of the locality of the project and free of diseases, insects, galls, larvae, and defects such as lumps, snail, injuries, abrasions, or deformations.

- B. Provide trees and shrubs of the sizes indicated in planting list and in accordance with dimensional requirements of ANSI 260.1 for kind and size of trees and shrubs allowed. Trees and shrubs of larger size than indicated may be used if acceptable to Landscape Architect.

- C. Label each tree and shrub with a securely attached waterproof tag bearing legible designation of botanical and common name.

- D. Nomenclature: Scientific and common names used for plants are generally in conformity with "Standardized Plant Names." The names of varieties are given in parentheses.

- E. Plant material size and measurements shall conform to the "American Standard for Nursery Stock," ANSI Z60.1-1986.

- F. Digging, wrapping, and shipping:

- 1. Plants shall be dug and prepared for shipment in a manner that will not cause damage to the branches, shape and future development of the plants after replanting. All plant material being transferred more than two miles shall be balled and burlapped.

2.02 TREES

- A. Trees shall not be pruned before delivery. Trees, which have a damaged or crooked leader or multiple leaders, unless otherwise specified, will be rejected. Trees with abrasion of bark, nicks, disjuncting canes, or fresh cuts of limbs greater than 1 inch in diameter and depth, shall not be completely balled and wrapped.

- 1. Plants shall be measured when branches are in a normal position. If a range of size is given, no plant shall be less than the minimum size and not less than 50% of the plants shall be as large as the upper half of the range specified. For measurements specified are the minimum size acceptable and are the measurements after pruning where pruning is required. Plants that meet the measurements specified, but do not possess a normal balance between height and spread will be rejected.

- 2. Plants shall be to specify and variety and shall conform to measurements specified in the Plant Schedule except that plants larger than specified may be used if approved by the Landscape Architect. Use of such plants shall not increase the contract price. If larger plants are approved, the ball or earth shall be increased in proportion to the size of the plant according to ANSI 260.1-1986.

- B. Balled and Burlapped Plants:

- 1. All plants designated "B&B" in the Plant Schedule shall be adequately balled with firm natural balls of earth of a diameter and depth no less than that specified in ANSI 610.1-1986. Balls shall be firmly wrapped with burlap. All plants which are 27" in caliper or over shall be firm balled. No balled plants shall be planted if the ball is cracked or broken other before or during the process of planting.

- 2. Container grown plants will be acceptable in lieu of balled and burlapped deciduous plants subject to the specifications of ANSI Z60.1 for container stock.

- C. Protection against drying:

- 1. Root balls shall be adequately protected at all times from sun and from drying winds. All balled and burlapped plants which cannot be planted immediately upon delivery shall be set on the ground and well protected with soil or other acceptable material. Plants shall not remain unplanted for longer than 3 days after delivery.

- D. Where shrubs trees are required, provide single stem trees with straight trunk and limbed leader, free of branches to a point about 50% of their height for the size and kind of trees required.

- E. Where small trees or shrubs of the type are required, provide trees with single stem, branch or pruned naturally occurring species and variety.

- 1. Where indicated as "multi-stem," provide trees with three stems starting from the ground.

- 2. Except as otherwise specified or indicated, provide trees with single stem, balled and burlapped and burlapped trees.

- 3. Container-grown trees will be acceptable in lieu of balled and burlapped deciduous trees, subject to the specified requirements for container stock.

2.03 SHRUBS & GRASSES

- A. Provide shrubs of height and size indicated or specified.

- B. Provide with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required.

- C. Except as otherwise specified or indicated, provide container grown shrubs.

2.04 CONTAINER PLANTS

- A. Provide plants in containers as shown or specified.

- B. Provide plants that show a vigorous and visible growth when container is removed.

- C. Root system shall not show excess signs of overgrowth.

- D. Plants shall appear healthy, with no broken limbs. Leaves shall appear full with an apparent sun or wind scald.

2.05 TOPSOIL

- A. Soil Mix: ASTM D 2526, pH range of 5 to 7, 4 percent organic material minimum, free of stones 1/2 inch or larger in any dimension, asbestos, lead, iron, zinc, and other extraneous toxic material harmful to plant growth. Conditions of the soil should conform to more than 15% Silt and 15% clay. Soil should contain no less than 40% sand. Mix shall be free of debris.

- B. Soil Source: Reserve surface soil stockpiled on the site wherever available. Verify suitability of surface soil to produce topsoil meeting requirements and amend as necessary. Supplement with imported topsoil when quantities are insufficient. Clean topsoil of roots, plants, stones, sticks, clumps, and other extraneous materials harmful to plant growth.

2.06 SOIL AMENDMENTS

- A. Sphagnum Peat Moss: Peat moss shall be Canadian Sphagnum Peat Moss, which is a light brown, fluffy material. Do

- not use Ilyopum, Michigan, or reed peat source.

- B. Commercial Fertilizer: Fertilizer shall be of the grade, type, and firm specified below and shall comply with the rules of the local governing authority and the following requirements:

- 1. The grade of fertilizer will be identified according to the percentage of nitrogen (N), percent available phosphorus acid (P2O5) and percent water soluble potassium (K2O), in that order and approval will be based on that certification. When conditions detrimental to plant growth are encountered, such as pebble fill, adverse drainage conditions, or obstructions, notify Landscape Architect before planting.

- 2. Fertilizer shall be a type that can be uniformly distributed either by hand or application equipment.

- 3. Fertilizer shall be furnished in dry form.

- 4. Fertilizer may be either homogeneous or natural organics with at least 25 percent of the total nitrogen in a slow-release form.

- 5. Deliver fertilizer in original, unopened and undamaged containers showing weight, analysis and name of manufacturer. Show analysis and name of manufacturer to prevent weight and deterioration.

- 6. Fertilizer applications shall be provided as follows:

- 1. For trees and shrubs: Fertilizer shall be Applied 20-165 Pounds/1000 sq ft of approved equal, and shall be incorporated according to the manufacturer's directions and at the following rates:

- a. Trees: Use 1-2 lb per gallon for each 1/2-inch of trunk diameter for each foot of height or spread. Install 2-gram tablets around the drip-line.

- b. Shrubs: Use 1 to 2 tablets for each 1 foot of height or spread of shrubs and large perennial grasses.

- C. Aggregate Models 17" - 2" - mm diameter from local source.

- D. Steel Edging: Commercial steel edging fabricated in sections with loops pressed from or welded to face to receive stakes. Edging to be Galvalume Steel Landscape Edging or approved equals, Collier Metal Specialties, Inc., Atlanta, GA., 2406-829-2325, 1/8" thick x 4" wide x 1/8" lengths, hot rolled low carbon steel (ASTM-A-36, ASTM-A-283, ASTM-A-599, treated with rust preventative and factory finished, (submit sample). Provide minimum 12" integral anchor stakes.

- E. Skeeled hardwood mulch: Double ground aged brown hardwood mulch.

- F. Tree Wrap: Material used in wrapping tree trunks shall be waterproof tape or burlap strips as made and sold for this purpose and shall not be less than 1/4" more than 8" wide having qualities to resist insect infestation. Twice for tying shall be tightly rolled maulins or coarse steel yarn or approved equal.

- G. Post-emergent Herbicide: Provide pre-emergent herbicide, PM 616 DDG (granular). The Landscape Architect will continue to maintain and manage weeds. Provide the Landscape Architect with a complete description, literature, test reports, etc. on the proposed "equivalent". The brand of product regarding the "equivalent" is upon the Subcontractor. The Landscape Architect will accept the pre-emergent herbicide based on brand name and visual appearance for comparison.

- H. Tree Stakes and Guy's:

- 1. All trees shall be staked with a minimum of 2 metal "T" pipe stakes. Stakes shall be approximately 2" wide and 64.5 feet long. Stakes are to be driven a minimum of 2 feet into undisturbed, strong soil.

- 2. Tree Ties: An acceptable tree tie is one that is easily undisturbed, strong in all weather, and is easily attached and removed. Inexpensive tree ties are not acceptable for staked trees. Provide the following or approved equal:

- a. "Cinch Ties"

- b. "Adj-Ac-Tie": Heavy weight only, a plastic chain twist tie, OR "Plastic Binder Tye" with tapered heads that are made of plastic.

- c. Other tree tying materials may be accepted upon submitting a sample, product information, and plant tying methods to the Landscape Architect for approval.

- F. Water: Upon request of the Subcontractor, the Owner may approve the use of water from existing fountains or working irrigation system for this work. The Owner may specify the cost of the water. The Subcontractor shall provide all needed hoses, sprayer heads and other appurtenances. If the Subcontractor provides his own water, it shall not contain mineral impurities to plant growth.

- G. Antifreeze Mixture: Provide clean, dry, clear of water, white, 90% salt, or better.

- H. Anti-deicers: Emulsion type, film-forming agent designed to permit transportation, but retard excessive loss of material from plants. Deliver to manufacturer's fully identified containers and mix in accordance with manufacturer's instructions.

- I. Bioinert: The Subcontractor shall utilize an organic, biological fuel for soil prep. The material shall be granular and applied per manufacturer's instructions. Make Mycorrhizal or approved equal.

- J. All other materials, not specifically described but required for a complete and proper installation or construction, shall be as selected by the Subcontractor subject to the approval of the Landscape Architect.

PART 3 - EXECUTION

3.01 SURFACE CONDITIONS

- A. Inspection:

- 1. Prior to landscape installation, carefully inspect the installed work of all other trades and verify that all such work is complete to the point where this installation may properly commence.

- 2. Work that has been opened or perturbed shall be removed or eradicated.

- 3. Verify that planting may be completed in accordance with the original design and the referenced standards.

- B. Dispositions:

- 1. In the event of discrepancy, immediately notify the Landscape Architect.

- 2. Do not proceed with installation in areas of discrepancy until all such discrepancies have been fully resolved.

3.02 PREPARATION FOR PLANTING OF TREES, SHRUBS AND PLANT BEDS

- A. Planting Soil Preparation:

- 1. Before mixing, clean topsoil of roots, plants, stoves, sticks, clumps, and other extraneous material harmful to plant growth.

- 2. Loosen subject of planting areas to a minimum of 8 inches.

- 3. Mix soil amendments and fertilizers to spread it across installed. Delay mixing fertilizer if planting does not start placing of planting and within one (1) days.

- 4. Grade planting areas to a smooth, uniform surface with slope, uniformly fine texture. Roll, rake and remove ridges/depressions to meet fresh grades.

- 5. Schedule of Planting Soil Mixes: Requirements:

- a. For planting beds, provide not less than the following quantities of specified materials:

- (1) Loose pea hulls by volume: 1 part

- (2) Well-sorted coarse manure by volume: 1 part

- (3) Topsoil (as defined in this specification): 2 parts

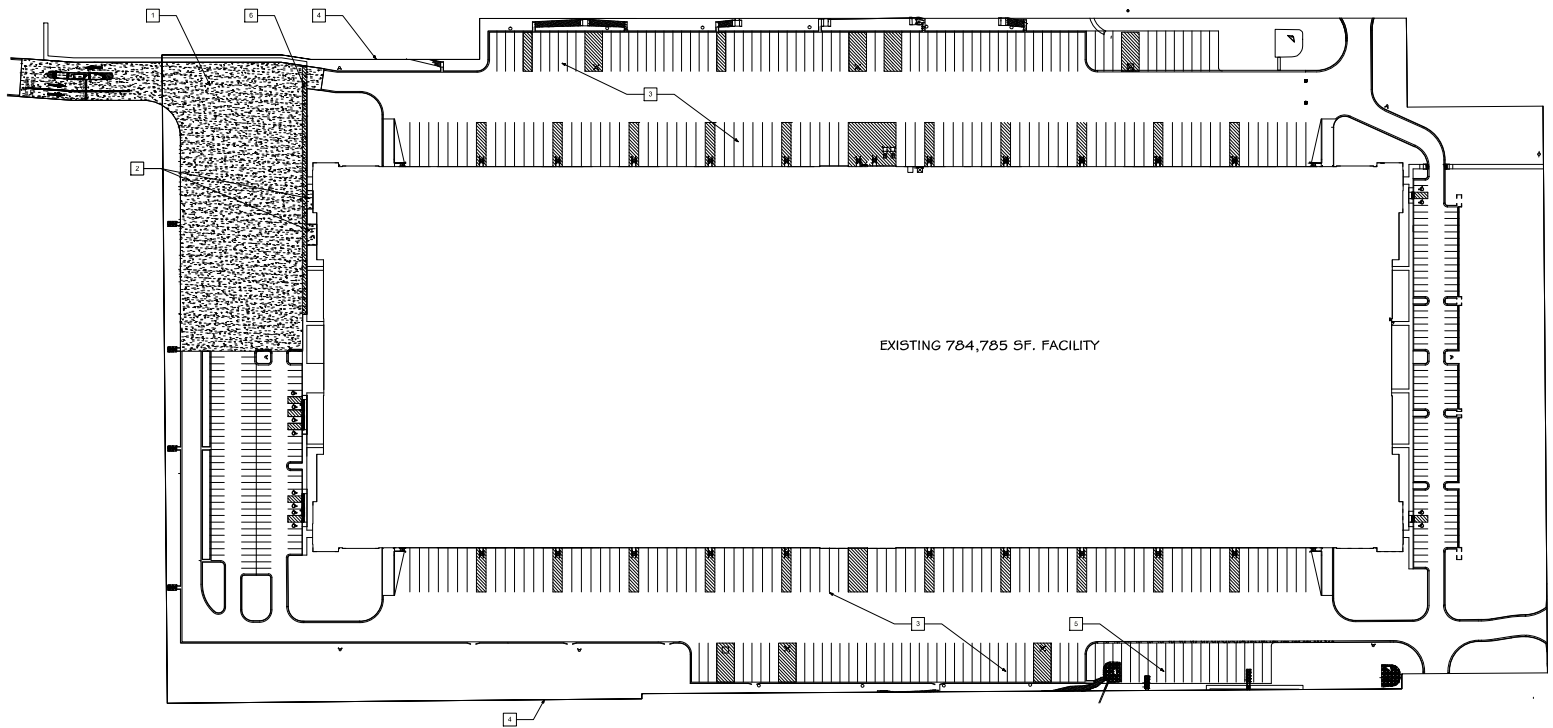
- b. For fertilizer: Incorporate 3 lb/100 ft

- c. For fertilizer: Incorporate 3 lb/100 ft

- d. For fertilizer: Incorporate 3 lb/100 ft

- e. For fertilizer: Incorporate 3 lb/100 ft

- SITE PLAN KEY NOTES**
- 1 HATCHING INDICATES PARKING LOT TO BE GRADED AND RESURFACED-REF. CIVIL DWGS
 - 2 NEW OVERHEAD DOOR LOCATION-SEE SHEET A2.1.1
 - 3 EXISTING PARKING-NO WORK
 - 4 PROPERTY LINE-REF. CIVIL DWGS
 - 5 FUTURE TRAILER PARKING-REF. CIVIL DWGS
 - 6 ACCESSIBLE ROUTE-REF. CIVIL DWGS



1 ARCHITECTURAL SITE PLAN
A1.1.1
1" = 80'-0"

GMA
ARCHITECTS
780 CLAYTON ROAD, SUITE 300
ROCKFORD, ILLINOIS 60087
P: (815) 825-5911
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ARCO
NATIONAL CONSTRUCTION AND
INTERIOR CANAL STREET
SUITE 100
ROCKFORD, ILLINOIS 60087
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CORPORATION
10000 CANAL STREET 100
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AND CONSTRUCTION
10000 CANAL STREET 100
ROCKFORD, ILLINOIS 60087
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MECHANICAL
10000 CANAL STREET
ROCKFORD, ILLINOIS 60087
P: (815) 224-4000

PROJECT:
FAITH TECHNOLOGIES TI- INLAND PORT XXII
14450 WY 169th STREET
EDGEMONT, WIS 58821



GMA JOB NO.: 041811
ARCO JOB NO.: K803
DRAWN BY: MMW
ISSUE DATE: 08-19-2018

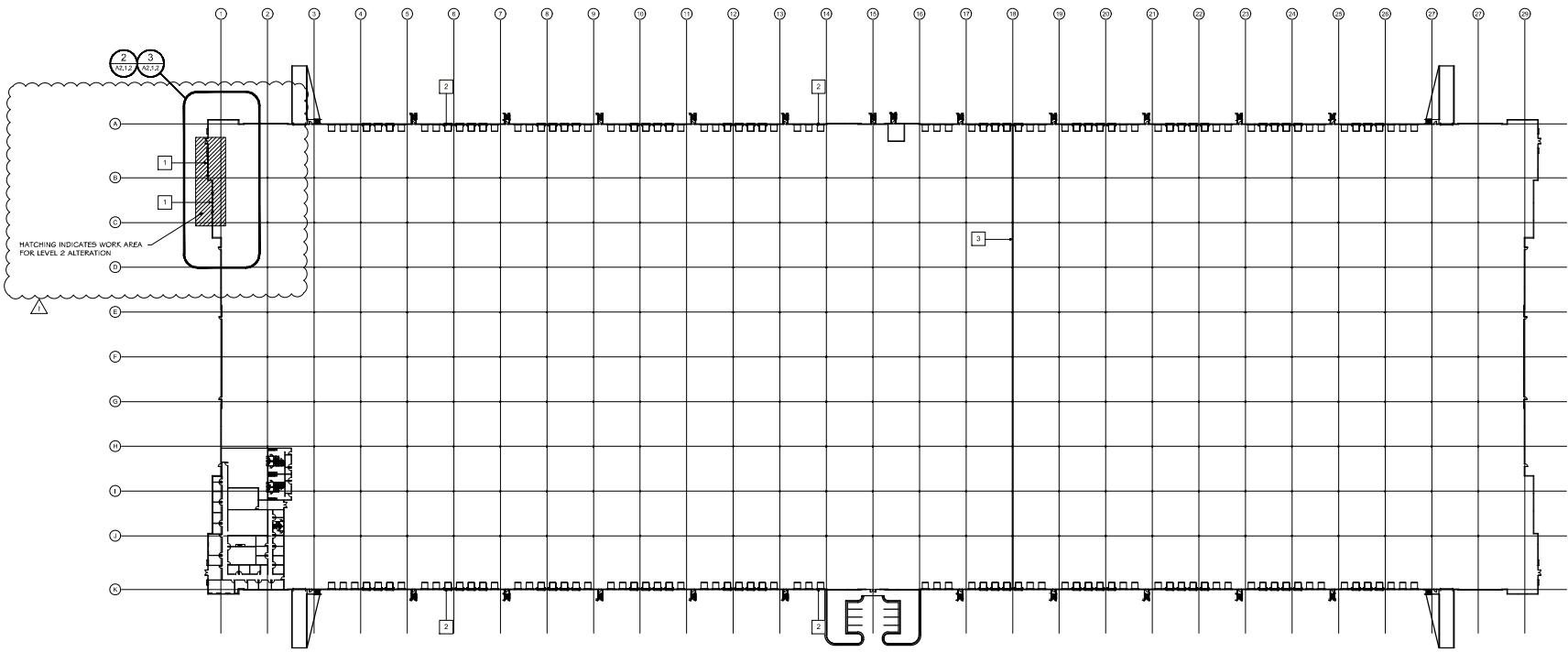
REVISIONS:

NO.	DATE	DESCRIPTION

SHEET NUMBER
A1.1.1
ARCHITECTURAL SITE PLAN

FLOOR PLAN KEYED NOTES

- 1 NEW OVERHEAD DOOR SEE SHEET A2.1.2
- 2 REMOVE EXISTING CLEISTORY WINDOW AND INSTALL MECHANICAL COVER
- 3 EXISTING DEMING PARTITION- NO WORK



1 OVERALL FLOOR PLAN
A2.1.1 SCALE 1:70



ALL SERVICES
ARCHITECTURAL, ENGINEERING,
CONSULTING, INTERIOR DESIGN,
INTERIOR DESIGN, SITE PLAN,
PERMITS, ETC.
1000 W. 10TH STREET
EDGEMONT, MD 21435
P: 410.224.4324
WWW.ARCONATIONAL.COM

STRUCTURAL DETAILS
ARCHITECTURAL
INTERIOR DESIGN
INTERIOR DESIGN
P: 410.224.4324

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INTERIOR DESIGN
P: 410.224.4324

PROJECT:
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14450 W. 169th STREET
EDGEMONT, MS 68621

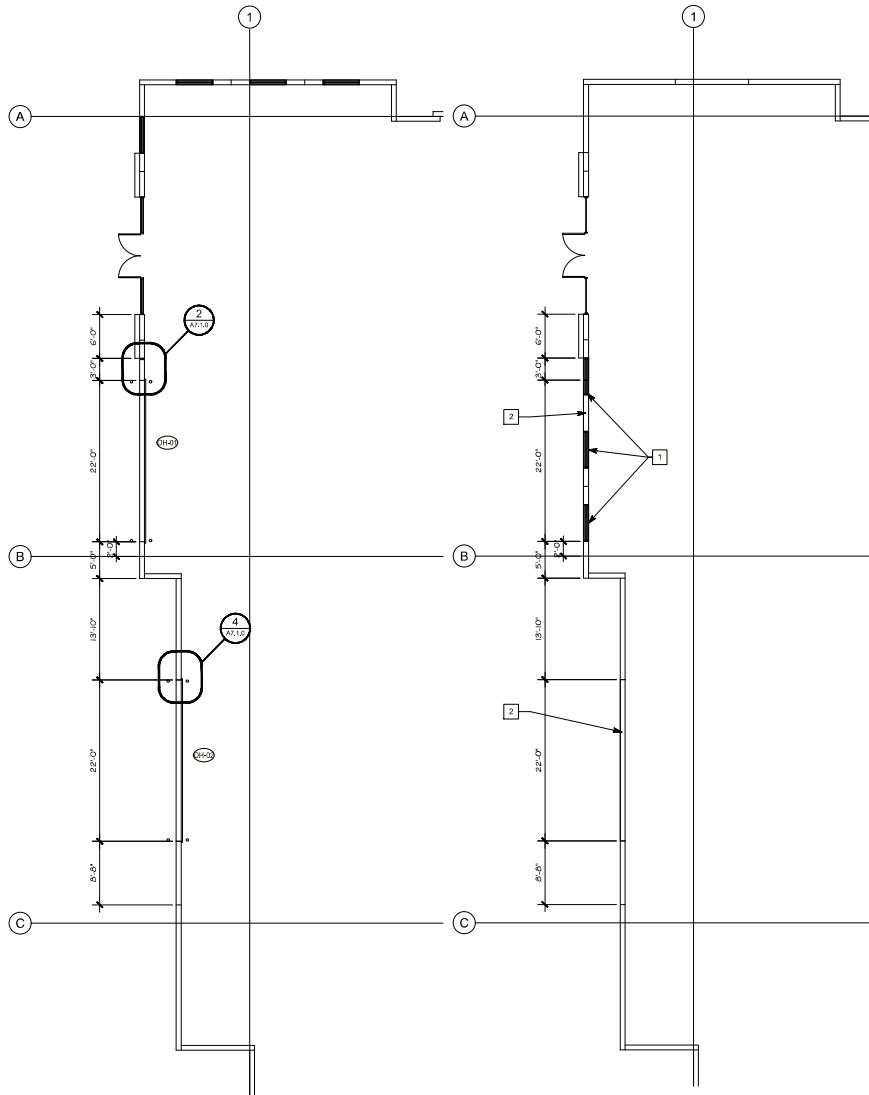


GMA, JOB NO.: GAT511
ARCO, JOB NO.: K813
DRAWN BY: MW
ISSUE DATE: 08-19-2025

REVISIONS:

NO.	DATE	DESCRIPTION

SHEET NUMBER
A2.1.1
OVERALL PLAN



6 ENLARGED FLOOR PLAN
A2.1.2 SCALE: 1/8" = 1'-0"

9 DEMOLITION PLAN
A2.1.2 SCALE: 1/8" = 1'-0"

DEMO PLAN GENERAL NOTES

1. DEMO CONTRACTOR TO VERIFY THE EXISTING CONDITIONS AND DIMENSIONS AS THEY ARE REFERENCED ON THESE DOCUMENTS AND NOTIFY THE GENERAL CONTRACTOR OF ANY CONFLICTS PRIOR TO COMMENCEMENT OF WORK.
2. THE DEMOLITION CONTRACTOR SHALL TAKE APPROPRIATE PRECAUTIONS AND FOLLOW APPLICABLE LAWS AND ENVIRONMENTAL GUIDELINES DURING THE DEMOLITION PHASE (EVEN REMOVING ALL MATERIAL AND EQUIPMENT FROM THE BUILDING).
3. NOTIFY THE GENERAL CONTRACTOR WHEN COMPONENTS THAT MAY BE HAZARDOUS OR CONTAIN HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION. ANY HAZARDOUS MATERIALS MUST BE REMOVED PER LOCAL, STATE AND FEDERAL STANDARDS.
4. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED, REPAIRED AND/OR REFINISHED TO MATCH ADJACENT OR LIKE-NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
5. ANY HOLES OR PENETRATIONS IN EXISTING CONSTRUCTION THAT ARE DISCOVERED OR CREATED DURING DEMOLITION SHALL BE PATCHED AND/OR FILLED TO MATCH ADJACENT CONSTRUCTION, PATCHES/FLASHPING TO A SMOOTH TRANSITION.
6. THE DEMOLITION WORK IS NOT LIMITED TO ITEMS SPECIFICALLY NOTED FOR REMOVAL, BUT SHALL INCLUDE ITEMS RELATED TO AND NECESSARY FOR REMOVAL, SO AS TO PROVIDE A COMPLETED PROJECT. THIS INCLUDES ITEMS NOT SHOWN ON PLANS BUT WHOSE EXISTENCE ARE NORMAL AND STANDARD AS ASSOCIATED WITH THESE ITEMS TO BE REMOVED.
7. ANY EXISTING FIXTURES, EQUIPMENT, OR DEVICES THAT ARE GOING TO BE REMOVED ARE TO BE VERIFIED WITH THE BUILDING OWNER PRIOR TO DISPOSAL.
8. ALL WORK FOR THE INTERIOR WALLS, LIGHT FIXTURES, EQUIPMENT, PLUMBING FIXTURES, CEILING, ETC. THAT HAVE POWER OR WATER SUPPLYING THEM SHALL BE REQUIRED TO BE MADE SAFE BY THE RESPECTIVE MEP CONTRACTOR.
9. ONLY WET SAWS SHALL BE UTILIZED FOR SAW-CUTTING CONCRETE. PROVIDE PROPER WATER CONTAINMENT AS REQUIRED. DISCUTS IN EXISTING CONCRETE SLAB OR WALLS ARE NOT ALLOWED. NO RED CHALK SHALL BE USED FOR LAYOUT ANYWHERE IN CONCRETE SLAB DEMOLITION.
10. CONTRACTOR SHALL NOT REMOVE ANYTHING STRUCTURAL UNLESS SPECIFIED BY THE STRUCTURAL ENGINEER'S DRAWINGS.
11. REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED DURING DEMOLITION.

DEMOLITION PLAN KEYNOTES

- 1 REMOVE GLAZING SYSTEM IN ITS ENTIRETY.
- 2 REMOVE TILT-UP PANEL AS REQUIRED FOR INSTALLATION OF OVER-HEAD DOOR. REMOVE PANEL DOWN TO FOUNDATION. REFER TO STRUCTURAL DRAWINGS.

FLOOR PLAN GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND NOTIFY ARCHITECT OF ANY DIMENSIONS, OMISSIONS, OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
2. ALL PLAN BACKGROUND FEATURES SUCH AS RACKING, EQUIPMENT, FURNITURE, ETC. ARE LIGHTENED ON THE FLOOR PLANS AND ARE SHOWN FOR COORDINATION PURPOSES ONLY. THEY ARE NOT TO BE CONSIDERED A PART OF THE ROOM. WORK SHALL BE USED FOR REFERENCE DURING BUILDING.
3. ALL DIMENSIONS TO STUD FRAMED PARTITIONS ARE TO OUTSIDE FACE OF GYP/SUM BOARD.



ALL LICENSES
REGISTERED PROFESSIONAL ARCHITECT
CONTRACTOR
10101 WILSON AVENUE, SUITE 100
ROCKFORD, ILLINOIS 61105
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STRUCTURAL ENGINEER
SHEPHERD WATSON
10101 WILSON AVENUE, SUITE 100
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MECHANICAL ENGINEER
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PROJECT:
FAITH TECHNOLOGIES TI-INLAND PORT XXII
31450 WY 166th STREET
EDGEMONT, IA 58601



GMA JOB NO: 041511
ARCO JOB NO: K813
DRAWN BY: MW
ISSUE DATE: 08-19-2015

REVISIONS:

NO.	DATE	DESCRIPTION

SHEET NUMBER
A2.1.2
ENLARGED PLANS

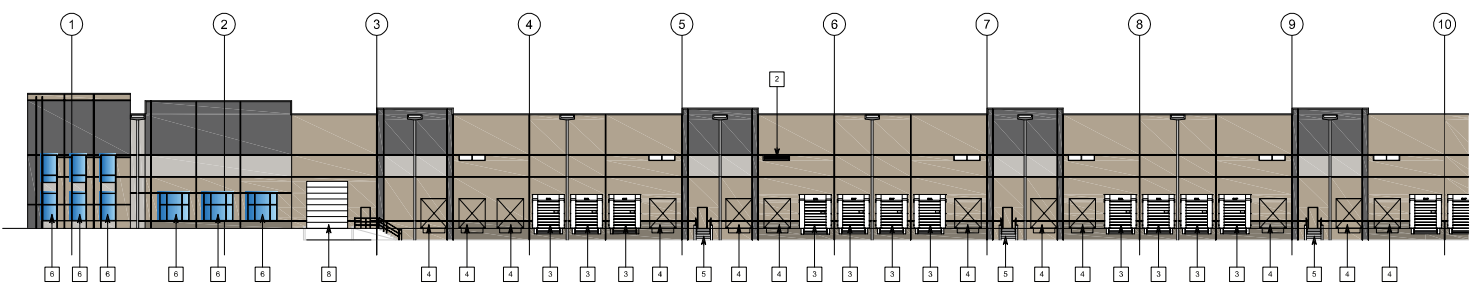
ELEVATION KEYNOTES	
ALL KEYNOTES MAY NOT BE PRESENT ON EACH SHEET	
1	NEW COILING DRAINAGE DOOR, REFER SHEET AT 1.0 AND STRUCTURAL DRAWINGS.
2	REMOVE EXISTING ELEVATORY WINDOW AND INSTALL MECHANICAL COVER SEE DETAILS 1607.1.0 AND 1607.1.0
3	EXISTING DOCK DOOR
4	EXISTING KNOCK-OUT FOR FUTURE DOOR DOOR
5	EXISTING METAL STAIRS
6	EXISTING STOREFRONT GLAZING SYSTEM
7	EXISTING KNOCK-OUT FOR FUTURE WINDOW
8	EXISTING DRIVE-IN DOOR

GMA
 7500 CLAYTON ROAD, SUITE 200
 RICHMOND HEIGHTS, MO 63117
 P: 618 262-9191
 WWW.GMA-ARCHITECTURE.COM

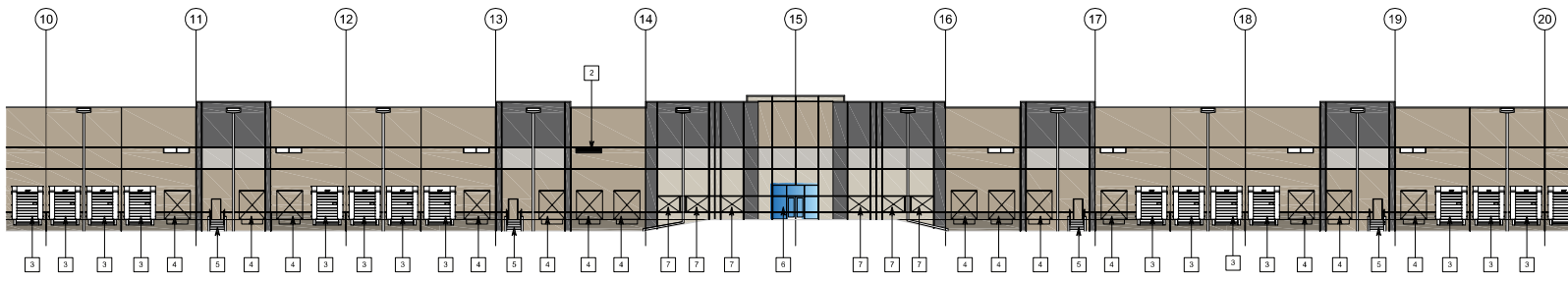
ARCO
 801 W. CHASE STREET
 SUITE 110
 FORT WORTH, TX 76104
 P: 817 342-4001
 WWW.ARCONATIONAL.COM

CONCRETE
 REINFORCING STRUCTURE
 CONSULTING
 3001 W. CHASE STREET
 SUITE 110
 FORT WORTH, TX 76104
 P: 817 342-4001

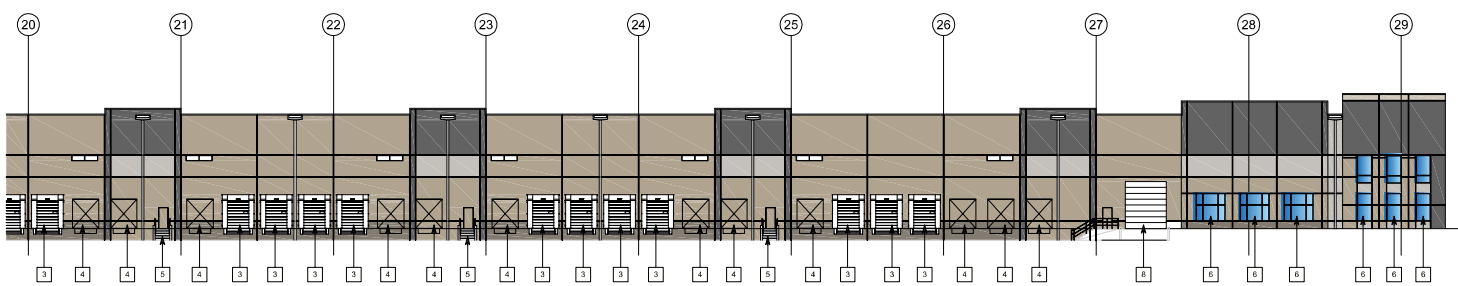
ELECTRICAL SERVICES
 1000 W. CHASE STREET
 SUITE 110
 FORT WORTH, TX 76104
 P: 817 342-4001



1 PARTIAL WEST ELEVATION
 A5.1.2 SCALE: 1" = 20'-0"

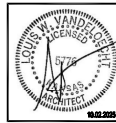


2 PARTIAL WEST ELEVATION
 A5.1.2 SCALE: 1" = 20'-0"



3 PARTIAL WEST ELEVATION
 A5.1.2 SCALE: 1" = 20'-0"

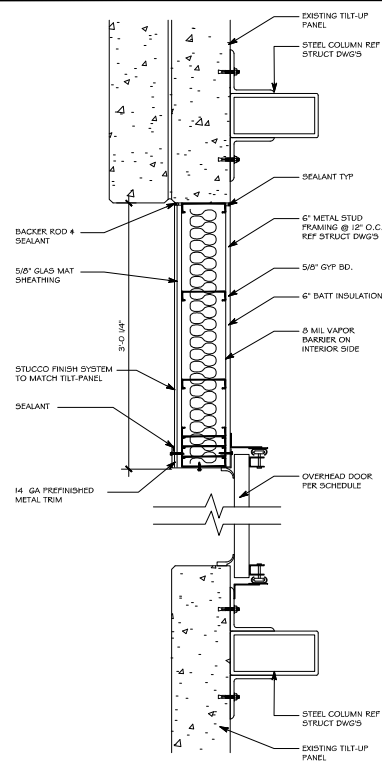
PROJECT:
FAITH TECHNOLOGIES TI- INLAND PORT XXII
 3440 W. 49th STREET
 EDGEMONT, KS 66021



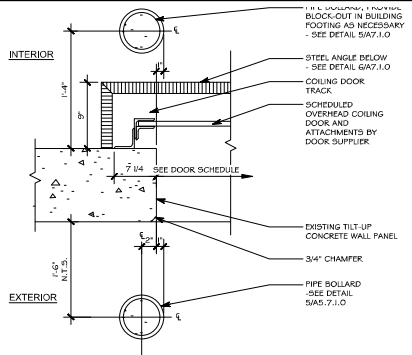
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 ARCO JOB NO: 7500
 DRAWN BY: MPH
 ISSUE DATE: 08.18.2025

REVISIONS:

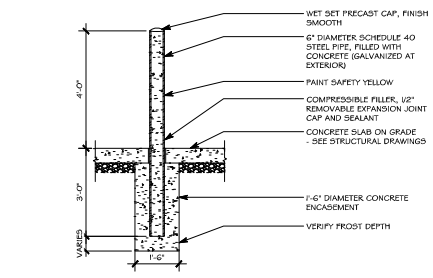
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A5.1.2
 EXTERIOR ELEVATIONS



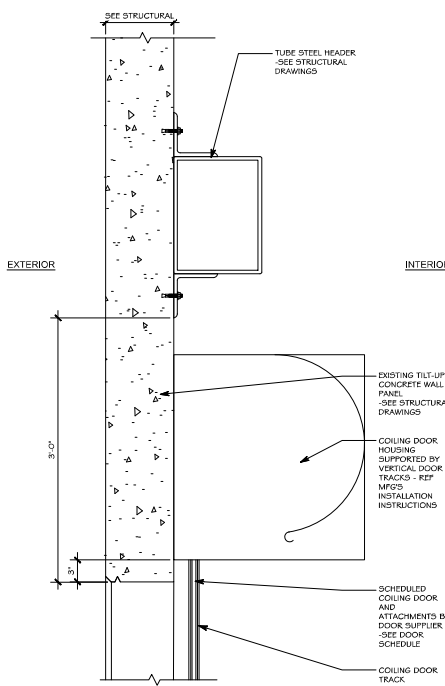
2 PLAN DETAIL
A7.1.0 SCALE: 1/12" = 1'-0"



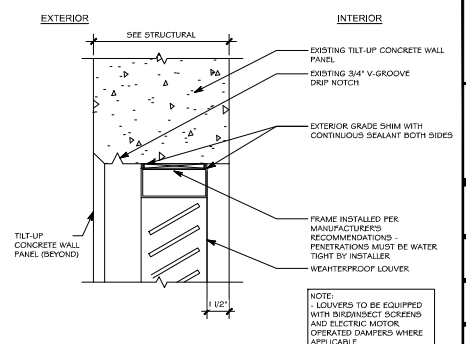
4 TILT WALL - OVERHEAD DRIVE-IN DOOR JAMB DETAIL
A7.1.0 SCALE: 1/12" = 1'-0" WH413 - VSM



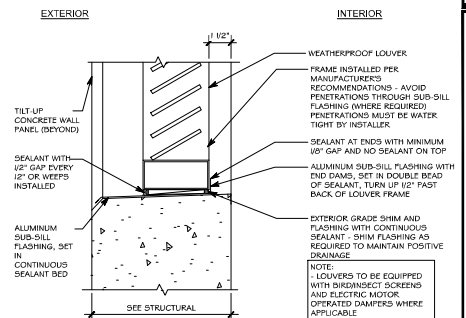
5 6" PIPE BOLLARD DETAIL
A7.1.0 SCALE: 1/2" = 1'-0" WH705 - V3



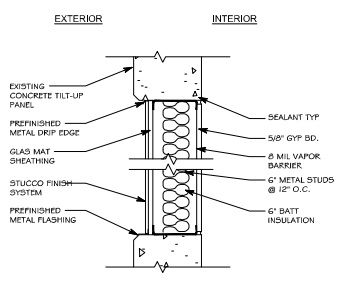
7 TILT WALL - COILING DOOR HEAD DETAIL
A7.1.0 SCALE: 1/12" = 1'-0"



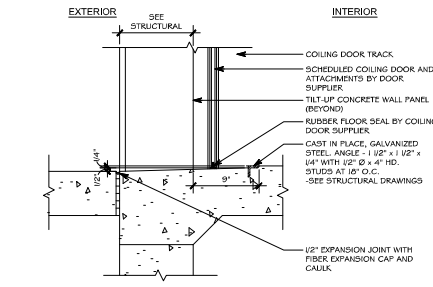
10 TILT WALL - LOUVER HEAD AND JAMB DETAIL
A7.1.0 SCALE: 3/8" = 1'-0" WH421 - VSM



11 TILT WALL - LOUVER SILL DETAIL
A7.1.0 SCALE: 3/8" = 1'-0" WH422 - V2M



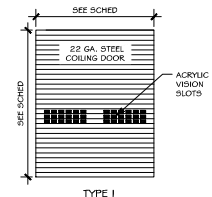
3 STUD INFILL VERTICAL SECTION
A7.1.0 SCALE: 1/12" = 1'-0"



6 TILT WALL - OVERHEAD DRIVE-IN DOOR SILL DETAIL
A7.1.0 SCALE: 1/12" = 1'-0" WH414 - V2M

DOOR SCHEDULE											
DOOR #	DOOR	FRAME			DETAILS			HOW GROUP	FIRE RATING	REMARKS	
		TYPE	MATL	WIDTH	HEIGHT	THICK.	TYPE				MATL
CH-01	1	MTL	22'-0"	22'-0"	--	--	7A7.1.0	2A7.1.0	6A7.1.0	--	--
CH-02	1	MTL	22'-0"	22'-0"	--	--	7A7.1.0	4A7.1.0	6A7.1.0	--	--

ALL DOOR HARDWARE AND OPERATORS BY DOOR SUPPLIER.



ALL ERRORS
REVISIONS TO BE MADE BY THE ARCHITECT. NO CHANGES TO BE MADE TO THE DRAWINGS WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.
DESIGNER: GMA ARCHITECTS, INC.
DATE: 08/19/2015
P: (205) 822-5501

REVISIONS
NO. DATE BY
1 08/19/2015 GMA

PROJECT:
FAITH TECHNOLOGIES TI-INLAND PORT XXII
31450 WY 1696 STREET
EDGEMONT, AL 36821

DATE: 08/19/2015

SCALE: 1/12" = 1'-0"

NO.: 1

DATE: 08/19/2015

BY: GMA

DATE: 08/19/2015

SCALE: 1/12" = 1'-0"

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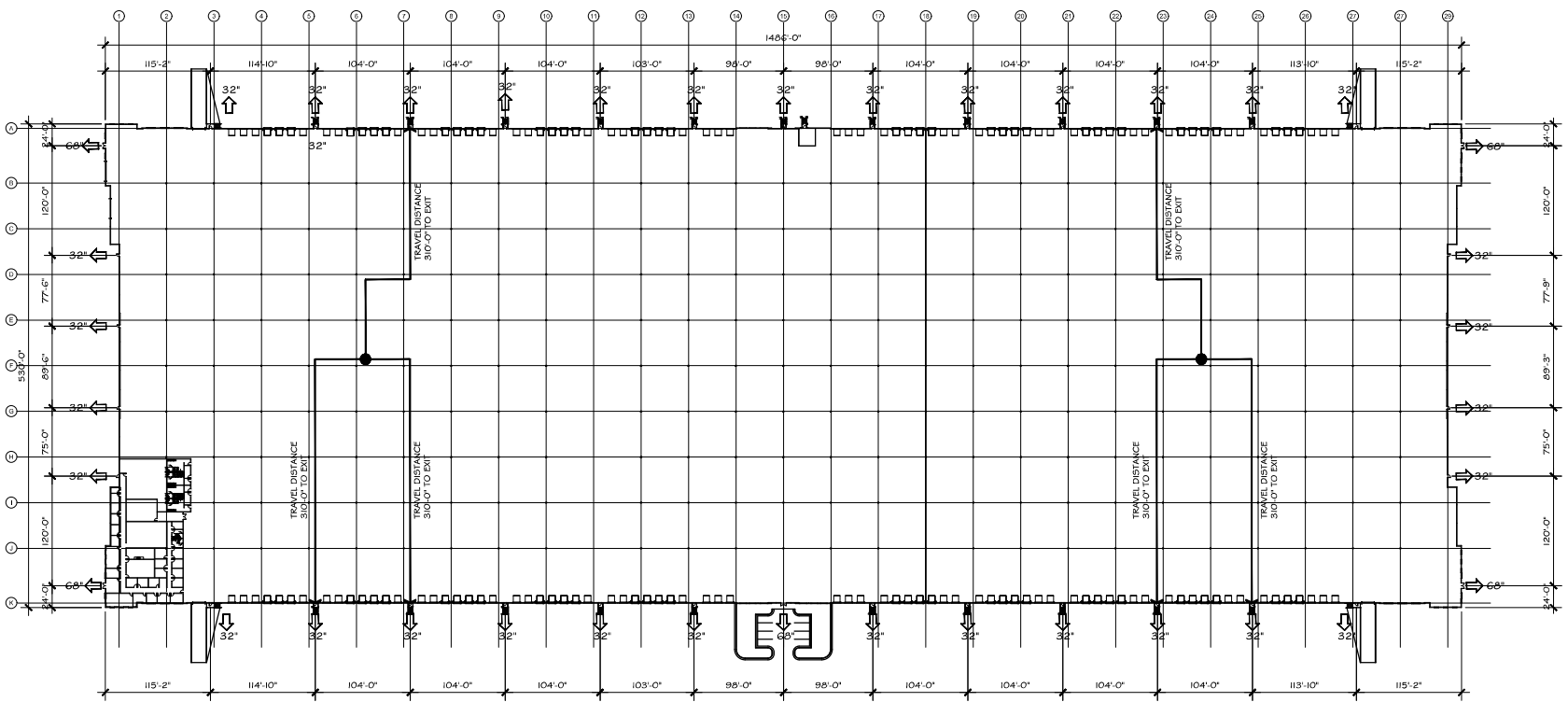
BY: GMA

DATE: 08/19/2015

SCALE: 1/12" = 1'-0"



REVISIONS:



1
 LS1.1.1 LIFE SAFETY PLAN
 SCALE 1:70

November 3, 2025

City of Edgerton, KS
404 East Nelson
Attn: Zachary Moore and Chris Clinton

RE: FTI Storage Space

Mr. Moore and Mr. Clinton,

The total square footage of the building located at 31450 W. 196th St.. (Inland Port 32) is 764,785 SF. Of this space, FTI is leasing 463,435 SF, of which all the space is utilized as storage. According to FTI, the maximum number of employees that they will have at any given time is 15.

The total number of parking stalls on site is 222, of those 222, 8 stalls are designated ADA stalls. This exceeds the minimum required amount of 7.

If you have any further questions, or if we can be of any assistance, please do not hesitate to contact us.

For the Firm,

Patrick Cassity
pcassity@ric-consult.com



MEMORANDUM

Date: November 18, 2025
To: City of Edgerton Planning Commission
From: Chris Clinton, Planning and Zoning Coordinator
Re: UDCA2025-0002: Unified Development Code Amendments – Article 6

City staff is currently working on updates to Article 6 – Planned Unit Development District of the City's Unified Development Code (UDC). Staff has been gathering information over the few past months and needs additional time to draft the recommended updates. Staff requests a continuance of the public hearing to the December 9, 2025 regularly scheduled Planning Commission meeting.

